

# BOCA GROVE CLUBHOUSE

BOCA RATON, FLORIDA



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 7700 CONGRESS AVE.  
 SUITE 1114  
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## Project Team & Information

<b>Client:</b> BOCA GROVE GOLF AND TENNIS CLUB, INC 21351 Whittaker Drive, Boca Raton, FL 33433 T: 631.235.5083	<b>CODE INFORMATION</b> <b>APPLICABLE CODES :</b> <ul style="list-style-type: none"> <li>2014, 5TH EDITION FLORIDA BUILDING CODE</li> <li>5TH EDITION FLORIDA FIRE PREVENTION CODE</li> </ul> <b>OCCUPANCY TYPE :</b> <ul style="list-style-type: none"> <li>ASSEMBLY GROUP A-2</li> </ul> <b>EXISTING BUILDING TYPE OF CONSTRUCTION</b> <ul style="list-style-type: none"> <li>GROUP III-B, SPRINKLERED</li> </ul>	<b>PROJECT DESCRIPTION</b> <b>PROPOSED PROJECT:</b> INTERIOR RENOVATION TO EXISTING CLUBHOUSE. SCOPE OF WORK INCLUDES CARD ROOM, HALLWAYS, GRILL ROOM AND WINE ROOMS.	<b>PROJECT LOCATION</b> LOCATION ADDRESS: 21351 WHITTAKER DR MUNICIPALITY: UNINCORPORATED PARCEL CONTROL NUMBER: 00-42-47-16-15-005-0000 SUBDIVISION: BOCA GROVE PLANTATION OFFICIAL RECORDS BOOK: 06778, PAGE 1733 LEGAL DESCRIPTION: BOCA GROVE PLANTATION TRACT E & F
<b>Architect:</b> AW ARCHITECTS 7700 Congress Ave, Suite 1114 Boca Raton, Florida 33487 T: 561-997-1244 F: 561-997-1675 www.awarchs.com		<b>KEY PLAN</b> NOT TO SCALE 	<b>LOCATION MAP</b> NOT TO SCALE 
<b>Interior Designer:</b> AES INTERIOR & ASSOCIATES 235-R SE 5TH Ave. Delray Beach, Fl 33483 T: 561-276-9595 F: 561-276-9076 www.aesints.com		<b>Structural Engineer:</b> ONM&J 321 LA Kirksey Street, Suite 200 West Palm Beach, Florida 33401 Telephone: 561.835.9994 Fax: 561.835.8255 Web: www.onmj.net	<b>Electrical Plumbing Mechanical Engineer:</b> KAMM CONSULTING 1408 Orange Avenue Fort Pierce, Florida 34950 Telephone: 772.595.1744 Fax: 772.595.1745 Web: www.kammconsulting.com

BOCA GROVE CLUBHOUSE  
 21351 WHITTAKER DRIVE,  
 BOCA RATON, FL 33433

FLORIDA LICENSURE: AA26002219

PROJECT NO: 15155  
 DESIGNED BY: RA  
 DRAWN BY: TD/CE/MA  
 CHECKED BY: RA  
 SUBMITTALS:  
 PRICING SET 04.27.2016

REVISIONS:

Cover Sheet

A0.1

DRAWING INDEX		DRAWING INDEX, CONT'D		DRAWING INDEX, CONT'D	
SHEET #	DRAWING NAME	SHEET #	DRAWING NAME	SHEET #	DRAWING NAME
<b>ARCHITECTURAL</b>					
1	A0.1	1	S-1	ID-1	FINISH SCHEDULE & FINISH SPECIFICATIONS
2	A0.2			ID-2	SECTION ELEVATION KEY PLAN
3	A1.1			ID-3	FLOOR FINISH PLAN
4	A1.2			ID-4	WALL FINISH PLAN
5	A2.1			ID-5	SECTIONS & ELEVATIONS
6	A2.2				
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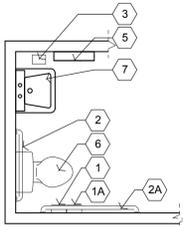
REVISIONS:

General Notes

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TYPICAL ACCESSIBLE RESTROOM FIXTURES AND ACCESSORIES

- 1 BOBRICK B-2888 OR EQUAL SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER @ 21" A.F.F.
- 1A BOBRICK OR EQUAL SANITARY NAPKIN DISPOSAL @ 21" A.F.F. (WOMEN'S ROOM ONLY)
- 2 BOBRICK B-6806x36 OR EQUAL 1-1/2" Ø 36" L STAINLESS STEEL GRAB BARS W/ CONCEALED MOUNTINGS.
- 2A BOBRICK B-6806x42 OR EQUAL 1- 1/2" Ø 42" L STAINLESS STEEL GRAB BARS W/ CONCEALED MOUNTINGS.
- 3 BOBRICK B-4112 OR EQUAL SURFACE MOUNTED SOAP DISPENSER.
- 4 NOT USED.
- 5 BOBRICK B-3942 OR EQUAL SEMI RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE.
- 6 H.C. WATER CLOSET. FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC AND SHALL COMPLY WITH LOCAL STATE AND FEDERAL REQUIREMENTS. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS NO MORE THAN 44 INCHES (1120 MM) ABOVE THE FLOOR
- 7 H.C. LAVATORY AND FAUCET  
NOTE: ACCESSIBLE KNEE SPACE HOT WATER AND DRAIN PIPES EXPOSED UNDER THE SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED AS TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL CODES.



MAY NOT REFLECT ACTUAL ORIENTATION/SIZE OF RESTROOM. SEE CONSTRUCTION PLANS.

ARCHITECTURAL SYMBOLS

- 1.0 BUILDING GRID LINES
- 1 A00 BUILDING SECTION LINE
- 1 A00 WALL SECTION
- 1 A00 DETAIL REFERENCE
- 1 A00 DETAIL REFERENCE
- 1 A00 INTERIOR ELEVATION REFERENCE
- 1 A00 EXTERIOR ELEVATION REFERENCE
- 1 A00 FIRE EXTINGUISHER CABINET
- 1 FLOOR PLAN SCALE: 1/8" = 1'-0"
- 101 DOOR REFERENCE NUMBER
- LOBBY ROOM NAME AND NUMBER
- X WALL ASSEMBLY REFERENCE (REFER TO SHEET A611)
- ELEVATION TARGET
- A WINDOW TYPE
- X KEYED NOTE
- EMERGENCY LIGHT FIXTURES
- EXIT LIGHT

GENERAL CONDITIONS

- A. TRADE NAMES ARE SPECIFIED TO ESTABLISH A MINIMUM STANDARD OF QUALITY. EQUIVALENT PRODUCTS MAY BE ACCEPTED SUBJECT TO ARCHITECT'S APPROVAL.
- B. IF THERE IS A DISCREPANCY BETWEEN ARCHITECTURAL AND ENGINEERING SPECIFICATIONS OR DRAWINGS, THEN ENGINEERING SHALL BE FOLLOWED UNLESS ARCHITECTURAL DESIGN IS AFFECTED, THEN CONTACT THE ARCHITECT.
- C. TOLERANCES SHALL BE PER PUBLISHED INDUSTRY STANDARDS.
- TEMPORARY FACILITIES:
  - A. TEMPORARY ELECTRICAL FACILITIES SHALL BE PROVIDED BY THE ELECTRICAL SUBCONTRACTOR WITHIN 10 DAYS OF COMMENCEMENT.
  - B. TEMPORARY WATER FACILITIES SHALL BE PROVIDED BY THE PLUMBING SUBCONTRACTOR WITHIN 10 DAYS OF COMMENCEMENT.
  - C. TEMPORARY TOILET FACILITIES SHALL BE PROVIDED BY GENERAL CONTRACTORS.
  - D. ALL TEMPORARY FACILITIES SHALL BE COORDINATED W/ OWNER'S REQUIREMENTS.
- SAFETY AND FIRST AID:
  - A. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND WELL BEING OF HIS EMPLOYEES, AND HIS WORK SHALL BE KEPT SAFE TO VISITORS AND OTHER JOB SITE WORKERS. HE SHALL INITIATE AND MAINTAIN ALL SAFETY PROGRAMS, INCLUDING THAT AS GOVERNED BY O.S.H.A.
- CLEANUP AND TRASH REMOVAL:
  - A. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR KEEPING A SAFE CLEAN WORKING ENVIRONMENT.
  - B. ALL CONSTRUCTION DEBRIS AND TRASH SHALL BE STORED IN APPROVED CONTAINERS AND REMOVED FROM THE SITE ON A REGULAR BASIS.
  - C. CONSTRUCTION DEBRIS SHALL BE HANDLED IN ACCORDANCE W/ LEED REQUIREMENTS.
- PERMITS:
  - A. ALL BUILDING PERMITS, OTHER PERMITS, AND FEES SHALL BE OBTAINED BY THE G.C. G.C. MAY ELECT TO EMPLOY A PERMIT EXPEDITER TO OBTAIN PERMITS.

GENERAL NOTES

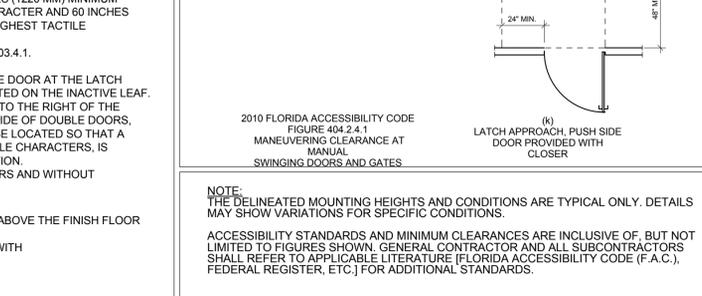
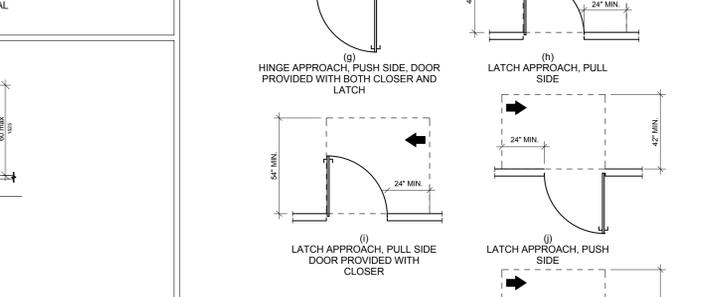
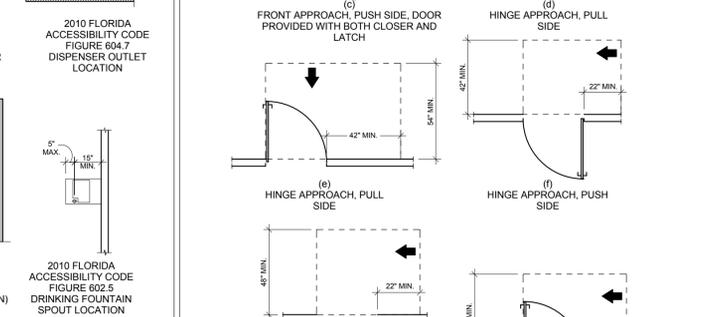
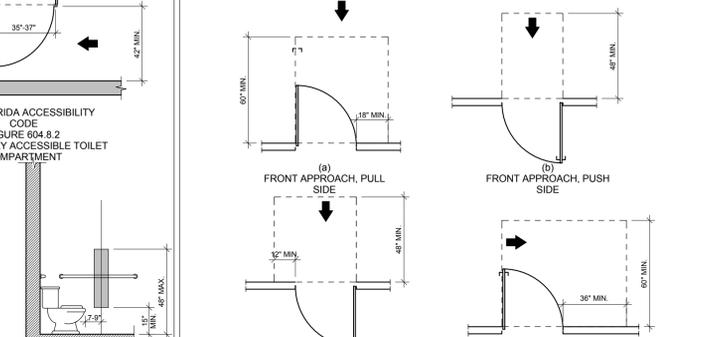
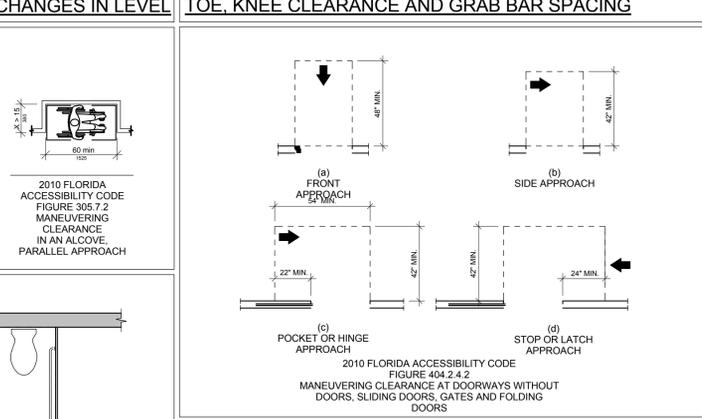
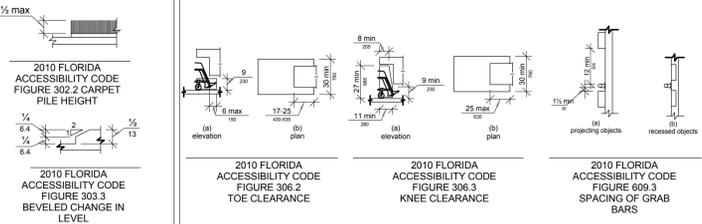
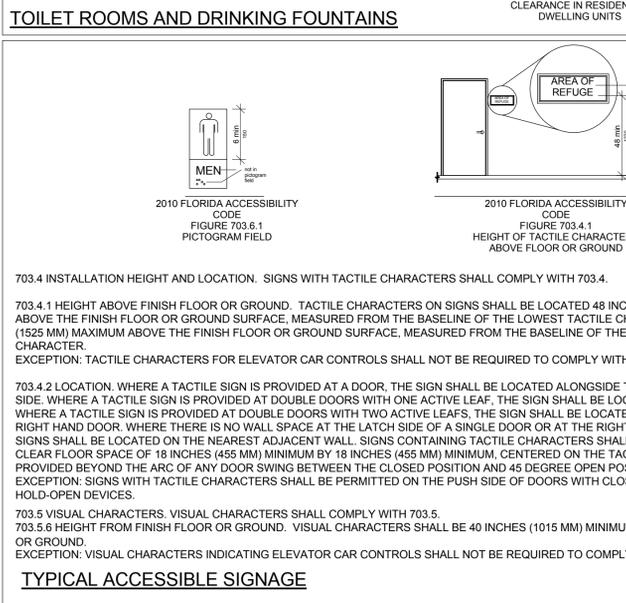
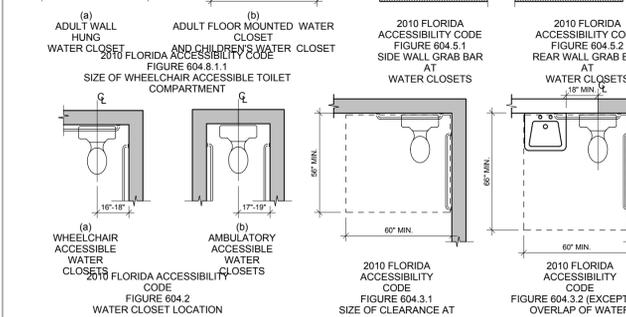
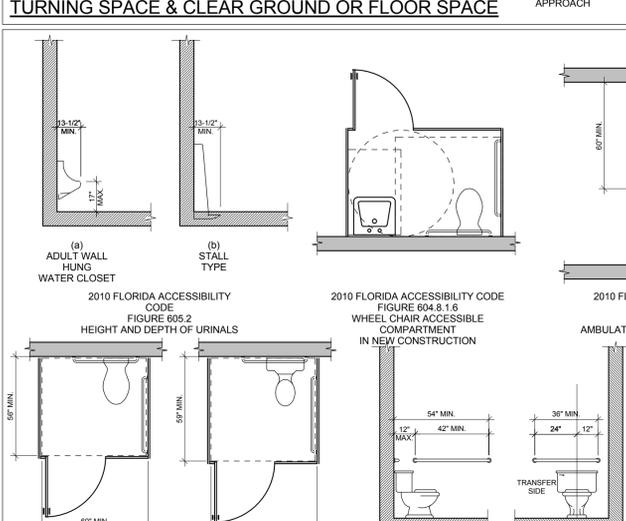
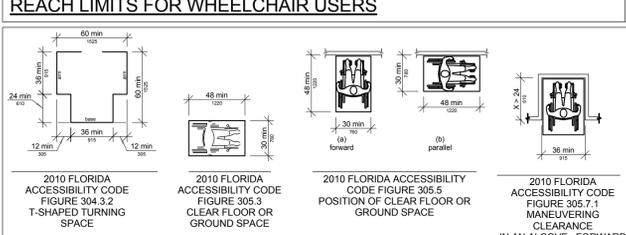
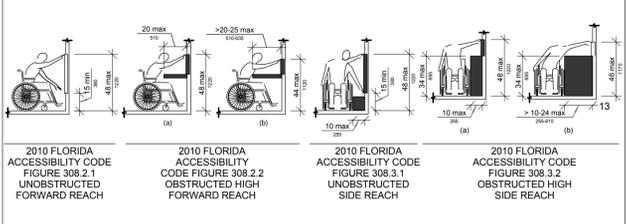
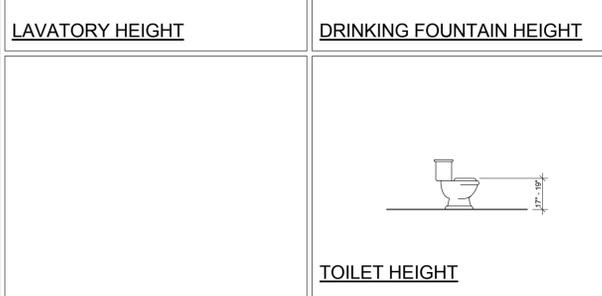
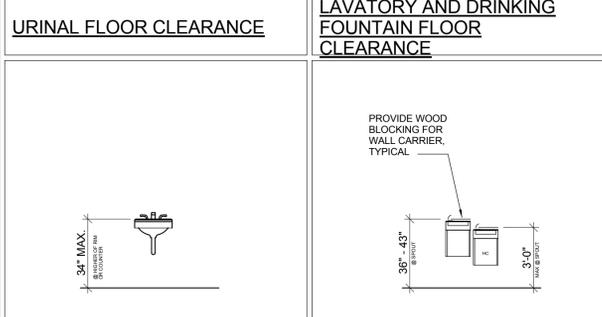
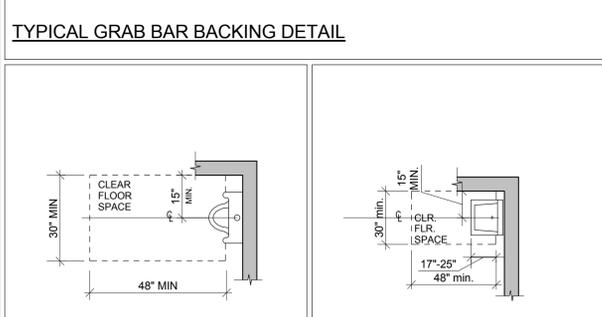
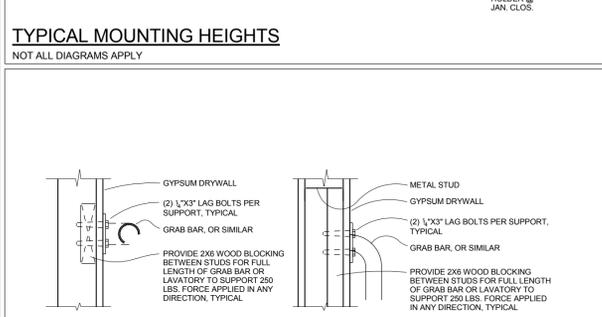
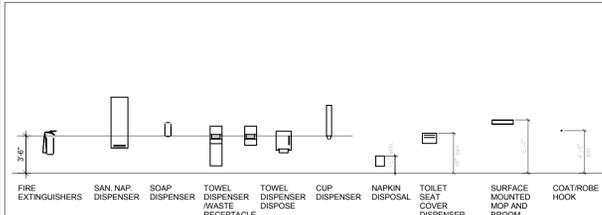
- 1. ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED ON THE PLANS OR NOT.
- 2. CONTRACTOR TO VERIFY THAT ALL REQUIRED APPROVALS PERTAINING TO THE PROJECT HAVE BEEN SATISFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE THE DRAWINGS. (NOTIFY ARCHITECT IMMEDIATELY OF ANY VARIATIONS ON THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS).
- 4. APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURER'S PUBLISHED INSTRUCTIONS OR, IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICE.
- 5. DIMENSIONS ARE TO FACE OF DRYWALL OR TO CENTERLINE OF COLUMNS AND OPENINGS U.N.O.
- 6. ALL WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS.
- 7. ALL WINDOWS AND EXTERIOR DOORS SHALL BE WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE APPLICABLE CODES.
- 8. CONTRACTOR'S SCOPE OF WORK INCLUDES ALL CONSTRUCTION NECESSARY TO ACCOMPLISH THE INTENDED RESULT. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF CONSTRUCTION.
- 9. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
- 10. SHOULD THE SCOPE OF WORK FOR ANY REASON NOT BE FULLY INDICATED ON THE CONTRACT DOCUMENTS THE ARCHITECT SHOULD BE CONTACTED IMMEDIATELY.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO ALL SUBCONTRACTORS AND VENDORS DURING THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ON-SITE IN A CONVENIENT LOCATION, A COMPLETE SET OF THE SIGNED AND SEALED PERMIT DOCUMENTS, INCLUDING ALL THE LATEST REVISIONS, ADDENDA, SHOP DRAWINGS AND SUPPLEMENTAL INFORMATION AS MAY BE REQUIRED FOR PROPER EXECUTION OF THE PROJECT. DRAWINGS SHALL BE LOCKED IN A SECURE LOCATION WHEN NOT IN USE. RECORDS OF ADDITIONAL COPIES OF PORTIONS OR ENTIRE DRAWING SETS SHALL BE MAINTAINED. ALL ADDITIONAL SETS SHALL BE RETURNED TO THE GENERAL CONTRACTOR AND KEPT OUT OF PUBLIC CIRCULATION.
- 12. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH SUBCONTRACTORS, SUPPLIERS, VENDORS AND SPECIALTY CONTRACTORS.
- 13. UPON COMPLETION OF THE PROJECT THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A SET OF AS BUILT PLANS.
- 14. ALL WOOD IN CONTACT WITH MASONRY TO BE P.T.
- 15. PIPES AND WIRE PASSING THROUGH FIRE RATED ASSEMBLIES ARE TO BE PROTECTED AS PER THE 2009 INTERNATIONAL BUILDING CODE. 16. FLAMMABLE AND COMBUSTIBLE MATERIALS, IF USED DURING CONSTRUCTION, SHALL BE HANDLED AND STORED IN ACCORDANCE WITH NFPA 30.
- 16. BEFORE COMMENCEMENT OF WORK, CONTRACTOR TO COORDINATE ALL BUILDING SYSTEMS WITH EACH OTHER AND WITH EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY FORESEEN CONFLICTS.

DEMOLITION GENERAL NOTES

- 1. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVALS PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA. A SCHEDULE SHALL BE SUBMITTED TO OWNER ALONG WITH THE DEMOLITION BID.
- 2. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE OWNER, AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE OWNER.
- 3. THE CONTRACTOR SHALL SUPPLY THE LANDLORD ALL DOCUMENTATION REQUESTED.
- 4. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH OWNER PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING THE DEMOLITION THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
- 5. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY OWNER IMMEDIATELY.
- 6. NOT USED
- 7. ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE OWNER SHALL BE CAREFULLY REMOVED, SURFACE CLEANED, LABELED, STORED AND TURNED OVER TO THE OWNER.
- 8. COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION.
- 9. THE DISPOSAL OF ALL DEMOLITION ITEMS TO BE BY THE CONTRACTOR, HAULED AWAY FROM THE SITE. OWNER RESERVES THE RIGHT OF FIRST REFUSAL.
- 10. CONTRACTOR TO CAREFULLY REMOVE AND STORE ALL DOORS AND FRAMES THAT ARE INDICATED TO BE REMOVED FOR POSSIBLE OWNER STORAGE.
- 11. POWER TO BUILDING SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH OWNER AND OBTAIN APPROVAL WITH OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION.
- 12. REMOVE ALL WIRING FROM DEMOLISHED RECEPTACLES TO SOURCE PANEL. REMOVE ALL ABANDONED WIRING.
- 13. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS AND SHALL HAVE VISITED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF THE EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK.
- 14. THE CONTRACT DOCUMENTS ARE INTENDED TO BE COMPLIMENTARY. DEMOLITION SHALL NOT BE LIMITED TO THE WORK SHOWN ON THESE DRAWINGS BUT SHALL INCLUDE ALL DEMOLITION NECESSARY TO ACCOMMODATE THE NEW WORK.
- 15. PATCH ALL HOLES AND OPENINGS CREATED AS A RESULT OF DEMOLITION.
- 16. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS, AND RUBBISH CAUSED BY OPERATIONS. AT COMPLETION OF WORK, LEAVE PREMISES AND PUBLIC PROPERTIES BROOM CLEAN ON A DAILY BASIS.
- 17. NO CONCRETE ELEMENTS SHALL BE REMOVED.

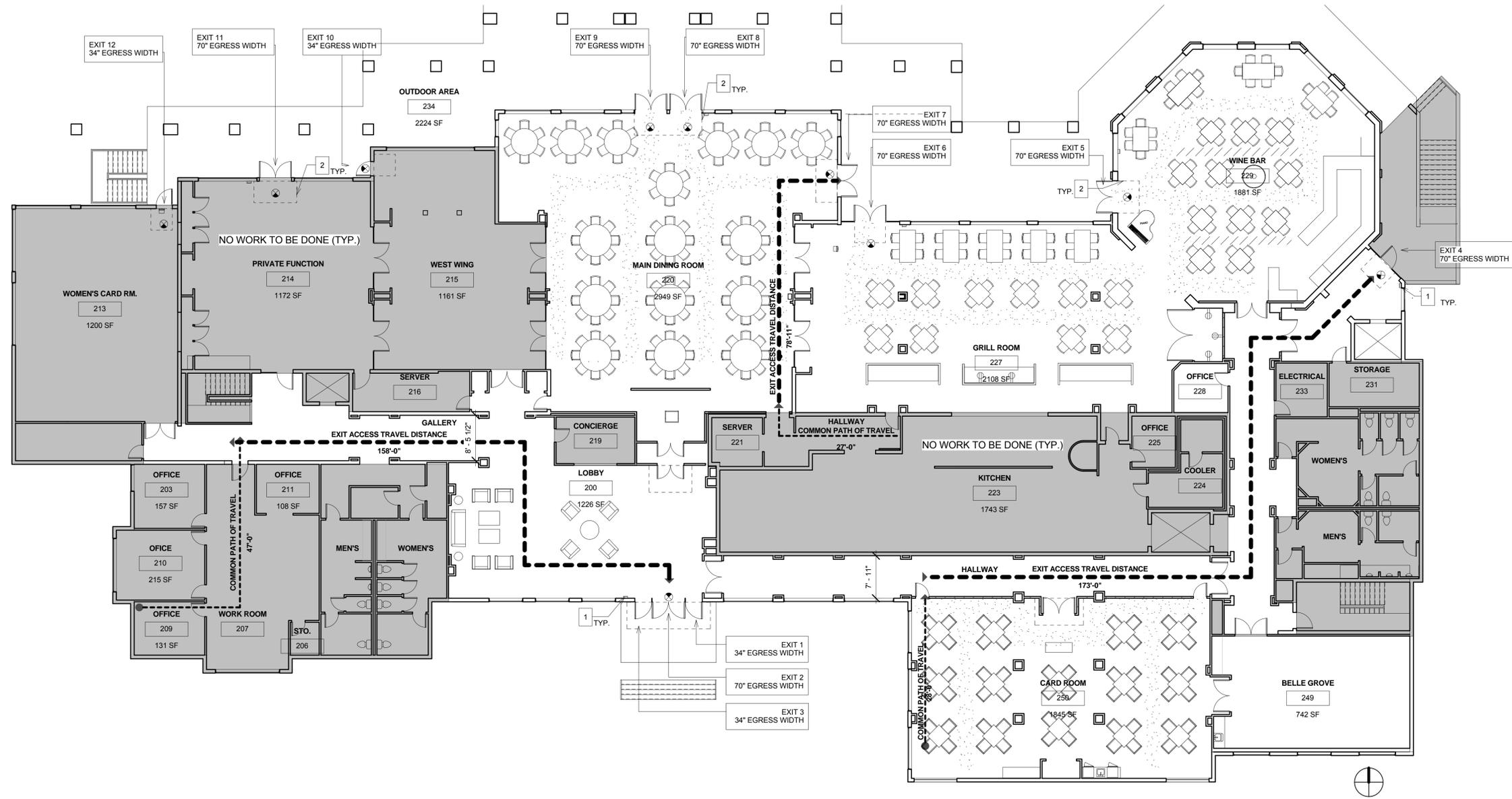
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1 LIFE SAFETY AND FURNITURE PLAN  
SCALE: 3/32" = 1'-0"

**LIFE SAFETY PLAN GENERAL NOTES**

- OCCUPANCY CLASSIFICATION IS ASSEMBLY A-2
- CLASSIFICATION OF HAZARD IS ORDINARY ACCORDING TO NFPA 101 - 6.2.2.3
- EXISTING SPACE IS SPRINKLERED.
- FURNITURE SHOWN FOR EGRESS INFORMATION ONLY
- ALL FIRE AND/OR SMOKE SEPARATION WALLS MUST BE IDENTIFIED ABOVE DECORATIVE CEILING AND IN CONCEALED SPACES BY STENCILED SIGN READING: "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS"
- HEADROOM IN ALL MEANS OF EGRESS SHALL BE MINIMUM 7'-6" WITH PROJECTIONS NOT LESS THAN 6'-8"
- ABRUPT CHANGES IN ELEVATION OF WALKING SURFACES SHALL NOT EXCEED 1/4". CHANGES IN ELEVATION BETWEEN 1/4" AND 1/2" SHALL BE LEVELED 1 TO 2.
- ANY DOOR IN THE MEANS OF EGRESS SHALL MEET THE REQUIREMENTS UNDER NFPA 101 (SECTION 7.2.1). DOOR SHALL BE ARRANGED TO BE OPENED READILY FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED SHALL NOT REQUIRE THE USE OF A KEY, A TOOL OR SPECIAL KNOWLEDGE OR EFFORT FOR THE OPERATION FROM THE EGRESS SIDE PER NFPA 101 (7.2.1.5.1). EXISTING EXIT STAIR DOORS WILL REMAIN EQUIPPED WITH PANIC EXIT HARDWARE OR FIRE EXIT HARDWARE PER (7.2.1.7.1 AND 12.2.2.2.3).
- MAIN ENTRY DOOR IS PERMITTED TO HAVE A KEVED LOCK FROM THE EGRESS SIDE PER NFPA 101 (7.2.1.5.1, EXCEPTION 2) AND HAVE A SIGN POSTED ADJACENT TO THE DOOR IN 1 INCH LETTERS ON A CONTRASTING BACKGROUND "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED."
- MEANS OF EGRESS SHALL NOT BE PERMITTED THROUGH KITCHENS, STOREROOMS, RESTROOMS, CLOSETS, OR HAZARDOUS AREAS NFPA 101 (12.2.5.2).
- COORDINATE WITH OWNER FOR EXACT LOCATION OF FURNITURE AND OUTLETS.
- REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR EXIT SIGNAGE AND EMERGENCY LIGHTING INFORMATION.

**LIFE SAFETY KEY NOTES**

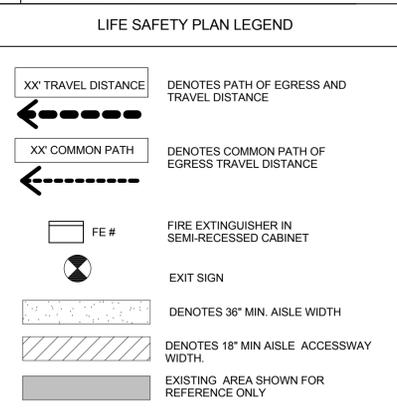
- THE CONTRACTOR SHALL PROVIDE AND INSTALL (1) 10 LB. ABC TYPE U.L. LISTED FIRE EXTINGUISHER 1 PER 75'-0" OR 2500 S.F. LOCATION SHALL BE APPROVED BY FIRE MARSHALL PRIOR TO INSTALLATION.
- CLEAR FLOOR AREA FOR ACCESS OF PERSONS WITH DISABILITIES

**EGRESS REQUIREMENTS**

MIN. NUMBER OF EXITS PER FL BLDG. CODE SECTION 1015.1.1	REQUIRED	PROVIDED
3	3	12
MAIN ASSEMBLY OCCUPANCY EXIT WIDTH SUFFICIENT TO EXIT 50% OF OCCUP. PER SEC. 1028.2 901 OCCUPANTS/2 = 450. 453X0.2 = 90" REQ'D WIDTH	MINIMUM	PROVIDED
90"	90"	138"
TOTAL EGRESS WIDTH PER BLDG. CODE SECTION 1005.3.2 IS .2" PER OCCUP. 901 OCCUP. X .2" OCCUPANT = 180" REQ'D WIDTH	REQUIRED	PROVIDED
180"	180"	696"
EXIT ACCESS TRAVEL DISTANCE TABLE 1016.2 FOR SPRINKLERED A OCCUPANCY	MAXIMUM	PROVIDED
250'	250'	173'-0"
MINIMUM CORRIDOR WIDTH PER SECTION 1014.3, TABLE 1018.2	MINIMUM	PROVIDED
44"	44"	95"
MINIMUM CORRIDOR FIRE RATING PER TABLE 1018.1 FOR SPRINKLERED A OCCUPANCY	MINIMUM	PROVIDED
0 HOURS	0 HOURS	0 HOURS
MAXIMUM COMMON PATH OF EGRESS TRAVEL LENGTH PER SECTION 1014.3, EXCEPTION 1.	MAXIMUM	PROVIDED
75'-0"	75'-0"	47'-0"
MAXIMUM COMMON PATH OF EGRESS TRAVEL LENGTH IN AN ASSEMBLY ROOM. FOR A ROOM OR SPACE USE FOR ASSEMBLY PURPOSES HAVING FIXED SEATING SECTION 1028.8	MAXIMUM	PROVIDED
30'-0"	30'-0"	28'-0"
MAXIMUM DEAD END CORRIDOR PER SECTION 1018.3 (WHERE MORE THAN ONE EXIT OR EXIT ACCESS DOOR IS REQUIRED)	MAXIMUM	PROVIDED
20'	20'	N/A

**OCCUPANT LOAD CALCULATIONS**

Room	Name	Occupant	Area	Load Factor	Occ. Load	Net Occupant Load
233	ELECTRICAL	Storage/Mech Rm	96 SF	300 SF	0.319	1
206	STO.	Storage/Mech Rm	33 SF	300 SF	0.110	1
231	STORAGE	Storage/Mech Rm	137 SF	300 SF	0.456	1
300 SF: 3			266 SF		0.885	3
224	COOLER	Kitchen	117 SF	200 SF	0.585	1
223	KITCHEN	Kitchen	1743 SF	200 SF	8.714	9
200 SF: 2			1860 SF		9.299	10
219	CONCIERGE	Business/Office	127 SF	100 SF	1.272	1
203	OFFICE	Business/Office	157 SF	100 SF	1.569	2
208	OFFICE	Business/Office	131 SF	100 SF	1.308	1
211	OFFICE	Business/Office	108 SF	100 SF	1.077	1
225	OFFICE	Business/Office	78 SF	100 SF	0.775	1
228	OFFICE	Business/Office	92 SF	100 SF	0.915	1
210	OFFICE	Business/Office	215 SF	100 SF	2.145	2
216	SERVER	Business/Office	199 SF	100 SF	1.987	2
221	SERVER	Business/Office	66 SF	100 SF	0.659	1
207	WORK ROOM	Business/Office	638 SF	100 SF	6.379	6
100 SF: 10			1789 SF		17.885	18
<b>Assembly (Tables and Chairs)</b>						
209	BELLE GROVE	Assembly (Tables and Chairs)	742 SF	15 SF	49.485	49
250	CARD ROOM	Assembly (Tables and Chairs)	1845 SF	15 SF	123.012	123
227	GRILL ROOM	Assembly (Tables and Chairs)	2108 SF	15 SF	140.537	141
200	MAIN DINING ROOM	Assembly (Tables and Chairs)	2949 SF	15 SF	196.605	197
214	PRIVATE FUNCTION	Assembly (Tables and Chairs)	1172 SF	15 SF	78.147	78
215	WEST WING	Assembly (Tables and Chairs)	1161 SF	15 SF	77.387	77
229	WINE BAR	Assembly (Tables and Chairs)	1881 SF	15 SF	125.417	125
213	WOMEN'S CARD RM.	Assembly (Tables and Chairs)	1200 SF	15 SF	79.978	80
15 SF: 8			13059 SF		870.568	870
Grand total: 23			16972 SF		998.637	901

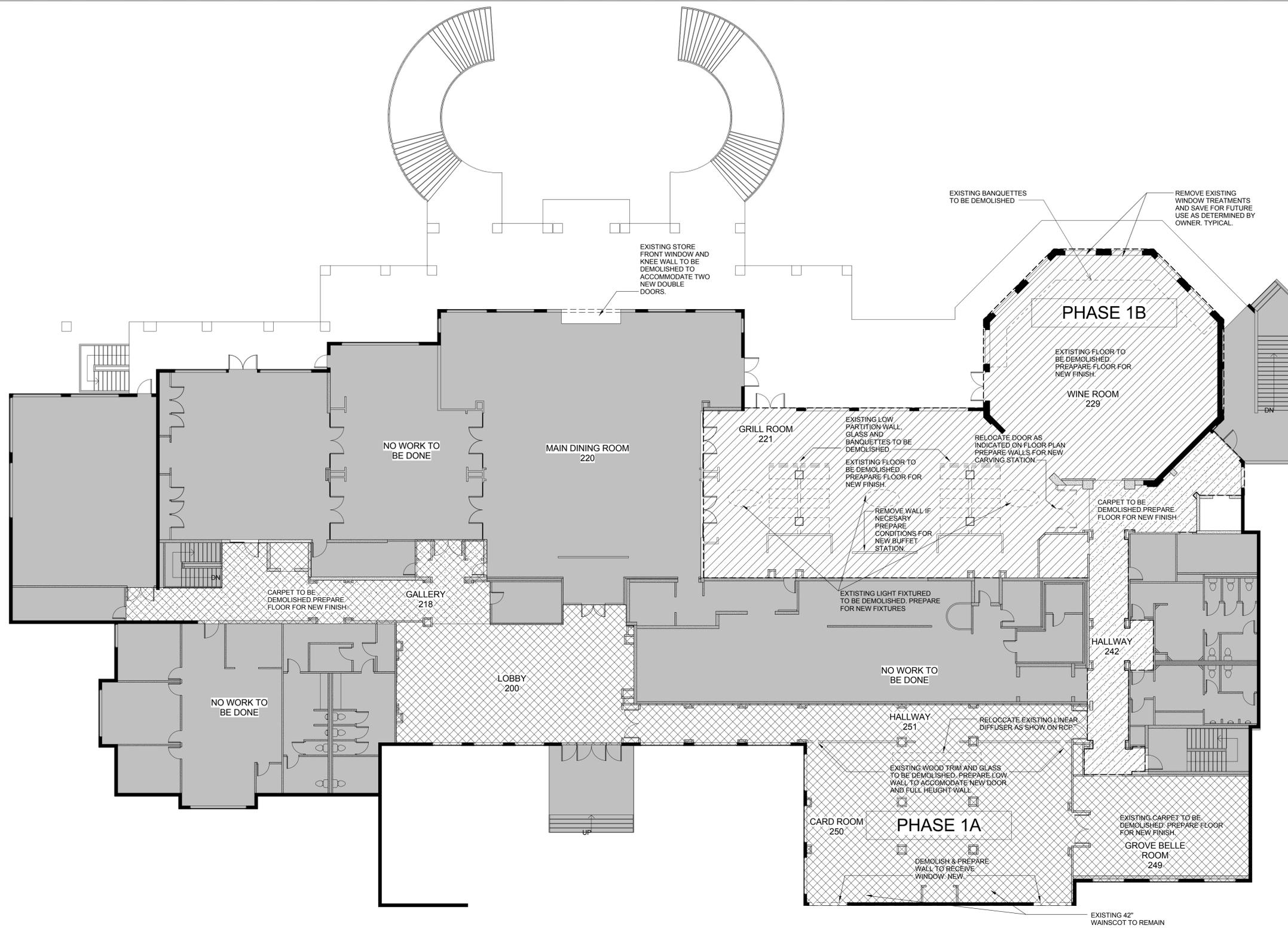


REVISIONS:

**Life Safety Plan**

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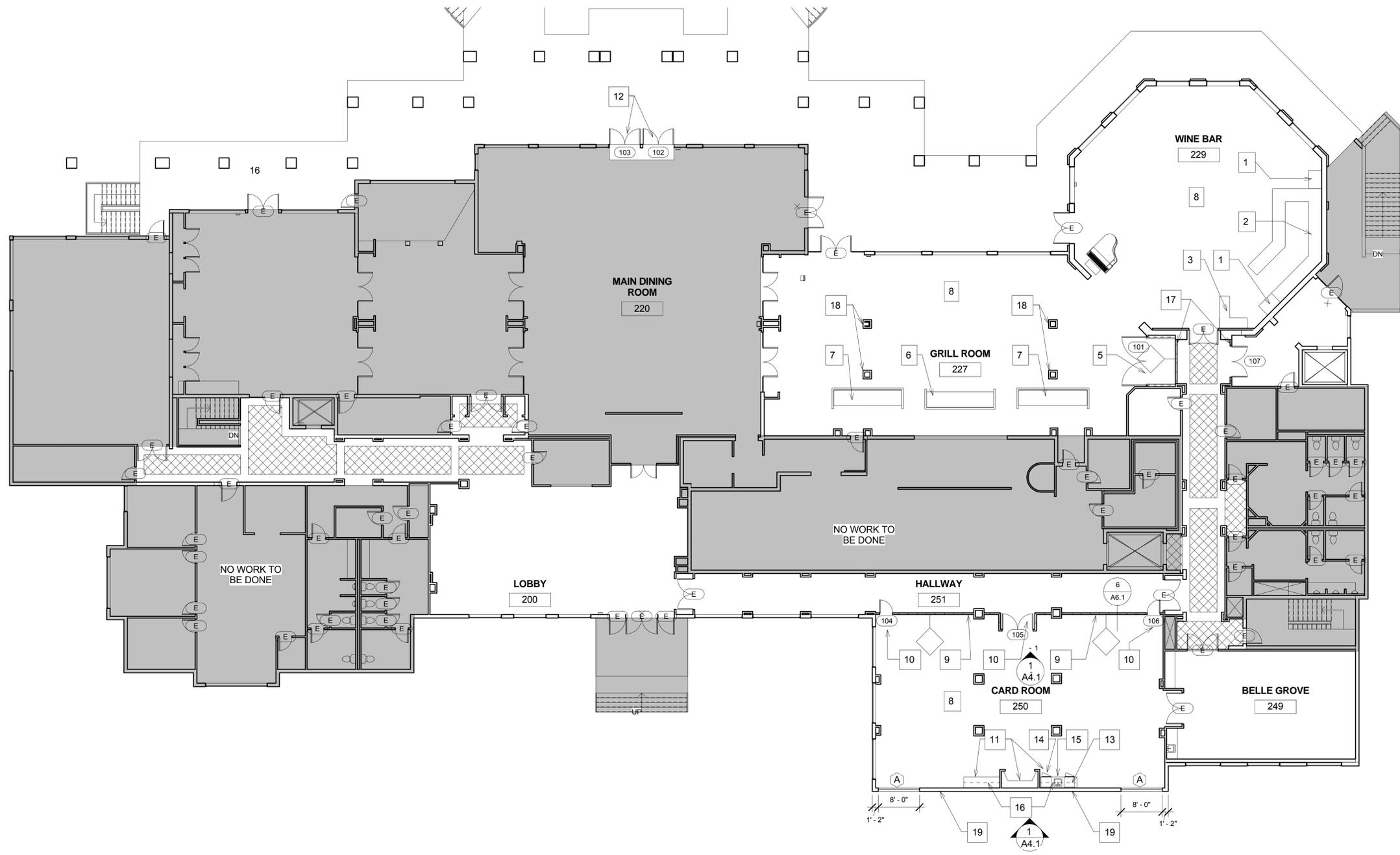
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**1 DEMOLITION PLAN**  
SCALE: 3/32"= 1'-0"

PHASE 1A	DEMOLITION PLAN GENERAL NOTES	DEMO PLAN GENERAL NOTES (CONT'D)	DEMO PLAN GENERAL NOTES (CONT'D)	DEMO PLAN GENERAL NOTES (CONT'D)	DEMOLITION PLAN LEGEND
<p>LOBBY 200 GALLERY 218 BELLE GROVE ROOM 249 CARD ROOM 250 HALLWAY 251</p> <p>PHASE 1B</p> <p>MAIN DINING ROOM 220 GRILL ROOM 221 WINE ROOM 229</p>	<p>1. THE CONTRACTOR SHALL OBTAIN A BUILDING PERMIT BY OWNER AND ANY OTHER REQUIRED APPROVALS PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION. SELECTIVE REMOVAL AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA. A SCHEDULE SHALL BE SUBMITTED TO OWNER ALONG WITH THE DEMOLITION BID.</p> <p>2. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE LANDLORD, OWNER, LEASING AGENT AND/OR TENANT AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD, OWNER, AND/OR LEASING AGENT.</p> <p>3. THE CONTRACTOR SHALL SUPPLY THE LANDLORD &amp; OWNER/TENANT WITH ALL DOCUMENTATION REQUESTED.</p> <p>4. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING THE DEMOLITION THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.</p> <p>5. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.</p>	<p>6. ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE CLIENT, LANDLORD, LEASING AGENT AND/OR TENANT SHALL BE CAREFULLY REMOVED, SURFACE CLEANED, LABELED, STORED AND TURNED OVER TO THE OWNER AND/OR LANDLORD.</p> <p>7. RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY NEW LAYOUT. TERMINATE EXPOSED CONNECTIONS PER N.E.C. ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD.</p> <p>8. ALL FIRE PROTECTION DEVICES SUCH AS HORN STROBES, PULL STATIONS, SMOKE DETECTORS, FIRE EXTINGUISHERS, HOSE CABINETS ETC DISPLACED BY DEMOLITION SHALL BE SALVAGED, LABELED AND STORED FOR RE-USE. THE FIRE ALARM, FIRE SPRINKLER SYSTEM SHALL BE MAINTAINED IN OPERABLE CONDITION AT ALL TIMES.</p> <p>9. CONTRACTOR SHALL COORDINATE DEMOLITION WITH OWNER/TENANT AND ARCHITECT PRIOR TO DEMOLISHING ITEMS NOT SPECIFIED ON THE PLANS.</p> <p>10. COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION.</p> <p>11. THE DISPOSAL OF ALL DEMOLITION ITEMS TO BE BY THE CONTRACTOR, HAULED AWAY FROM THE SITE. OWNER RESERVES THE RIGHT OF FIRST REFUSAL.</p>	<p>12. CONTRACTOR TO CAREFULLY REMOVE AND STORE ALL DOORS AND FRAMES THAT ARE INDICATED TO BE REMOVED FOR POSSIBLE OWNER/TENANT STORAGE.</p> <p>13. POWER TO BUILDING SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH LANDLORD AND OBTAIN APPROVAL WITH OWNER/TENANT 72 HOURS PRIOR TO PROPOSED INTERRUPTION.</p> <p>14. REMOVE ALL WIRING FROM DEMOLISHED RECEPTACLES TO SOURCE PANEL. REMOVE ALL ABANDONED WIRING.</p> <p>15. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS AND SHALL HAVE VISITED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF THE EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK.</p> <p>16. CONTRACTOR IS RESPONSIBLE TO FURNISH, INSTALL AND MAINTAIN CLEAN FILTERS ON THE AIR HANDLERS AND TO FURNISH, INSTALL AND MAINTAIN AIR FILTERS PRIOR FINALIZATION OF WORK.</p> <p>17. THE CONTRACT DOCUMENTS ARE INTENDED TO BE COMPLIMENTARY. DEMOLITION SHALL NOT BE LIMITED TO THE WORK SHOWN ON THESE DRAWINGS BUT SHALL INCLUDE ALL DEMOLITION NECESSARY TO ACCOMMODATE THE NEW WORK.</p> <p>18. RETAIN EXISTING EXIT LIGHTS. CLEAN, REPAIR AND REUSE IF IN GOOD CONDITION WHERE APPLICABLE OR PREPARE FOR STORAGE BY OWNER/TENANT.</p>	<p>19. PATCH ALL HOLES AND OPENINGS CREATED AS A RESULT OF DEMOLITION. SUCH PATCHING SHALL INCLUDE BUT IS NOT LIMITED TO, REMOVED DUCTWORK, PIPING, PLUMBING FIXTURES, CONDUIT, SWITCHES, RECEPTACLES, LIGHT FIXTURES, CONTROLS AND JUNCTION BOXES. THE DEMOLITION OPERATIONS SHALL AT ALL TIMES BE CARRIED ON IN SUCH A MANNER SO AS TO PREVENT DAMAGE OR DUSTING TO ADJOINING SPACES.</p> <p>20. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS, AND RUBBISH CAUSED BY OPERATIONS. AT COMPLETION OF WORK, LEAVE PREMISES AND PUBLIC PROPERTIES BROOM CLEAN ON A DAILY BASIS.</p> <p>21. NO STRUCTURAL ELEMENTS SHALL BE REMOVED. CONTACT ARCHITECT PRIOR TO REMOVAL OF ANY CONCRETE OR MASONRY OR STRUCTURAL STEEL.</p> <p>22. THE G.C. SHOULD MAINTAIN LIFE SAFETY STANDARDS AT ALL TIMES.</p> <p>23. G.C. TO STRIP DOWN PARTITIONS THAT ARE PART OF THE SCOPE OF WORK TO DETERMINE IF IT CAN BE DEMO'D OR NOT. G.C. TO NOTIFY ARCHITECT BEFORE REMOVING ANY ADDITIONAL OR STRUCTURAL ELEMENTS.</p>	<p></p> <p>— DENOTES EXISTING CONSTRUCTION TO REMAIN.</p> <p>- - - DENOTES EXISTING CONSTRUCTION TO BE REMOVED</p> <p> DENOTES EXISTING DOOR TO BE REMOVED / RELOCATED</p>

**Demolition Plan**



**1 FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

**FLOOR PLAN KEY NOTES**

- 1 NEW WINE REFRIGERATOR CABINETS BY OWNER
- 2 REFURBISH EXISTING BAR TO WINE BAR BY OWNER
- 3 NEW SERVICE STATION BY OWNER
- 4 NOT USED
- 5 NEW PERMANENT CARVERY & OMELET STATION (CABINET ENCLOSURE WHEN NOT IN USE). REFER TO INTERIOR DESIGNER DWGS. FOR DETAILS.
- 6 NEW PERMANENT BUFFET STATION (CABINET ENCLOSURE WHEN NOT IN USE).
- 7 EXISTING SERVING STATION
- 8 NEW PAINT/ CARPET/ NEW FURNITURE THROUGHOUT
- 9 NEW PARTITION WALL FROM EXISTING LOW WALL TO CEILING REFER TO DETAIL

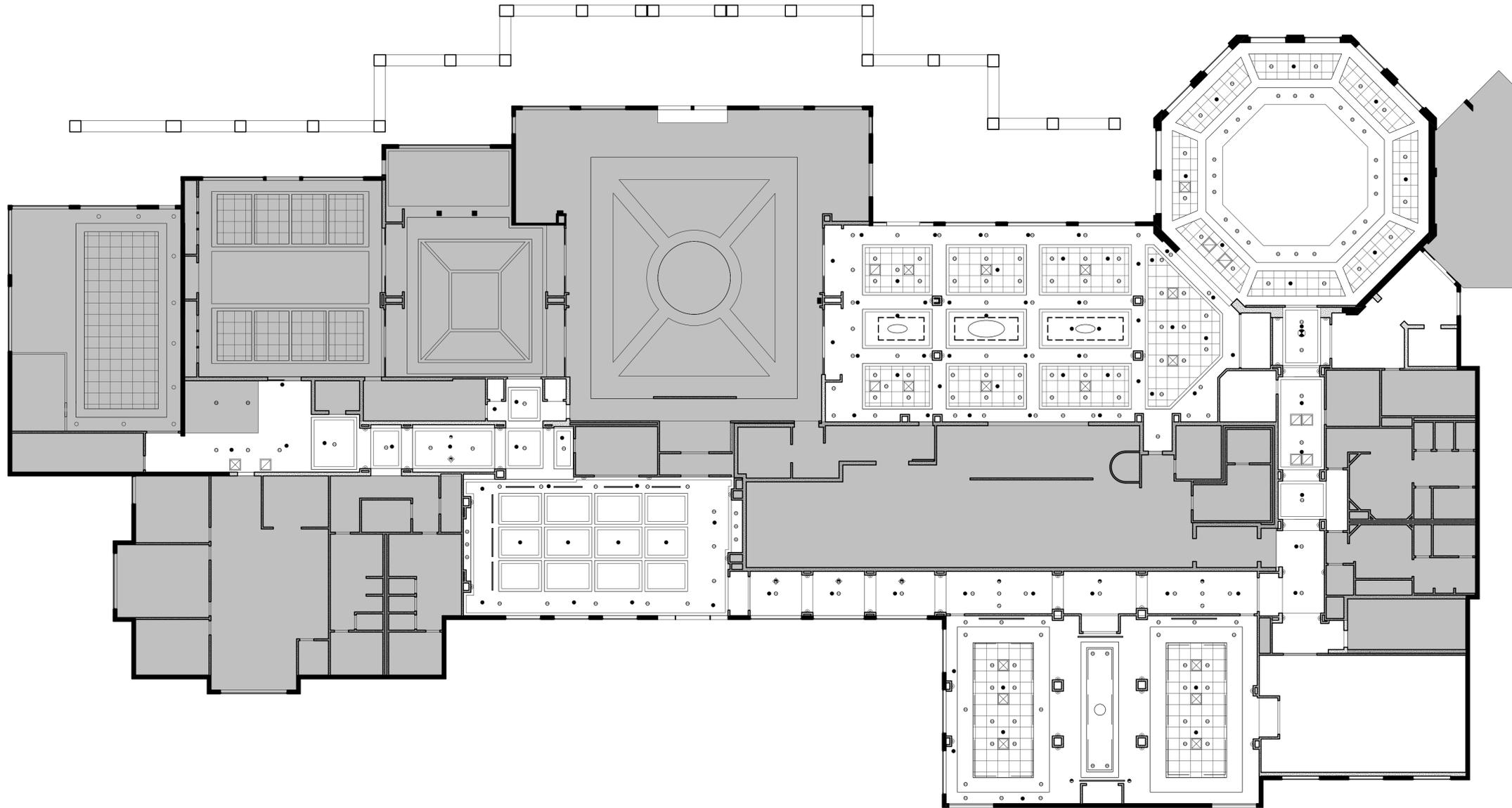
**FLOOR PLAN KEY NOTES**

- 10 NEW FROSTED GLASS FULL HEIGHT PIVOT DOORS. SEE DOOR SCHEDULE.
- 11 EXISTING FIRE PLACE & BUFFETS. SEE ID DRAWINGS.
- 12 NEW GLASS DOBLE DOORS WITH SIDE LIGHTS & TRANSUMS TO MATCH EXISTING. SEE DOOR SCHEDULE.
- 13 NEW UNDERCOUNTER FRIDGE. SEE ID DRAWINGS
- 14 NEW ICE MAKER. SEE ID DRAWINGS
- 15 NEW SINK. SEE ID DRAWINGS.
- 16 12" DEEP UPPER CABINETRY. SEE ID DRAWINGS.
- 17 NEW PARTITION WALL. SEE WALL TYPE SHEET
- 18 RECONSTRUCT LOWER COLUMN MATCH TO EXISTING PROFILE PILASTER AT EXTERIOR WINDOW WALL
- 19 EXISTING WAINSCOT TO REMAIN. PATCH & REPAIR AS NEED IT

**FLOOR PLAN LEGEND**

- EXISTING AREA NO WORK TO BE DONE
- NEW PARTITION WALL
- EXISTING WALL

**Floor Plan**



**CEILING PLAN GENERAL NOTES**

1. EXISTING ACOUSTICAL CEILING TILE AND GRID - VERIFY IN FIELD.
2. REFER TO ENGINEER'S DRAWINGS FOR SWITCHING, POWER, MECHANICAL, AND EXIT SIGNAGE INFORMATION.
3. ARCHITECT TO HAVE FINAL DECISION ON LIGHTING LOCATIONS. IF QUESTIONS ARISE IT IS THE RESPONSABILITY OF THE CONTRACTOR TO INFORM THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
4. LIGHT CIRCUITS SHALL BE DIMMABLE. COORDINATE WITH ELECTRICAL DRAWINGS.
5. NEW COVE LIGHTING. VERIFY IN FIELD THE LOCATION OF EXISTING COFFER CEILING.
6. CEILING PAINT COLOR - SEE FINISH SCHEDULE. REFER TO INTERIOR DESIGNER DRAWINGS.

**CEILING PLAN LEGEND**

- KEY NOTE - SEE DESIGNATED # FOR MORE INFORMATION.
- EXISTING CEILING GRID AND TILE
- EXISTING GYPSUM BOARD. REFER TO PLAN FOR HEIGHT ABOVE FINISHED FLOOR.
- RECESSED CEILING MOUNTED NEW COVE STRIP LIGHTING - SEE ELECTRICAL PLANS
- CEILING MOUNTED SPEAKER
- DENOTES HEIGHT OF FINISHED CEILING SURFACE ABOVE FINISH FLOOR SLAB ELEVATION (+100.0')

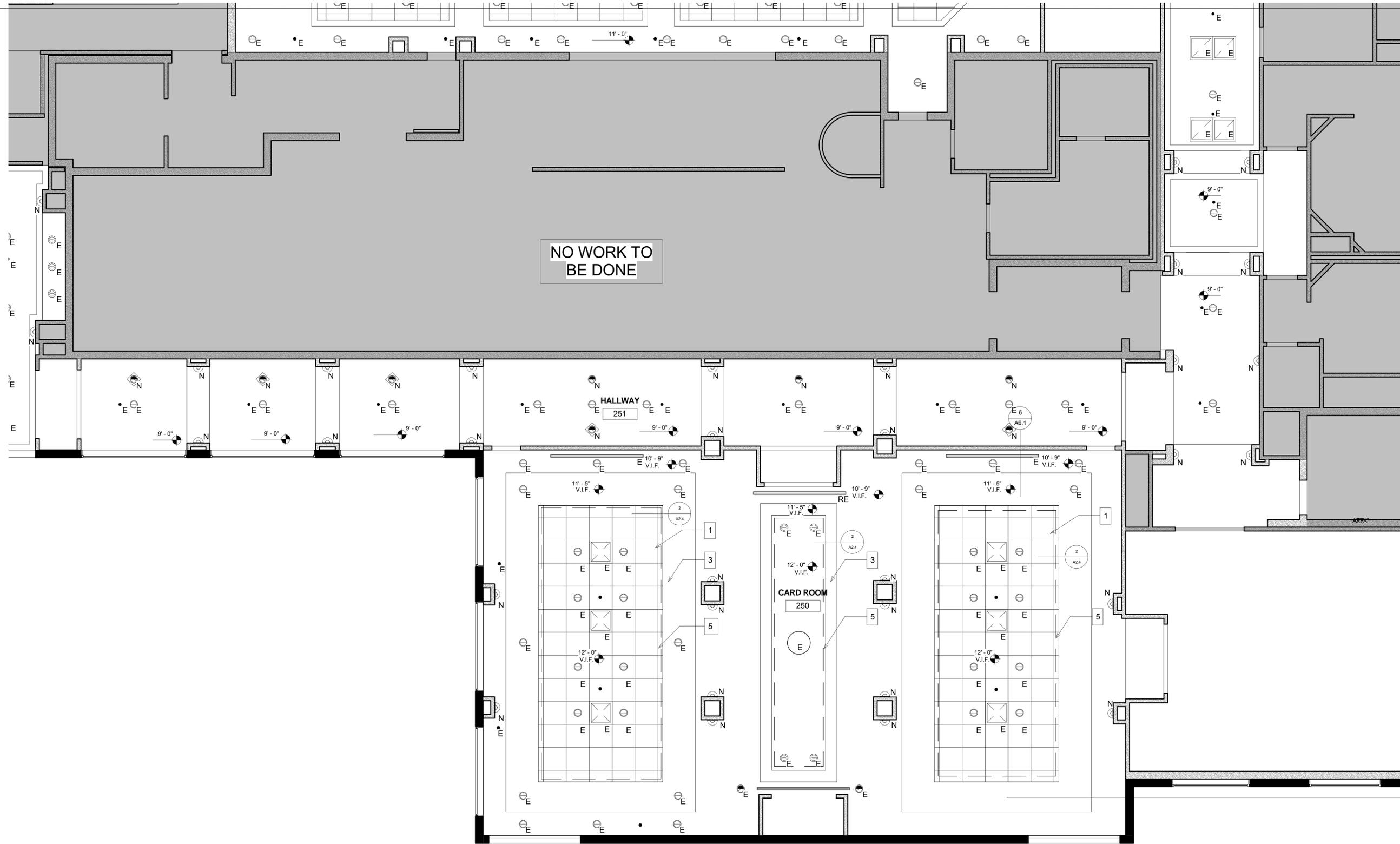
- NEW SCONCE ON EXISTING LOCATION
- EXISTING RECESSED MULTI COLOR LED CEILING MOUNTED LIGHT. V.I.F
- NEW 3" MULTI COLOR LED USIA FIXTURE IN EXISTING LOCATION
- NEW 3 LAMP MULTI COLOR LED USIA LIGHT FIXTURE IN EXISTING LOCATION
- NEW 3 LAMP MULTI COLOR LED USIA LIGHT FIXTURE IN NEW LOCATION
- RETURN AIR - REFER TO MECHANICAL PLANS
- SUPPLY DIFFUSER - REFER TO MECHANICAL PLANS

- EXISTING
- NEW
- RELOCATED
- LINEAR DIFFUSER - REFER TO MECHANICAL PLANS
- EXISTING SPRINKLER - V.I.F.
- EXISTING CHANDELIER
- EXISTING COVE LIGHT
- NEW FIXTURE - SPECIFIED BY OWNER

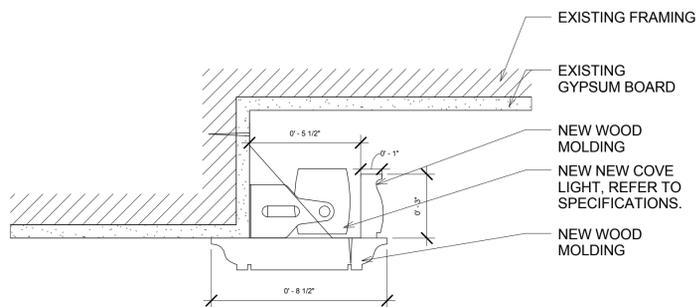
**2 OVERALL REFLECTED CEILING & LIGHTING PLAN**

SCALE: 3/32" = 1'-0"

**Overall Reflected Ceiling Plan**



**1 COVE LIGHT DETAIL**  
SCALE: 3" = 1'-0"



**CEILING PLAN GENERAL NOTES**

- EXISTING ACOUSTICAL CEILING TILE AND GRID. VERIFY IN FIELD.
- REFER TO ENGINEER'S DRAWINGS FOR SWITCHING, POWER, MECHANICAL AND EXIT SIGNAGE INFORMATION.
- ARCHITECT TO HAVE FINAL DECISION ON LIGHTING LOCATIONS. IF QUESTIONS ARISE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
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- NEW COVE LIGHTING. VERIFY IN FIELD THE LOCATION OF EXISTING COFFER CEILING.
- CEILING PAINT COLOR - SEE FINISH SCHEDULE, REFER TO INTERIOR DESIGNER DRAWINGS.

**CEILING PLAN LEGEND**

- KEY NOTE - SEE DESIGNATED # FOR MORE INFORMATION.
- EXISTING CEILING GRID AND TILE
- EXISTING GYPSUM BOARD. REFER TO PLAN FOR HEIGHT ABOVE FINISHED FLOOR.
- RECESSED CEILING MOUNTED NEW COVE STRIP LIGHTING - SEE ELECTRICAL PLANS
- EXISTING CEILING MOUNTED SPEAKER
- Denotes height of finished ceiling surface above finish floor slab elevation (+100.0')
- NEW SCONCE ON EXISTING LOCATION
- EXISTING RECESSED MULTI COLOR LED CEILING MOUNTED LIGHT. V.I.F.
- NEW 3" MULTI COLOR LED USIA FIXTURE IN EXISTING LOCATION
- NEW 3 LAMP MULTI COLOR LED USIA LIGHT FIXTURE IN EXISTING LOCATION
- NEW 3 LAMP MULTI COLOR LED USIA LIGHT FIXTURE IN NEW LOCATION
- RETURN AIR - REFER TO MECHANICAL PLANS
- SUPPLY DIFFUSER - REFER TO MECHANICAL PLANS

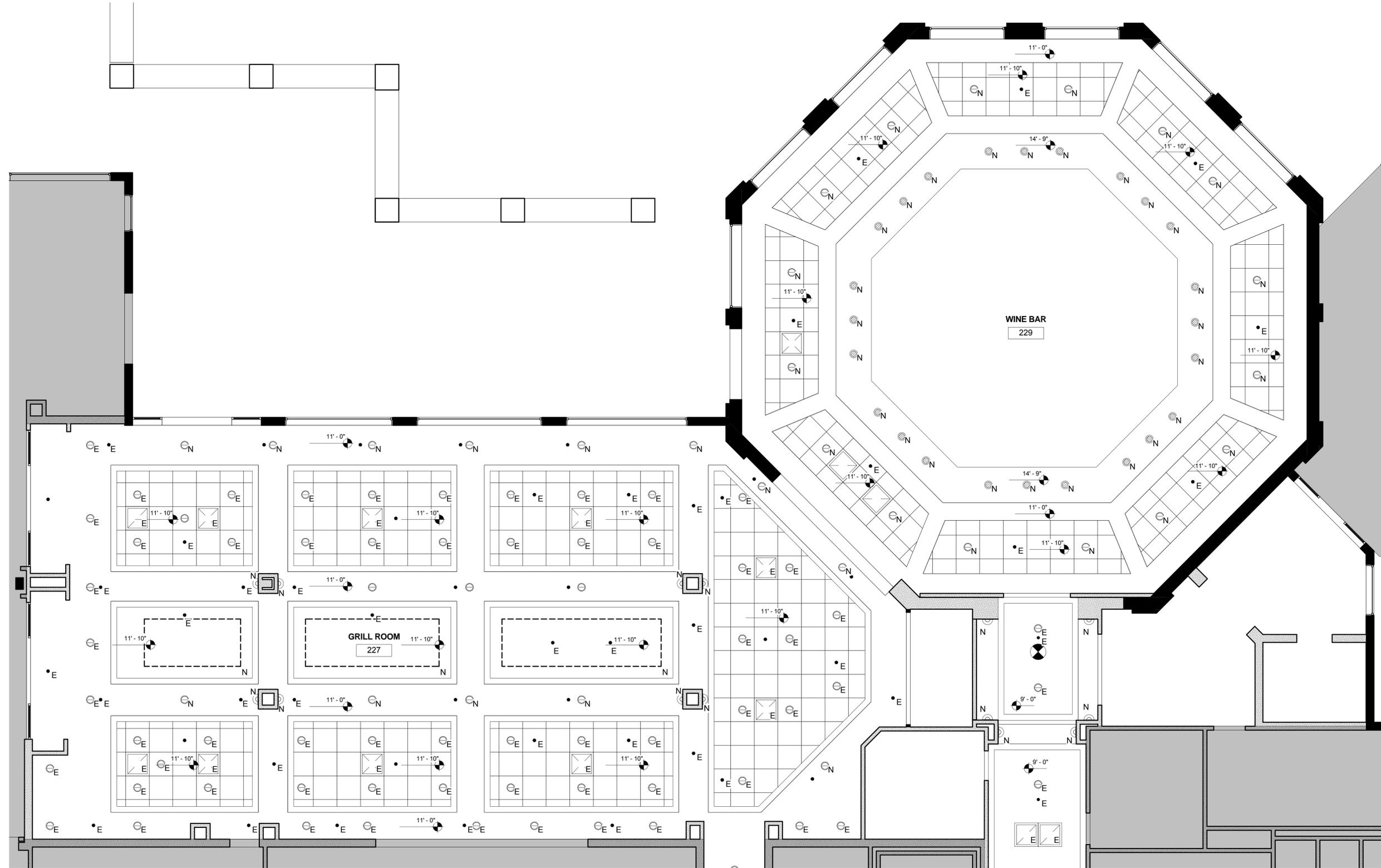
**2 REFLECTED CEILING & LIGHTING PLAN CARD ROOM & HALLWAY**  
SCALE: 1/4" = 1'-0"

- EXISTING
- NEW
- RELOCATED
- LINEAR DIFFUSER - REFER TO MECHANICAL PLANS
- EXISTING SPRINKLER - V.I.F.
- EXISTING CHANDELIER
- EXISTING COVE LIGHT
- NEW FIXTURE - SPECIFIED BY OWNER

**Reflected Ceiling Plan**

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CEILING PLAN GENERAL NOTES

- EXISTING ACOUSTICAL CEILING TILE AND GRID - VERIFY IN FIELD.
- REFER TO ENGINEER'S DRAWINGS FOR SWITCHING, POWER, MECHANICAL AND EXIT SIGNAGE INFORMATION.
- ARCHITECT TO HAVE FINAL DECISION ON LIGHTING LOCATIONS. IF QUESTIONS ARISE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- LIGHT CIRCUITS SHALL BE DIMMABLE. COORDINATE WITH ELECTRICAL DRAWINGS.
- NEW COVE LIGHTING. VERIFY IN FIELD THE LOCATION OF EXISTING COFFER CEILING.
- CEILING PAINT COLOR - SEE FINISH SCHEDULE, REFER TO INTERIOR DESIGNER DRAWINGS.

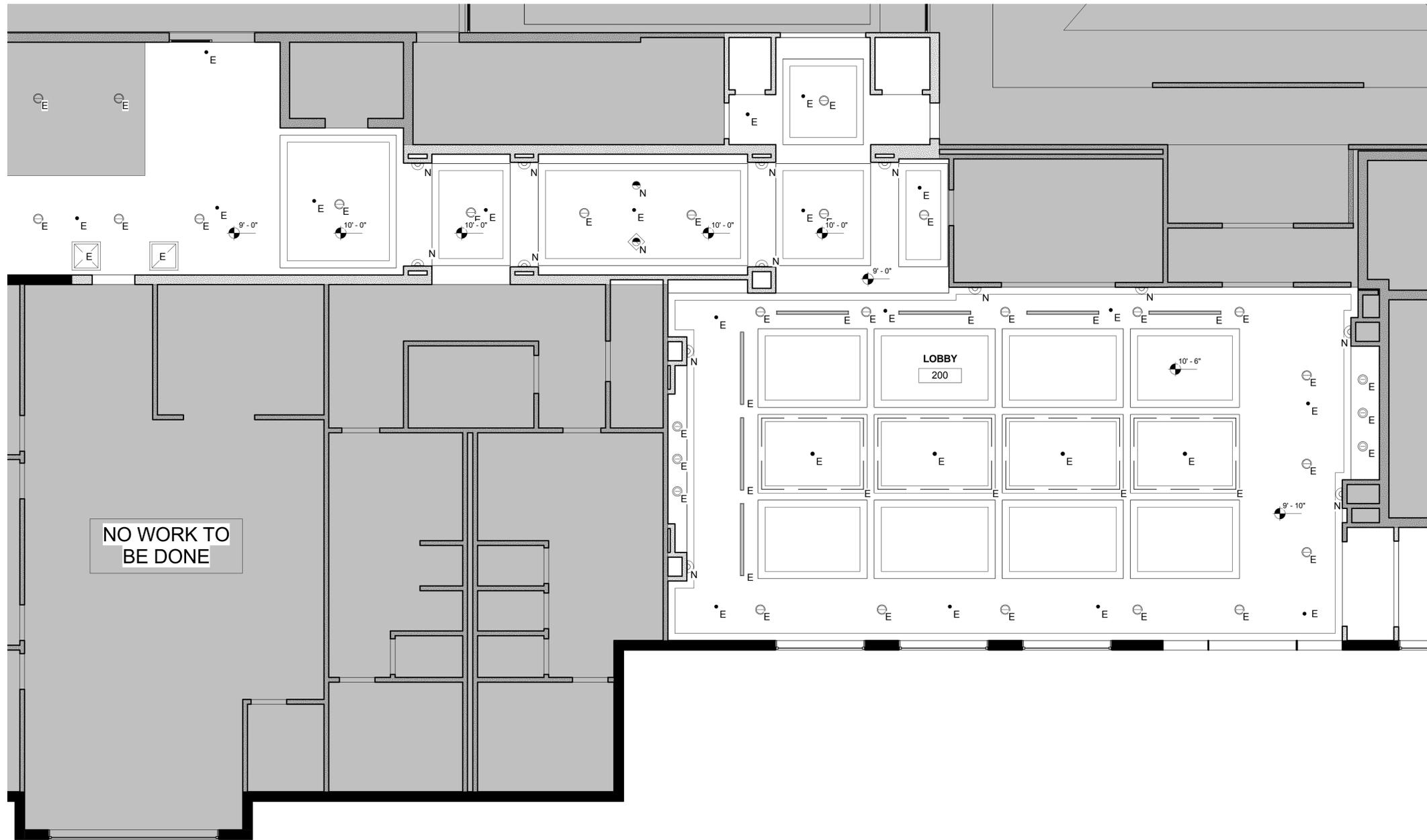
CEILING PLAN LEGEND

- KEY NOTE - SEE DESIGNATED # FOR MORE INFORMATION.
- EXISTING CEILING GRID AND TILE
- EXISTING GYPSUM BOARD. REFER TO PLAN FOR HEIGHT ABOVE FINISHED FLOOR.
- RECESSED CEILING MOUNTED NEW COVE STRIP LIGHTING - SEE ELECTRICAL PLANS
- CEILING MOUNTED SPEAKER
- X-X' AFF DENOTES HEIGHT OF FINISHED CEILING SURFACE ABOVE FINISH FLOOR SLAB ELEVATION (+100.0')

- NEW SCOSNE ON EXISTING LOCATION
- EXISTING RECESSED MULTI COLOR LED CEILING MOUNTED LIGHT. V.I.F.
- NEW 3" MULTI COLOR LED USIA FIXTURE IN EXISTING LOCATION
- NEW 3 LAMP MULTI COLOR LED USIA LIGHT FIXTURE IN EXISTING LOCATION
- NEW 3 LAMP MULTI COLOR LED USIA LIGHT FIXTURE IN NEW LOCATION
- RETURN AIR - REFER TO MECHANICAL PLANS
- SUPPLY DIFFUSER - REFER TO MECHANICAL PLANS

- E EXISTING
- N NEW
- RE RELOCATED
- LINEAR DIFFUSER - REFER TO MECHANICAL PLANS
- EXISTING SPRINKLER - V.I.F.
- EXISTING CHANDELIER
- EXISTING COVE LIGHT
- NEW FIXTURE - SPECIFIED BY OWNER

1 REFLECTED CEILING & LIGHTING PLAN GRILL & WINE ROOM  
SCALE: 1/4" = 1'-0"



**1 COVE LIGHT DETAIL**  
SCALE: 3" = 1'-0"

**CEILING PLAN GENERAL NOTES**

- EXISTING ACOUSTICAL CEILING TILE AND GRID - VERIFY IN FIELD.
- REFER TO ENGINEER'S DRAWINGS FOR SWITCHING, POWER, MECHANICAL AND EXIT SIGNAGE INFORMATION.
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- LIGHT CIRCUITS SHALL BE DIMMABLE. COORDINATE WITH ELECTRICAL DRAWINGS.
- NEW COVE LIGHTING. VERIFY IN FIELD THE LOCATION OF EXISTING COFFER CEILING.
- CEILING PAINT COLOR - SEE FINISH SCHEDULE, REFER TO INTERIOR DESIGNER DRAWINGS.

**CEILING PLAN LEGEND**

- KEY NOTE - SEE DESIGNATED # FOR MORE INFORMATION.
- EXISTING CEILING GRID AND TILE
- EXISTING GYPSUM BOARD. REFER TO PLAN FOR HEIGHT ABOVE FINISHED FLOOR.
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- CEILING MOUNTED SPEAKER
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- NEW 3 LAMP MULTI COLOR LED USIA LIGHT FIXTURE IN NEW LOCATION
- RETURN AIR - REFER TO MECHANICAL PLANS
- SUPPLY DIFFUSER - REFER TO MECHANICAL PLANS

**1 REFLECTED CEILING & LIGHTING PLAN LOBBY & HALLWAY**  
SCALE: 1/4" = 1'-0"

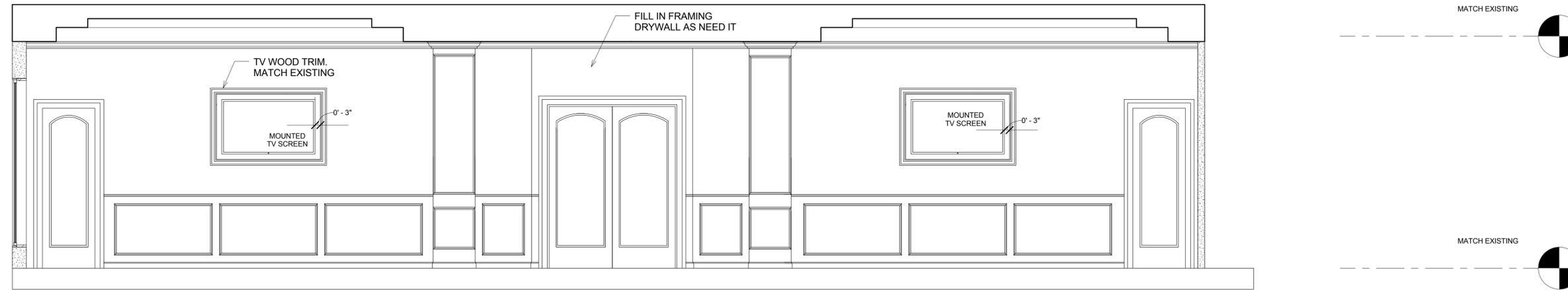
- E EXISTING
- N NEW
- RE RELOCATED
- LINEAR DIFFUSER - REFER TO MECHANICAL PLANS
- EXISTING CHANDELIER
- EXISTING COVE LIGHT
- NEW FIXTURE - SPECIFIED BY OWNER
- EXISTING SPRINKLER - V.I.F.

**Reflected Ceiling Plan**

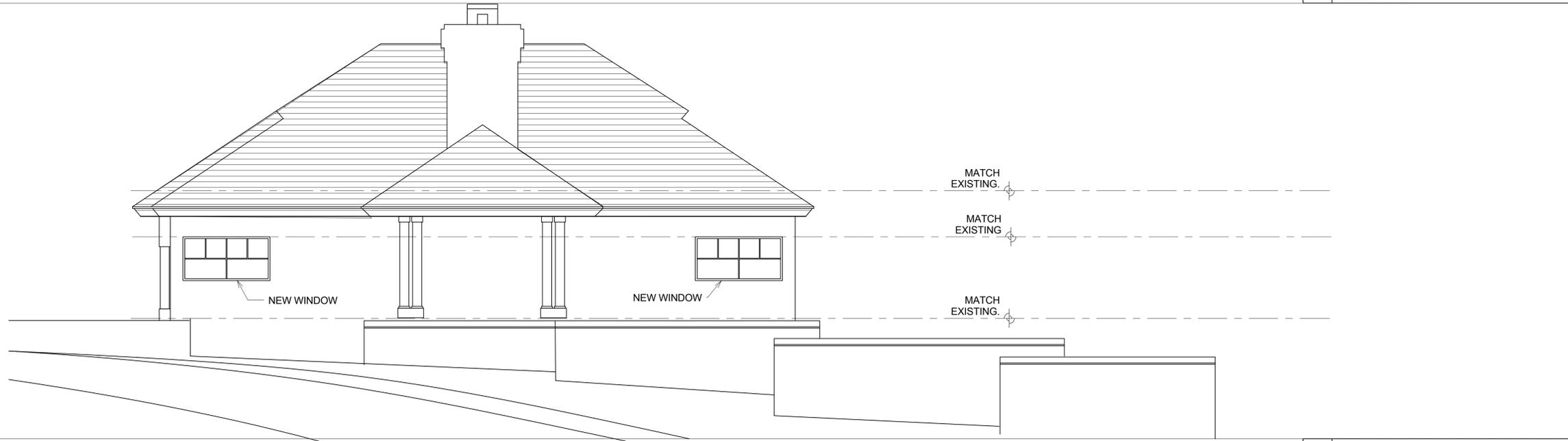
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**3 PARTIAL REAR ELEVATION**  
SCALE:



**2 CARD ROOM INT. ELEVATION**  
SCALE: 3/8" = 1'-0"



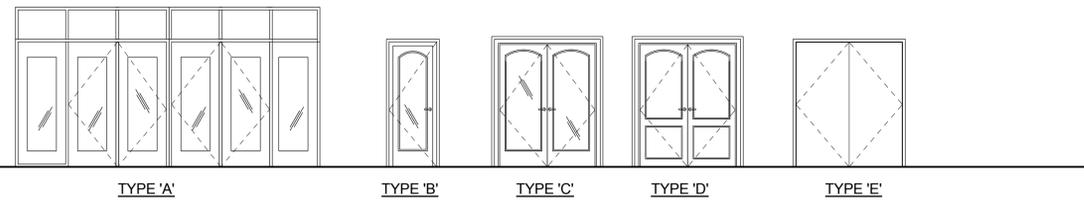
**1 PARTIAL FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"

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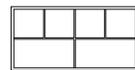
DOOR SCHEDULE

NUMBER / TAG	WIDTH x HEIGHT x	TYPE	MATERIAL			FRAME MATERIAL		HARDWARE		DESIGN PRESSURE	FIRE RATED	REMARKS
			GLASS/ALUM. STORE FRONT	GLASS/ WOOD.	S.C. WOOD.	S.C. WOOD. (EXISTING)	ALUM.	WOOD	SWING/POCKET DOOR TRACK			
101	(2) 4'-6" x 8'-0"	E										SWING & POCKET TRACK
102	(2) 3'-0" x 8'-0"	A	•			•		•	+45.61/-49.92	3/4		IMPACT RESISTANCE, PROVIDE WATERSEAL & TRESHOLD, W/ TRANSOME. MATCH EXISTING YKK CONDITIONS
103	(2) 3'-0" x 8'-0"	A	•			•		•	+45.61/-49.92	3/4		IMPACT RESISTANCE, PROVIDE WATERSEAL & TRESHOLD, W/ TRANSOME. MATCH EXISTING YKK CONDITIONS
104	3'-0" x 8'-0"	B		•								HARDWARE BY OWNER
105	(2) 3'-4" x 8'-0"	C		•								HARDWARE BY OWNER
106	3'-0" x 8'-0"	B		•								HARDWARE BY OWNER
107	EXISTING	D										RELOCATED DOOR

- ALL EXITS ARE TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- CENTER ALL TRANSITION STRIPS AND THRESHOLDS UNDER DOORS. VERIFY ADJACENT FLOOR FINISH TO ENSURE DOOR HAS PROPER CLEARANCE FOR FULL 180° SWING.
- WOOD FRAME FINISH TO MATCH WOOD DOOR FINISH. HOLLOW METAL DOOR FINISH TO MATCH ALUMINUM STOREFRONT FRAME FINISH.
- LOCKSETS TO MATCH EXISTING.
- CONTRACTOR TO PROVIDE NOA'S AND TO MATCH EXISTING STORE FRONT STRUCTURE.



WINDOW SCHEDULE					
MARK	WINDOW	APPROX. WINDOW SIZE (W X H)	ROUGH OPENING	DESIGN PRESSURE	REMARKS
(A)	FIXED	8'-0" X 4'-0"	PER WIND. MANUF.	+46.79/-59.91.	HEAD HEIGHT TO MATCH EXISTING WINDOWS. WINDOW TINTED TO MATCH EXISTING.

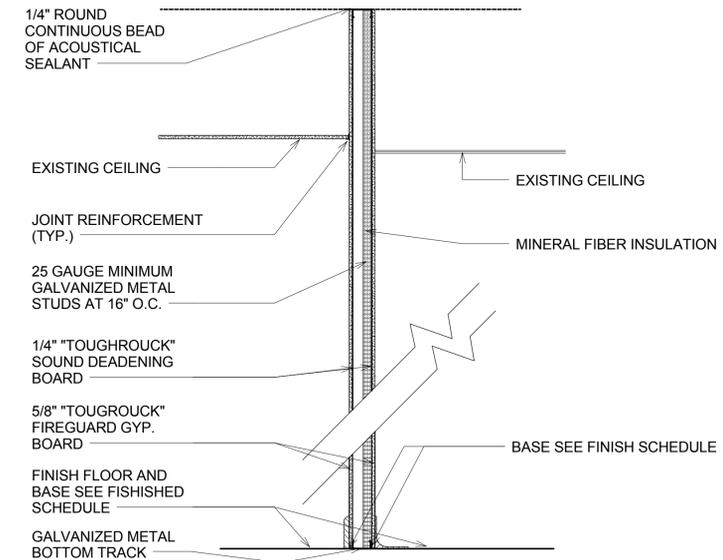
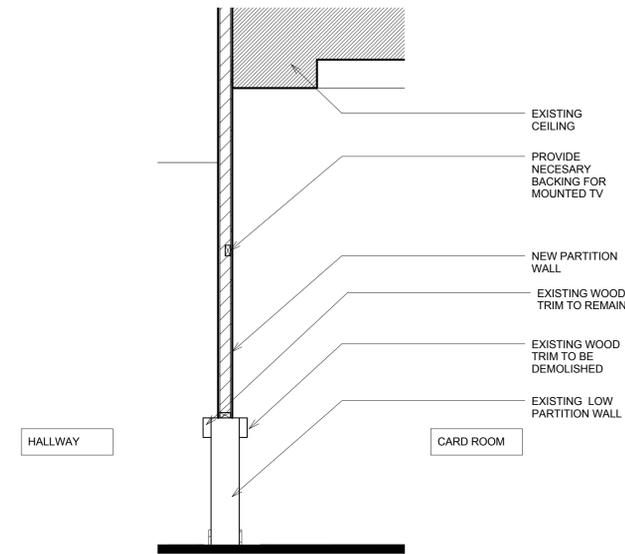


TYPE 'A'

DOOR GENERAL NOTES

- DOOR HARDWARE SHALL BE OF THE LEVER TYPE. MOUNTED 30 INCHES TO 40 INCHES ABOVE THE FLOOR. THE MAXIMUM EFFORT TO OPERATE SHALL BE 8.5 POUNDS OF FORCE FOR EXTERIOR DOORS AND 5 POUNDS OF FORCE FOR INTERIOR DOORS. THE LOWER 12 INCHES OF THE DOOR SHALL HAVE A SMOOTH PANEL ON THE PUSH SIDE OF THE DOOR WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRIP HAZARD.
- PROVIDE ASTRAGALS AT ACTIVE EXTERIOR DOOR LEAFS.
- PROVIDE WEATHER-STRIPPING AT EXTERIOR DOORS (HEAD, JAMB AND SILL).
- ALARM LOCKS AND PANIC HARDWARE SHALL BE APPROVED BY THE FIRE INSPECTOR OR FIRE MARSHALL.
- "EXIT" SIGNS TO HAVE A MINIMUM OF 6" HIGH LETTERS.
- PROVIDE POSITIVE KEY-LOCKING CYLINDERS.
- PROVIDE CYLINDER GUARDS ON ALL MORTISE OR RIM TYPE CYLINDER FACE OF DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
- ALL PIN TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE WHEN THE DOOR IS CLOSED SHALL HAVE NON-REMOVABLE HINGE PINS. IN ADDITION, THEY SHALL HAVE A MINIMUM OF 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MINIMUM PROJECTIONS UNLESS HINGES ARE PROVIDED TO PREVENT REMOVAL OF THE DOOR IF THE HINGE PINS ARE REMOVED.
- PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE.
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT. ALL EXIT DOORS EXCEPT AT MAIN ENTRY TO BUILDING EXTERIOR SHALL BE PROVIDED WITH PANIC HARDWARE AND CLOSER AND ALARM.
- HARDWARE SCHEDULE SHALL BE PREPARED AND SUBMITTED FOR REVIEW AND APPROVAL.
- WIDTH AND HEIGHT OF REQUIRED EXIT DOORWAYS TO COMPLY WITH THE 2009 INTERNATIONAL BUILDING CODE WITH WASHINGTON AMENDMENTS.
- PROVIDE APPROVED PANIC HARDWARE ON REQUIRED EXIT DOORS TO COMPLY WITH THE 2009 INTERNATIONAL BUILDING CODE WITH WASHINGTON AMENDMENTS.
- PROVIDE TYPE II SAFETY GLAZING AT ALL DOORS WITH GLAZING
- DOORS INDICATED AS "EGRESS ONLY" SHALL HAVE NO EXTERIOR HARDWARE AND SHALL BE OPERABLE IN THE DIRECTION OF EGRESS.

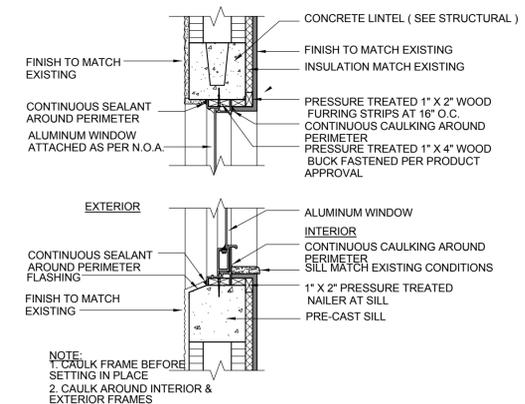
ALL HARDWARE BY DOOR / WINDOW PRODUCT MANUFACTURER AND SHALL BE SECURILY LOCKABLE AND KEYED ALIKE



U.L. DESIGN NO: BASED ON U.L. U404  
STC RATING:55 TO 59: TEST REFERENCE CK 684-14

P1

ONE HOUR RATED PARTITION  
SCALE: 3/4" = 1'-0"



NOTE:  
1. CAULK FRAME BEFORE SETTING IN PLACE  
2. CAULK AROUND INTERIOR & EXTERIOR FRAMES

1

TYPICAL WINDOW HEAD / SILL DETAIL  
SCALE: 1" = 1'-0"

LIGHTING FIXTURE SCHEDULE									
SYMBOL	TYPE	DESCRIPTION	NO.	LAMPS		BALLAST	VOLTAGE	MOUNTING	REMARKS
				TYPE	WATT				
-----	A	LED COVE LIGHT INSIGHT MEDLEY A SERIES COORDINATE LENGTH WITH ARCHITECTURAL CEILING GRID PLANS.	1	LED 3500K	17W/FT	-	DUAL	CEILING COVE	①
⊖	B	HI-HAT FIXTURE - TO MATCH EXISTING HI-HAT FIXTURES COORDINATE FINAL COLOR / TEMPERATURE WITH EXISTING LIGHTING AND OWNER PRIOR TO BID. PROVIDE CONTROL PANEL AS REQUIRED.	1	LED 3500K	32W	-	DUAL	CEILING	①

NOTES:  
① VERIFY CEILING TYPES PRIOR TO ORDERING FIXTURES.

GENERAL NOTE:  
NO SUBSTITUTIONS TO THE LIGHT FIXTURE SCHEDULE CONTAINED IN THESE DOCUMENTS WILL BE CONSIDERED WITHOUT PRIOR REVIEW AND/OR APPROVAL BY THE ARCHITECT AND ELECTRICAL ENGINEER.

## ELECTRICAL SPECIFICATIONS

### PART 1 - GENERAL

- A. THE CONTRACTOR SHALL SUPPLY AND INSTALL ALL NEW ELECTRICAL WORK INDICATED. CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS AND APPLICABLE SPECIFICATIONS. IF A PROBLEM IS ENCOUNTERED IN COMPLYING WITH THIS REQUIREMENT, CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS SOON AS POSSIBLE AFTER DISCOVERY OF THE PROBLEM AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL ARCHITECT/ENGINEER HAS DIRECTED CORRECTIVE ACTION TO BE TAKEN.
- B. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BID AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATIONS INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF.
- C. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (AS ADOPTED BY THE AUTHORITY HAVING JURISDICTION) AND ALL CODES AND ORDINANCES OF THE AUTHORITY HAVING JURISDICTION. THE SPECIFICATION, CODES AND STANDARDS LISTED BELOW ARE UTILIZED IN THIS PROJECT.
- NATIONAL ELECTRICAL CODE (NFPA-70)
  - CODE FOR SAFETY TO LIFE (NFPA-101)
  - STANDARD FOR THE INSTALLATION, MAINTENANCE AND USE OF LOCAL PROTECTIVE SIGNALING SYSTEMS (NFPA-72)
  - UNDERWRITERS' LABORATORIES (UL)
  - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA)
  - AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
  - FEDERAL SPECIFICATION (FED. SPEC.)
  - INSULATED POWER CABLE ENGINEERS ASSOCIATION (IPCEA)
  - FLORIDA BUILDING CODE, FBC 2014 EDITION
  - INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS (IEEE)
  - CITY OF BOCA RATON BUILDING CODE. (AMENDMENTS TO FLORIDA BUILDING CODE FBC 2014)
  - ADDITIONALLY, DESIGNS, WORK PRACTICES AND CONDITIONS MUST CONFORM WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (OSHA)
- D. DO NOT SCALE THE ELECTRICAL DRAWINGS. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT. CONFIRM WITH OWNER'S REPRESENTATIVE.
- E. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- F. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FROM A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE.
- G. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THERE BY.
- H. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR TO OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO BEGINNING WORK OR ORDERING EQUIPMENT. THE TERM "PROVIDE" USED IN THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS SHALL MEAN THAT THE CONTRACTOR IS TO FURNISH, INSTALL AND CONNECT COMPLETE.

### PART 2 - PRODUCTS

- A. MINIMUM WIRE SIZE SHALL BE #12 A.W.G. (EXCEPT AS NOTED OTHERWISE FOR CONTROL WIRING). ALL CONDUCTORS SHALL BE 98% CONDUCTIVITY, COPPER WITH "THIN-THIN" INSULATION UNLESS OTHERWISE NOTED.
- B. ELECTRICAL METALLIC TUBING (EMT) SHALL BE OF BEST QUALITY STEEL, SMOOTH INSIDE AND OUT AND SHALL BE HOT-DIPPED GALVANIZED.
- C. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS I. IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- D. RIGID NONMETALLIC CONDUIT SHALL BE SCHEDULE 40 PVC.
- E. ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS' LABELS WHERE APPLICABLE.
- F. PANELBOARDS
- CURRENT CARRYING BUSES SHALL BE COPPER. GROUND BUS BARS SHALL BE COPPER.
  - ALL CIRCUIT BREAKERS SHALL BE BOLT ON. PLUG-IN BREAKERS ARE NOT ACCEPTABLE.
  - CIRCUIT BREAKERS USED AS SWITCHES IN FLUORESCENT OR HID LIGHTING CIRCUITS SHALL BE LISTED AND MARKED "SWO"
  - ALL CIRCUIT BREAKERS FEEDING MECHANICAL EQUIPMENT SHALL BE HACR TYPE.
  - A.I.C. RATINGS SHALL BE AS INDICATED ON PANELBOARD SCHEDULES.
  - ALL PANELBOARDS SHALL BE FURNISHED WITH PLASTIC LAMINATE NAMEPLATES WITH 1/4" ENGRAVED LETTERING FOR PANEL IDENTIFICATION.
  - ALL PANELBOARDS SHALL BE PROVIDED WITH TYPE-WRITTEN DIRECTORY OF BRANCH CIRCUIT DESIGNATIONS.
- G. DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE, QUICK-BREAK. ENCLOSURES SHALL BE NEMA-1 FOR INDOOR LOCATIONS, NEMA 3R FOR OUTDOOR LOCATIONS OR AS OTHERWISE NOTED.
- H. MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC AS INDICATED ON THE ELECTRICAL DRAWINGS, WITH OVERLOAD RELAYS IN EACH PHASE.
- I. WIRING DEVICES (GENERAL PURPOSE RECEPTACLES AND WALL SWITCHES) COLOR SHALL BE COORDINATED WITH CLIENT.

### PART 3 - EXECUTION

- A. COLOR CODING OF CONDUCTORS SHALL BE AS FOLLOWS:
- 208/120 VOLTS, 3 PHASE, 4-WIRE SYSTEM: UNGROUNDED CONDUCTORS: 1 BLACK, 1 RED AND 1 BLUE. GROUNDED (NEUTRAL) CONDUCTOR: WHITE. GROUNDING CONDUCTORS SHALL BE GREEN.
  - 480/277 VOLT, 3-PHASE, 4-WIRE SYSTEM: UNGROUNDED CONDUCTORS: 1 BROWN, 1 YELLOW, AND 1 PURPLE. GROUNDED (NEUTRAL) CONDUCTORS; GREY. GROUNDING CONDUCTORS SHALL BE GREEN.
  - BRANCH CIRCUIT WIRING (#6 AND SMALLER) SHALL BE COLOR CODED BY CONTINUOUS INSULATION COLOR AND FEEDERS AND SERVICES (#4 AND LARGER) SHALL BE CODED AT ALL JUNCTION OR PULL POINTS (EXCEPT LB'S OR LBD'S) USING COLOR MARKERS OR PLASTIC TAPE MANUFACTURED FOR THE PURPOSE.
- B. WIRING METHODS
- ALL CONDUCTORS SHALL BE INSTALLED IN ELECTRICAL METALLIC TUBING (EMT) UNLESS OTHERWISE NOTED, SPECIFIED OR AS SPECIFICALLY PROHIBITED BY THE AUTHORITY HAVING JURISDICTION. ALL FITTINGS AND COUPLINGS FOR EMT CONDUIT SHALL BE ALL STEEL RAIN TIGHT COMPRESSION TYPE OR ALL STEEL CONCRETE TIGHT SET SCREW TYPE.
  - SCHEDULE 40 PVC CONDUIT, WITH FITTINGS AND COUPLINGS APPROPRIATE FOR THE USE, SHALL BE INSTALLED UNDERGROUND OR BELOW SLABS ON GRADE.
  - TYPE MC CABLE WITH ALUMINUM ARMOR AND INTERNAL GROUND IS ACCEPTABLE FOR USE AS GENERAL BRANCH CIRCUIT WIRING FOR CIRCUITS 20 AMPERES OR LESS AND CONCEALED IN WALLS OR ABOVE SUSPENDED CEILING AND AS APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- C. ELECTRICAL SYSTEM SHALL BE COMPLETE AND EFFECTIVELY GROUNDED AS REQUIRED BY THE LATEST EDITION OF THE N.E.C. AND LOCAL CODES.
- D. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTED BY ENGINEER/ARCHITECT.
- E. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- F. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES, AND SHALL BE FULLY COORDINATED WITH THEM PRIOR TO COMMENCEMENT OF WORK.
- G. PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES, AND WIRING DEVICES, FOR ALL OUTLETS AS INDICATED.
- H. MATERIALS, PRODUCTS, AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SUCH AS APPEAR ON THE UL LIST OF APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF NEC, NEMA, AND IEC.
- I. CONTRACTOR SHALL SUBMIT AT LEAST FIVE (5) SETS OF SHOP DRAWINGS OR CUT SHEETS OF LIGHTING FIXTURES, SWITCHES, AND OTHER ELECTRICAL ITEMS FOR APPROVAL BY ENGINEER/ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED OF HIS WORK.
- K. ALL LAY-IN LIGHTING FIXTURES SHALL BE SECURED TO THE SUSPENDED CEILING GRID AT EACH CORNER.
- L. CONTRACTOR SHALL COORDINATE WITH MECHANICAL DRAWINGS AND PROVIDE ALL NECESSARY CONTROL WIRING.
- M. ALL ELECTRICAL POWER WIRING FOR THE HVAC SYSTEM INCLUDING WIRING THRU LINE VOLTAGE CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- N. THE CONTRACTOR SHALL CONFIRM WITH THE ELECTRICAL UTILITY COMPANY ANY AND ALL REQUIREMENTS SUCH AS: METERING EQUIPMENT REQUIREMENTS AND METERING EQUIPMENT LOCATION, TRANSFORMER SIZE AND LOCATION OR SERVICE POINT, CONDUIT ENTRY AND LUG SIZE RESTRICTIONS. THE CONTRACTOR SHALL SCHEDULE ALL REQUIRED DOWN TIME FOR THE OWNERS CONFIRMATION.
- O. ANY CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK.
- P. PER NEC 210.8(B)(2) ALL 15- AND 20-AMPERE, 125-VOLT RECEPTACLES IN NONDWELLING-TYPE KITCHENS TO BE GFCI PROTECTED.
- Q. FEEDER CONDUCTORS SHALL BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 3% DESIGN LOAD. FBC 2014 FBC ENERGY CONSERVATION SECTION 405.7.3.
- R. BRANCH CIRCUIT CONDUCTORS SHALL BE SIZED FOR A MAXIMUM VOLTAGE DROP OF 3% DESIGN LOAD. FBC 2014 FBC ENERGY CONSERVATION SECTION 405.7.3.
- S. FEEDER CONDUCTORS SHALL BE SIZED FOR A MAXIMUM OF 2% VOLTAGE DROP PER 405.7.3.

## ELECTRICAL SHEET INDEX

E0.1	ELECTRICAL NOTES, LEGEND & INDEX
E2.1	LIGHTING PLAN
E3.1	POWER PLAN
E5.1	ELECTRICAL RISER DIAGRAM
E6.1	PANEL SCHEDULES

## ELECTRICAL LEGEND

▽	TELEPHONE OUTLET WITH 3/4" CONDUIT STUBBED OUT FROM WALL 6" ABOVE CEILING. MOUNT 18" A.F.F. TO CENTER LINE OF OUTLET UNLESS OTHERWISE NOTED.
▼	DATA OUTLET WITH 3/4" CONDUIT STUBBED OUT FROM WALL 6" ABOVE CEILING. MOUNT 18" A.F.F. TO CENTER LINE OF OUTLET UNLESS OTHERWISE NOTED.
▽	TELEPHONE/DATA OUTLET WITH 3/4" CONDUIT STUBBED OUT FROM WALL 6" ABOVE CEILING. MOUNTED ABOVE COUNTER, SEE ARCHITECTURAL DRAWING FOR SPECIFIC REQUIREMENTS.
▽	TELEPHONE/DATA OUTLET WITH 3/4" CONDUIT STUBBED OUT FROM WALL 6" ABOVE CEILING. MOUNT 18" A.F.F. TO CENTER LINE OF OUTLET UNLESS OTHERWISE NOTED.
▽	TELEPHONE/DATA OUTLET WITH 3/4" CONDUIT RUN TO THE NEAREST STUD WALL AND STUBBED OUT FROM WALL 6" ABOVE CEILING. PROVIDE BRASS COVER PLATE AND CARPET FLANGE.
⊖	TELEVISION OUTLET WITH 1-1/4" CONDUIT STUBBED OUT FROM WALL 6" ABOVE CEILING. MOUNT AT 18" A.F.F. TO CENTER LINE OF OUTLET UNLESS NOTED OTHERWISE.
⊖	20 AMP SINGLE RECEPTACLE (NEMA 5-20R) MOUNTED AT 18" A.F.F. TO CENTER LINE OF OUTLET UNLESS NOTED OTHERWISE.
⊖	20 AMP DUPLEX RECEPTACLE (NEMA 5-20R) MOUNTED AT 18" A.F.F. TO CENTER LINE OF OUTLET UNLESS NOTED OTHERWISE.
⊖	20 AMP QUADRUPLX RECEPTACLE (NEMA 5-20R) MOUNTED AT 18" A.F.F. TO CENTER LINE OF OUTLET UNLESS NOTED OTHERWISE.
⊖	20 AMP DUPLEX RECEPTACLE (NEMA 5-20R) WITH GROUND FAULT CIRCUIT INTERRUPTER, MOUNT AT 18" A.F.F. TO CENTER LINE OF OUTLET UNLESS OTHERWISE NOTED.
⊖	20 AMP DUPLEX RECEPTACLE (NEMA 5-20R) MOUNTED ABOVE COUNTER SEE ARCHITECTURAL DRAWINGS FOR SPECIFIC REQUIREMENTS.
⊖	20 AMP DUPLEX RECEPTACLE (NEMA 5-20R) WITH ISOLATED GROUND, MOUNT AT 18" A.F.F. TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.
⊖	20 AMP QUADRUPLX RECEPTACLE (NEMA 5-20R) WITH ISOLATED GROUND, MOUNT AT 18" A.F.F. TO CENTERLINE OF OUTLET UNLESS OTHERWISE NOTED.
⊖	20 AMP DUPLEX RECEPTACLE (NEMA 5-20R), RECESS FLOOR MOUNTED. PROVIDE BRASS COVER PLATE AND CARPET FLANGE.
⊖	20 AMP DUPLEX RECEPTACLE (NEMA 5-20R), CEILING MOUNTED.
⊖	SPECIAL-PURPOSE RECEPTACLE
⊖	JUNCTION BOX
⊖	SINGLE GANG JUNCTION BOX FOR POWER CONNECTION TO MODULAR FURNITURE SYSTEM INSTALL IN EXACT MANNER AS DIRECTED BY FURNITURE SUPPLIER.
⊖	DOUBLE GANG JUNCTION BOX FOR TELEPHONE/DATA CONNECTION TO MODULAR FURNITURE SYSTEM. INSTALL IN EXACT MANNER AND LOCATION AS DIRECTED BY FURNITURE SUPPLIER. EXTEND (2) 3/4" EMPTY CONDUITS FROM JUNCTION BOX TO ABOVE CEILING AND TERMINATE WITH INSULATING BUSHING 6" FROM WALL.
⊖	TELEPHONE/POWER POLE FOR TELEPHONE/DATA/POWER CONNECTION TO MODULAR FURNITURE 8 WIRE SYSTEM (SEE DETAIL THIS SHEET). INSTALL IN EXACT MANNER AND LOCATION AS DIRECTED BY FURNITURE SUPPLIER. WIREMOLD CATALOG # 25DTP-4D W/IVORY FINISH.
⊖	SPECIAL PURPOSE RECEPTACLE MOUNTED BELOW RAISE FLOOR.
⊖	EXHAUST FAN. SEE MECHANICAL DRAWINGS FOR SPECIFICATIONS.
⊖	SINGLE POLE, 20 AMP, SWITCH. MOUNT 46" A.F.F. TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.
⊖	3-WAY, 20 AMP, SWITCH. MOUNT 46" A.F.F. TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.
⊖	SINGLE POLE, 20 AMP, SWITCH WITH DIMMER. MOUNT 46" A.F.F. TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.
⊖	MOTOR RATED SWITCH
⊖	VACANCY SENSOR SWITCH, WATTSTOPPER, MOUNT 46" A.F.F. TO CENTERLINE OF SWITCH UNLESS OTHERWISE NOTED.
⊖	TWO POLE, 30 AMP SWITCH. MOUNT ADJACENT EQUIPMENT TO BE CONTROLLED.
⊖	FACTORY MOUNTED DISCONNECT/STARTER (SEE MECHANICAL SCHEDULE)
⊖	FUSIBLE DISCONNECT SWITCH A = POLES, B = FRAME SIZE, C = FUSE RATING
⊖	FUSIBLE MOTOR STARTER DISCONNECT SWITCH A = POLES, B = NEMA SIZE, C = FUSE RATING
⊖	GROUNDING ELECTRODE & CONDUCTOR SYSTEM
⊖	TRANSFORMER
⊖	ELECTRICAL PANELBOARD
⊖	TELEPHONE WOOD BACKBOARD
⊖	WEATHERPROOF
⊖	TIME CLOCK
⊖	RELOCATED
⊖	EXISTING TO REMAIN
⊖	ABOVE FINISH FLOOR
⊖	CEILING MOUNTED DUAL TECHNOLOGY MOTION SENSOR BY WATTSTOPPER.
⊖	CEILING MOUNTED LOW VOLTAGE DUAL TECHNOLOGY MOTION SENSOR BY WATTSTOPPER.



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TEL 561 997 1244  
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BOCA GROVE PLANTATION  
CLUB HOUSE  
13151 WHITAKER DRIVE,  
BOCA RATON, FL 33433

FLORIDA LICENSE: AA26002219

PROJECT NO. 15155  
DESIGNED BY: RAJ/W  
DRAWN BY: TD/CE/MA  
CHECKED BY: RAJ/W

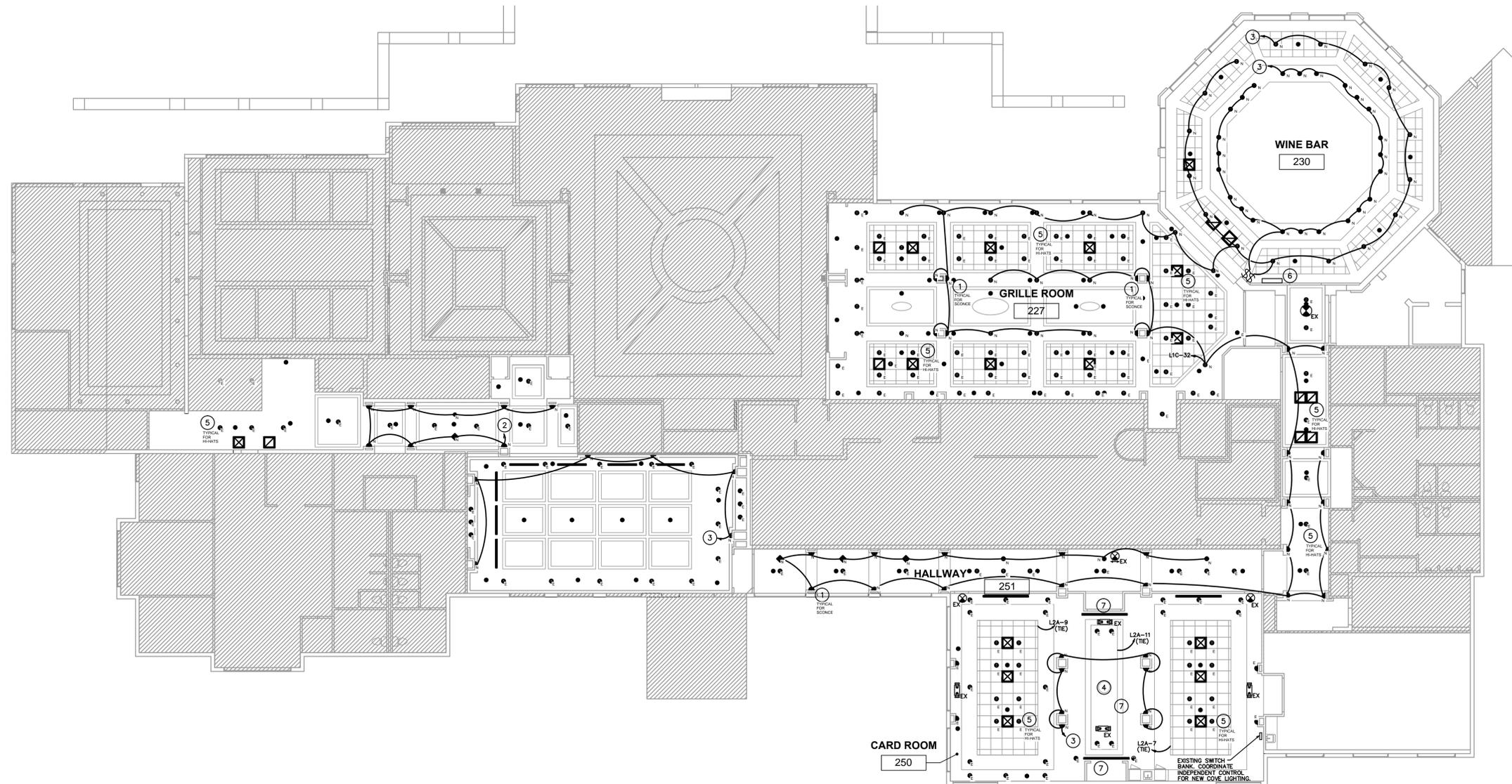
SUBMITTALS:  
PERMIT SET 04.07.2016

REVISIONS:

ELECTRICAL NOTES

ISSUED FOR PERMIT ONLY	04-18-16
KAMM CONSULTING PROJECT # 2016-0292 PROJECT MANAGER: JOHN MAYR	
1408 Orange Avenue Fort Pierce, Florida 34950 Phone 772.595.1744 Fax 772.595.1745 bbrown@kammconsulting.com Certification of Authorization #8189	
PRINCIPAL Bridly L. Brown	Florida License #58232
date	04-18-16
signed	

E0.1



**LIGHTING PLAN**  
3/32"=1'-0"

**KEY NOTES**

- ① INSTALL SCONCES AT EXISTING OUTLET LOCATIONS, CIRCUIT THROUGH MAIN LIGHTING CONTROL.
- ② TIE TO EXISTING HALLWAY LIGHTING CIRCUIT AND CONTROL POINT.
- ③ TIE TO EXISTING ROOM LIGHTING CIRCUIT AND CONTROL POINT.
- ④ REMOVE EXISTING CHANDELIER THIS AREA. COORDINATE DISPOSAL WITH OWNER.
- ⑤ EXISTING HI-HATS TO BE REPLACED ONE-FOR-ONE WITH NEW LED FIXTURES.
- ⑥ LIGHTING CONTROL PANEL FOR SPECIALTY LIGHTING, COORDINATE WITH MANUF.
- ⑦ RELOCATE LINEAR DIFFUSER AS REQUIRED. TRIM/EXTEND FLEX AS REQUIRED.

ISSUED FOR PERMIT ONLY		04-18-16
KAMM CONSULTING PROJECT # 2016-0292		
PROJECT MANAGER: JOHN MAYR		
1408 Orange Avenue Fort Pierce, Florida 34950 Phone: 772.595.1744 Fax: 772.595.1745 bbrown@kammconsulting.com Certification of Authorization #8189		
PRINCIPAL Brady L. Brown	Florida License #58232	04-18-16 date
		signed

LIGHTING PLAN



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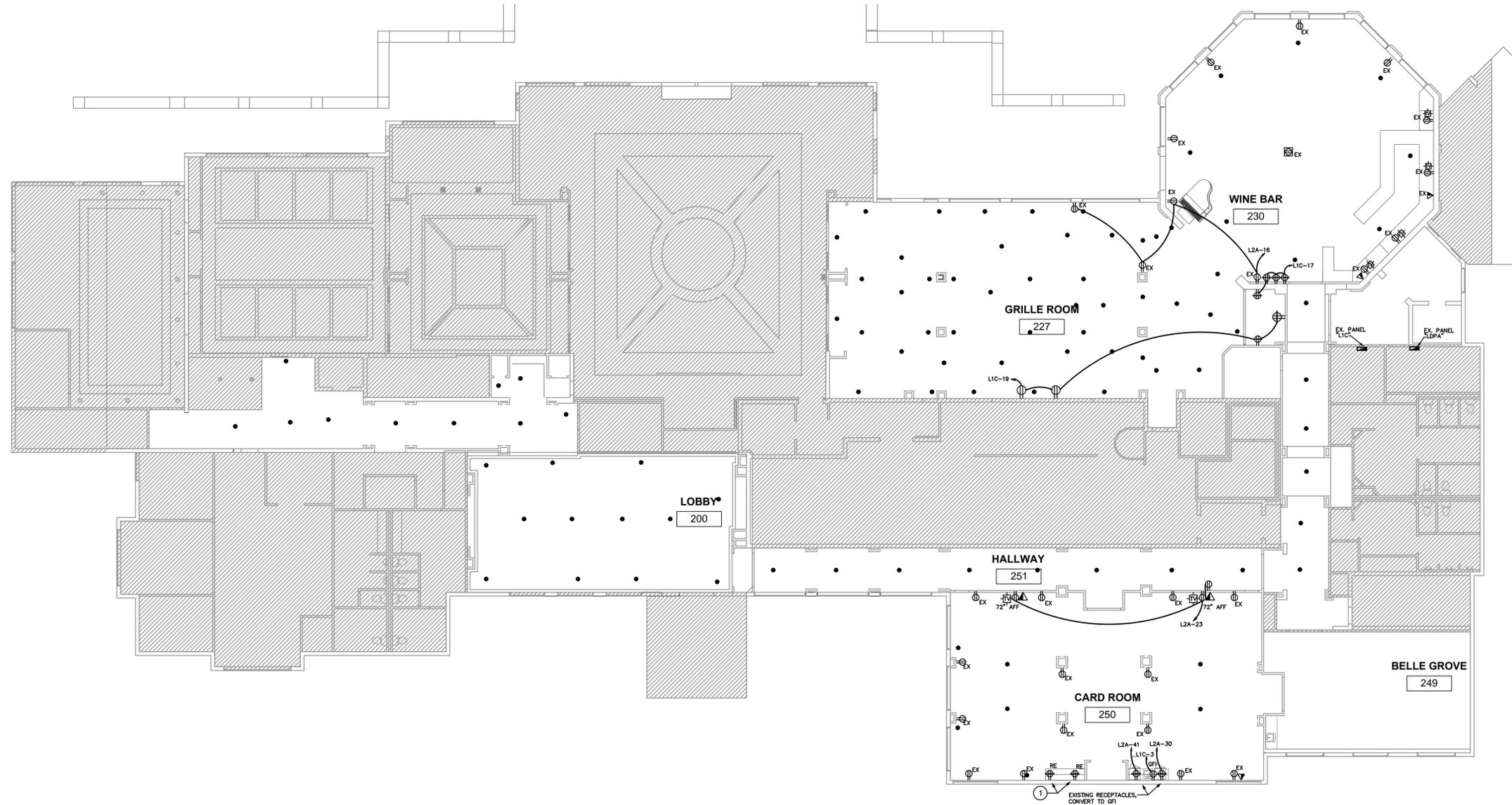
**BOCA GROVE PLANTATION**  
 CLUB HOUSE

21351 WHITAKER DRIVE,  
 BOCA RATON, FL 33433

FLORIDA LICENSURE: AA26002219

PROJECT NO. 15155  
 DESIGNED BY: RA/JW  
 DRAWN BY: TD/CE/MA  
 CHECKED BY: RA/JW  
 SUBMITTALS:  
 PERMIT SET 04.07.2016

REVISIONS:

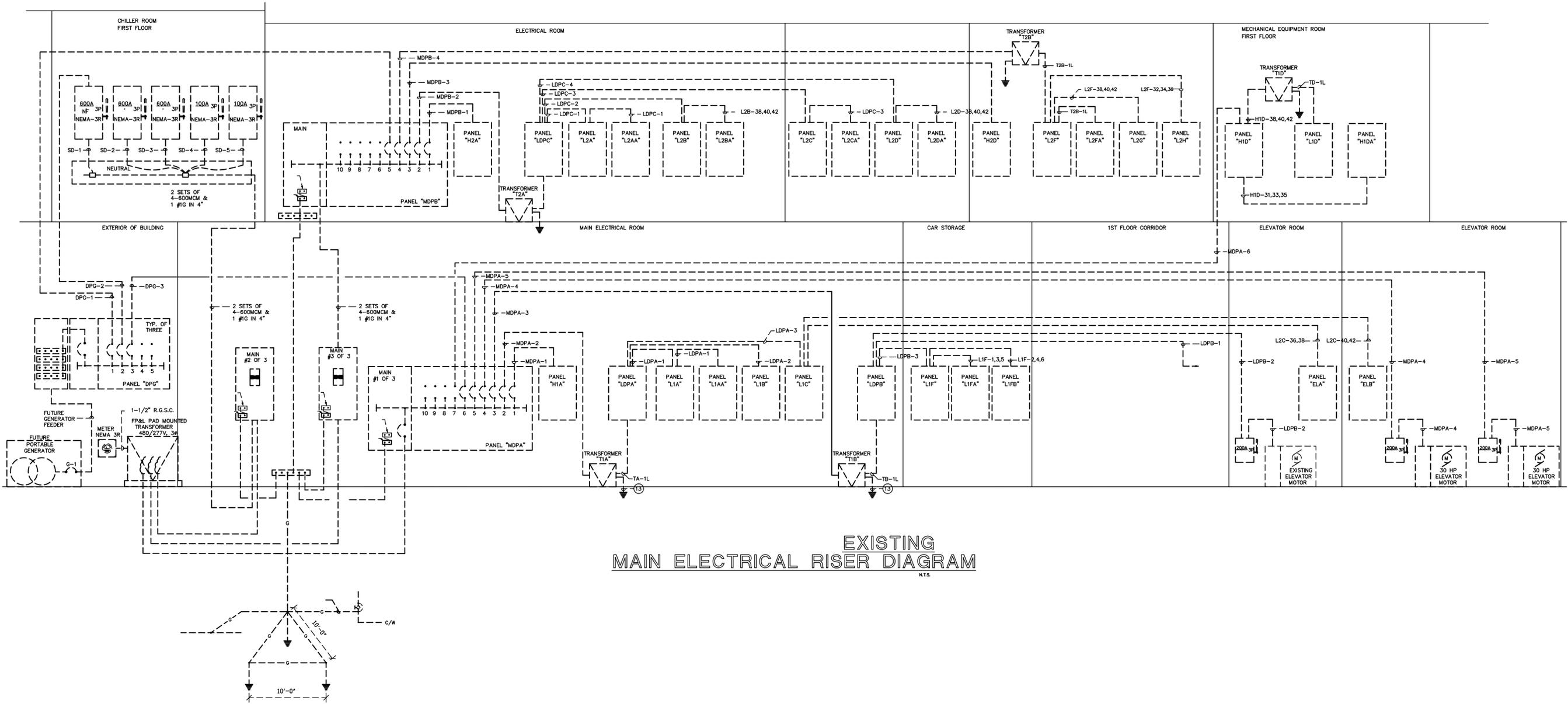


**POWER PLAN**  
 3/32"=1'-0"

KEY NOTES	
①	RELOCATE EXISTING RECEPTACLES UP TO COUNTERTOP HEIGHT. COORDINATE EXACT LOCATION IN FIELD.

ISSUED FOR PERMIT ONLY		04-18-16
KAMM CONSULTING PROJECT # 2016-0292		
PROJECT MANAGER: JOHN MAYR		
1408 Orange Avenue Fort Pierce, Florida 34950 Phone: 772.595.1744 Fax: 772.595.1745 bbrown@kammconsulting.com Certification of Authorization #8189		
PRINCIPAL	date	
Brady L. Brown	04-18-16	
Florida License #58232	date	
	signed	

POWER PLAN



**EXISTING  
MAIN ELECTRICAL RISER DIAGRAM**  
N.T.S.

ISSUED FOR PERMIT ONLY 04-18-16

KAMM CONSULTING PROJECT # 2016-0292  
PROJECT MANAGER: JOHN MAYR

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PRINCIPAL: Brandy L. Brown Florida License #58232  
date: 04-18-16  
signed:

SCHEDULE OF EXISTING DISTRIBUTION PANEL "LDPA"											
MAIN: 800 AMP / 3 POLE, "M" FRAME MAIN CIRCUIT BREAKER					VOLTAGE: 208/120V, 3Ø, 4 WIRE						
SPEC: SQUARE D TYPE "HCR-U" I-LINE OR EQUIVALENT.					AIC SYMM: 65,000						
DESIGNATION	DESCRIPTION	CIRCUIT BREAKER			FEEDER			A PHASE	B PHASE	C PHASE	NOTES
		FRAME	TRIP	POLES	KVA	KVA	KVA	KVA	KVA	KVA	
LDPA-1	** PANEL "L1A"	LC	250	3	4 250MCM & 1 #4 IN 3"	19.3	19.3	19.3			
LDPA-2	** PANEL "L1B"	KC	225	3	4 #4/0 & 1 #4 IN 2-1/2"	15.2	15.2	15.2			
LDPA-3	** PANEL "L1C"	KC	125	3	4 #1 & 1 #6 IN 2"	10.5	12.3	11.8			
LDPA-4	BREAKER PROVISION										
LDPA-5	REMOTE REFRIGERATION RACK	KC	150	3	3 #1/0 & 1 #6 IN 2"	12.6	12.6	12.6			
LDPA-6	BREAKER PROVISION	KC		3							
LDPA-7	BREAKER PROVISION	KC		3							
LDPA-8	BREAKER PROVISION	KC		3							
LDPA-9	BREAKER PROVISION	KC		3							
LDPA-10	BREAKER PROVISION	FH		3							
NOTES:								57.6	58.4	58.9	KVA PER PHASE
								480.0	495.0	490.8	AMPS PER PHASE
									175.9		TOTAL KVA

\*\* EXISTING CIRCUIT TO REMAIN.

SCHEDULE OF EXISTING BRANCH CIRCUIT PANEL "L1C"									
MAIN: 125 AMP MAIN LUGS ONLY					VOLTAGE: 208/120V, 3Ø, 4 WIRE				
SPEC: SQUARE D TYPE "WOOD" OR APPROVED EQUIVALENT					AIC SYMM: 10,000				
MOUNTING: SURFACE									
DESCRIPTION	WIRE	GND.	COND.	TRIP	CKT.	A PHASE	B PHASE	C PHASE	DESCRIPTION
						KVA	KVA	KVA	
SMOKE DAMPER	** #12	#12	1/2"	20	1	0.6   0.8			RECEPTACLE **
UNDER COUNTER REFRIGERATOR	** #12	#12	1/2"	20	3		0.8   0.8		RECEPTACLE **
RECEPTACLE	** #12	#12	1/2"	20	5			0.8   0.8	RECEPTACLE **
RECEPTACLE	** #12	#12	1/2"	20	7	0.4   0.4			RECEPTACLE **
TELEPHONE BACKBOARD	** #12	#12	1/2"	20	9		0.4   0.8		RECEPTACLE **
RECEPTACLE	** #12	#12	1/2"	20	11		0.4   0.6		RECEPTACLE **
FIRE ALARM PANEL	** #12	#12	1/2"	20	13	0.3   0.4			EF-3 **
RECEPTACLE	** #12	#12	1/2"	20	15		0.4   0.2		MOTORIZED DAMPER **
RECEPTACLE	** #12	#12	1/2"	20	17			0.8   0.8	EXTERIOR RECEPTACLE **
RECEPTACLE	** #12	#12	1/2"	20	19	0.8   0.8			SPACE **
SPACE					21		1.0		LIGHTING, STAIRS **
TV RECEPTACLE	** #10	#10	1/2"	20	23		0.8   1.0		LIGHTING, STAIRS **
RECEPTACLE	** #10	#10	1/2"	20	25	0.6   1.2			ROLLING DOOR **
SUMP PUMP	** #10	#10	1/2"	30	27		1.5   1.6		DRYER **
GAS IGNITER	** #12	#12	1/2"	20	29			0.2   1.6	
WASHER	** 2 #10	1 #10	3/4"	30	31	1.6   0.8			LIGHTING **
					33		1.6		SPACE **
WASHER	** #10	#10	1/2"	20	35		1.2   1.4		PANEL "ELB" **
DRYER	** 2 #10	1 #10	3/4"	25	37	1.4   0.4			
					39		1.4   1.8		PANEL "ELB" **
ICE MAKER	** #10	#10	1/2"	20	41		0.8   1.4		
						10.5	12.3	12.6	KVA PER PHASE
						87.5	102.5	105.0	AMPS PER PHASE
							35.4		TOTAL KVA

\*\* EXISTING CIRCUIT TO REMAIN.



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 JAMES R. WILLIAMS AIA  
 7700 CONGRESS AVE.  
 SUITE 1114  
 BOCA RATON, FLORIDA 33487  
 TEL 561 997 1244  
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BOCA GROVE PLANTATION  
 CLUB HOUSE  
 21351 WHITAKER DRIVE,  
 BOCA RATON, FL 33433

FLORIDA LICENSURE: AA26002219

PROJECT NO. 15155  
 DESIGNED BY: RA/JW  
 DRAWN BY: TD/CE/MA  
 CHECKED BY: RA/JW  
 SUBMITTALS:  
 PERMIT SET 04.07.2016

REVISIONS:

PANEL SCHEDULES

ISSUED FOR PERMIT ONLY		04-18-16
KAMM CONSULTING PROJECT # 2016-0292		
PROJECT MANAGER: JOHN MAYR		
1408 Orange Avenue Fort Pierce, Florida 34950 Phone 772.595.1744 Fax 772.595.1745 bbrown@kammconsulting.com Certification of Authorization #8189		
PRINCIPAL Bridly L. Brown	Florida License #58232	04-18-16 date signed

E6.1

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**FINISH SCHEDULE** SEE SHEETS - ID-4 FOR FLOOR FINISH TERMINATION AND LOCATIONS  
SEE SHEETS - ID-3 FOR WALL FINISH TERMINATION AND LOCATIONS  
REFER TO SHEETS ID1A ID1B AND ID1C PHOTOS FOR PAINT LOCATIONS

**ALL FLOORING BY OWNER**

FIRST FLOOR		WALLS							COMMENTS
RM. NO.	ROOM NAME	FLOOR	BASE	NORTH	SOUTH	EAST	WEST	CLG	
200	LOBBY	EXIST	EXIST	P1	P1	P1	P1	P3	P1 FIELD PAINT SEE SHEET ID1A FOR PAINT LOCATIONS
227	GRILL ROOM	CPT2A/B	EXIST	P1	P1	P1	P1	P3	P1 FIELD PAINT SEE SHEET ID1B FOR PAINT LOCATIONS. DO NOT PAINT WOOD COLUMNS OR WAINSCOT RECONSTRUCT COLUMNS @ BANQUETTE REMOVAL - MATCH TO EXISTING PLASTER @ EXTERIOR WINDOW WALL. REFER TO SHEET ID1C - PHOTO INDICATING (WC1) WALLCOVERING INSIDE MOULDING @ COLUMNS ( ALL)
230	WINE ROOM	CPT2A/B	EXIST	P1	P1	P1	P1	P3	P1 FIELD PAINT SEE SHEET ID1B FOR PAINT LOCATIONS
245	BELLE GROVE ROOM	CPT3	EXIST	P1	P1	P1	P1	P3	PAINTING BY OWNER- SHEETROCK WALLS AND CEILING ONLY ALL WOOD TRIM, DOORS AND WAINSCOT TO REMAIN AS IS.
250	CARD ROOM	CPT3	EXIST	P1	P1	P1	P1	P3	P1 FIELD PAINT SEE SHEET ID1A FOR PAINT LOCATIONS. REWORK AND ADD AD REQUIRED WAINSCOT AND MOULDING MATCH TO EXISTING PROFILE @ EXTERIOR SOUTH WALL
252	HALLWAY	M1/M2	EXIST	P1	P1	P1	P1	P3	P1 FIELD PAINT P2 ACCENT
253	HALLWAY	M1/M2	EXIST	P1	P1	P1	P1	P3	P1 FIELD PAINT P2 ACCENT
254	HALLWAY	M1/M2	EXIST	P1	P1	P1	P1	P3	P1 FIELD PAINT P2 ACCENT

**GENERAL NOTES:**

CONTRACTORS ALSO REFERS TO SUBCONTRACTORS WHERE APPLICABLE.

- PROVIDE ALL LABOR EQUIPMENT, AND MATERIALS, INCLUDING INCIDENTAL ITEMS TO COMPLETE THE PROJECT.
- ALL WORK TO COMPLY IN ALL RESPECTS WITH APPLICABLE CODES LISTED AND ANY OTHER STATUTES, ORDINANCES, REGULATIONS, LAWS AND CODES ADOPTED BY ANY AGENCY HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR MUST BE LICENSED IN THE STATE OF FLORIDA AND SHALL OBTAIN AN OCCUPATIONAL LICENSE AS REQUIRED BY LOCAL AGENCIES.
- THE CONTRACTOR SHALL DO ALL CUTTING AND PATCHING REQUIRED TO MAKE THE PROPOSED WORK AND ITS SEVERAL PARTS COME TOGETHER PROPERLY.
- CONTRACTOR SHALL CONTACT DESIGNER IMMEDIATELY UPON DISCOVERY OF ANY UNFORESEEN EXISTING CONDITION OR CONFLICT BETWEEN DRAWINGS.
- WORK SHALL BE COMPLETED IN A PROFESSIONAL MANNER BY EXPERIENCED CRAFTSMAN LICENSED WHERE REQUIRED IN ACCORDANCE WITH THE DRAWINGS AND INSTRUCTIONS TO THE APPROVAL OF THE INTERIOR DESIGNER UNLESS OTHERWISE SPECIFIED IN THE CONTRACT.
- CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOBSITE PRIOR TO BIDDING AND OR ORDERING MATERIALS AND EQUIPMENT AND NOTIFY THE DESIGNER OF DISCREPANCIES BETWEEN CONDITIONS AND DRAWINGS. ANY CHANGES IN THE DIMENSIONS MUST BE APPROVED BY THE INTERIOR DESIGNER BEFORE PROCEEDING WITH THE WORK.
- PRE-CONSTRUCTION MEETING IS SUGGESTED TO COORDINATE ALL DETAILS.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO KEEP THE DESIGNER UPDATED ON ANY ADDENDUM, CHANGE ORDER OR OR PLAN CHANGES THAT WILL AFFECT THE APPROVED SET OF PLANS. CHANGES WILL NOT BE MADE WITHOUT WRITTEN APPROVAL FROM THE INTERIOR DESIGNER.
- ALL MATERIALS UTILIZED IN THE CONSTRUCTION SHALL BE NEW, EXCEPT AS NOTED, FIRST QUALITY FREE OF DEFECTS AND INSTALLED AS PER MANUFACTURER'S RECOMMENDED PROCEDURES FOR THE APPLICATION AT HAND.
- VERIFY ANY SPECIAL REQUIREMENTS, BUILDING STANDARDS, INSURANCE REQUIREMENTS, ETC. WITH THE BUILDING OWNERS REPRESENTATIVE PRIOR TO BIDDING AND INCLUDING COSTS OF SAME.
- SUBMIT SHOP DRAWINGS (WITH MATERIAL SAMPLES) FOR ALL NEW SPECIFIED INTERIOR FINISH MATERIALS, MILLWORK & MANUFACTURED ITEMS, INTERIOR DESIGNER WILL RETAIN ONCE COPY FOR RECORD.
- CONTRACTOR TO INSTALL PROPER BACKING IN ALL WALLS TO RECEIVE NEW MILLWORK/BUILT-IN UNITS BACKING IN RATED WALLS AND OTHERS SHALL BE FIRE TREATED WITH APPROVED FASTENERS.
- ANY MATERIAL USED AS A FINISH SURFACE SHALL BE PROPERLY PROTECTED, INSTALLATION SURFACES TO RECEIVE FINISHES SHALL BE INSPECTED BY THE INSTALLER OF THE FINISH WHO WILL INFORM THE CONTRACTOR OF ANY REPAIR REQUIRED ONCE THE FINISH INSTALLER HAS ACCEPTED THE SURFACE HE/SHE WILL BE RESPONSIBLE FOR THE FINAL PRODUCT.
- ALL INTERIOR FINISH SAMPLES MUST BE SUBMITTED TO THE DESIGNER & CLIENT FOR FINAL SIGN OFF AND APPROVAL PRIOR TO CONTRACTOR PURCHASE OR INSTALLATION OF THE MATERIAL.
- NO PRODUCT SUBSTITUTIONS UNLESS OTHERWISE NOTED ON THE DRAWINGS AS SUCH OPTION.
- CONTRACTOR MUST CHECK AVAILABILITY FOR ALL FINISHES IMMEDIATELY TO ENSURE PRODUCTS ARE ORDERED IN A TIMELY FASHION AND LEAD TIMES ARE CONSIDERED.
- GENERAL CONTRACTOR TO SUBMIT THREE COMPLETE SETS OF ALL FINISHES SPECIFIED FOR FINAL APPROVAL AND SIGN OFF BY CLIENT AND DESIGNER, PRIOR TO PURCHASE OF THE FINAL PRODUCTS AND INSTALLATION OF PRODUCTS.

**FINISH NOTES:**

**WALLS :**  
(P1) PAINT ALL WALLS UNLESS OTHERWISE NOTED.  
CONTRACTOR TO PRIME EXISTING WALLS AS REQUIRED PRIOR TO FINISH PAINTING.  
ALL PAINT SHERWIN WILLIAMS AS NOTED ON THE FINISH SCHEDULE  
FOLLOW MANUFACTURER INSTRUCTION FOR PRIMING AND INSTALLATION  
ALL WET AREAS TO RECEIVE IMPERVIOUS PAINT FOR MOISTURE PREVENTION  
DESIGNER TO CONFIRM FINAL COLOR PRIOR TO FINAL PAINT INSTALLATION.  
G.C. MUST COMPLETE TEST PANELS FOR FINAL APPROVAL  
ALL PAINTED AREAS TO RECEIVE 1 PRIMER COAT - 2 FINISH COATS MINIMUM  
ALL PARTITION WALLS TO BE A LEVEL 4 FINISH

**FLOORING :**  
CONTRACTOR TO CLEAN SUB FLOOR AS REQUIRED TO INSTALL SPECIFIED FLOORING.  
MATERIAL TO BE COMPATIBLE WITH SCHEDULED FLOOR COVERING & BASE ADHESIVE.  
GC TO CHECK FOR MOISTURE LEVELS IN CONCRETE.  
SUBSTRATE (FLOOR) PRIOR TO INSTALLATION OF GOODS.  
ALL FLOORING TO BE INSTALLED BY A CERTIFIED FLOORING INSTALLER.  
USE SPECIFIED TR TRANSITION TYPE AT APPLICABLE INTERSECTIONS OF FLOORING MATERIALS.  
CONTRACTOR TO PRIME EXISTING WALLS AS REQUIRED PRIOR TO FINISH PAINTING.  
CONTRACTOR TO CLEAN SUB FLOOR AS REQUIRED TO INSTALL SPECIFIED FLOORING.  
MATERIAL TO BE COMPATIBLE WITH SCHEDULED FL COVERING AND BASE ADHESIVE.

**FLOORING GENERAL NOTES:**  
GC TO CHECK FOR MOISTURE LEVELS IN CONCRETE  
SUBSTRATE (FLOOR) PRIOR TO INSTALLATION OF GOODS.  
ALL FLOORING TO BE INSTALLED BY A CERTIFIED FLOORING INSTALLER.  
MOISTURE TEST MUST BE COMPLETED ACCORDING TO MANUFACTURER'S INSTALLATION REQUIREMENTS

**MILLWORK NOTES:**

THE FOLLOWING APPLIES TO ALL MILLWORK ITEMS AND REMAINS TYPICAL UNLESS OTHERWISE NOTED.

ALL PLASTIC LAMINATE FINISHED UNITS SHALL HAVE FINISHED EDGES.

MATERIAL, EQUIPMENT, AND WORKMANSHIP SHOULD CONFORM TO THE INDUSTRY STANDARD PRACTICES, PROCEDURES, CONDITIONS AND RECOMMENDATIONS AS SPECIFIED BY ANSINEMA L83-1995, SECTION 4. DPLA ( DECORATIVE LAMINATE PRODUCTS ASSOC. AND ANSI/ 161.2-1979 STANDARDS.

MILLWORK CONTRACTOR SHALL COMPLY WITH ALL JOB SITE BUILDING CODES AND REGULATIONS.

LINER FINISH UNLESS OTHERWISE NOTED.  
ALL MILLWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH CUSTOM GRADE STANDARDS AS ESTABLISHED BY THE ARCHITECTURAL WOODWORK INSTITUTE.

MILLWORK CONTRACTOR SHALL COORDINATE WITH GENERAL AND ELECTRICAL CONTRACTORS AND WITH LOCAL TELEPHONE REPRESENTATIVES WHERE APPLICABLE. THE ARCHITECT/DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES.

MILLWORK CONTRACTOR SHALL FURNISH AND INSTALL IN ADDITION TO WHAT IS SPECIFIED HEREIN, GROMMETS AS AND WHERE REQUIRED BY TENANT VERTICAL BLOCKING NOTE: GENERAL CONTRACTOR SHALL PROVIDE VERTICAL WOOD BLOCKING (JACK STUDS) BETWEEN EACH STUD AT ALL WALL, HUNG CABINETS, SHELVES, ETC. COORDINATE W/ A.C. AND DRYWALL CONTRACTOR WHERE APPLICABLE.

SCRIBE ALL MILLWORK TO FIT FIELD CONDITIONS.

ALL COUNTER AREAS NOT SUPPORTED BY FILE CABINETS SHALL BE ANCHORED TO CONTINUOUS WOOD OR STEEL CLEATS.

ALL HINGES TO BE CONCEALED EUROPEAN HINGES- BLUM OR EQUAL.

THE MILLWORK CONTRACTOR, BEFORE STARTING ANY WORK, SHALL VERIFY ALL DIMENSIONS AND LEVELS GIVEN FOR WORK UNDER THIS CONTRACT. IN CONJUNCTION WITH ARCHITECT'S DRAWINGS AND DETAILS.

ALL MATERIALS PROVIDED BY THE MILLWORK CONTRACTOR SHALL BE FREE OF CHIPPING, DISTRESS, WARPING, CRACKING, FLAKING, SPLITTING AND/OR MARKING THAT WOULD RESULT IN AN UNEVEN OR DAMAGED SURFACE.

MILLWORK CONTRACTOR SHALL SUBMIT TO DESIGN TEAM ALL REQUIRED SHOP DRAWINGS WITH SUCH PROMPTNESS AS TO CAUSE NO DELAY IN HIS OWN WORK OR THAT OF ANY OTHER CONTRACTOR OR SUBCONTRACTOR.

ALL CABINETWORK HARDWARE INCLUDING SHELF STANDARDS, PULLS, HINGES, LOCKS AND ANY OTHER HARDWARE MILLWORK CONTRACTOR SHALL FURNISH AND INSTALL REQUIRED TO COMPLETE THE PROJECT.  
ALL MILLWORK SHALL BE SHOP FINISHED.

ALL SHOP DRAWINGS SHALL INDICATE THE MATERIALS, ARRANGEMENT, FULL SIZE PROFILES OF MOLDINGS THICKNESS, SIZE OF PARTS, CONSTRUCTION, FASTENINGS, BLOCKING, CLEARANCES, ASSEMBLY AND CONSTRUCTION DETAILS, APPLIED FINISHES AND SURFACING, BUILT-IN HARDWARE AND NECESSARY CONNECTIONS OF WORK OF OTHER TRADES.

**INTERIOR FINISH SPECIFICATIONS**

ALL FINISHES SHALL MEET THE REQUIREMENTS OF NFPA 101 (CURRENT EDITION) SECTION 27.3.3.1 FLAME SPREAD AND SMOKE GENERATION.  
INSTALLATION NOTE: INSTALLER TO FOLLOW MANUFACTURERS INSTALLATION.

NOTE: CARPET OPTIONS (CPT2A) AND (CPT2B) (CPT3) (PT2) (MB1) (MB2) - ALL FLOORING BY OWNER- DEMO, PREP, NEW MATERIAL AND INSTALLATION.

FLOORING	
PT2	MANUFACTURER: T80 - PORCELAIN FULL BODY 24" X 12" RECTIFIED EDGE DETAIL GROUT LATICRETE 1/16" GROUT LINE FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION & MAINTENANCE- CONTACT:
CPT2A	BY OWNER- MANUFACTURER: AQUA HOSPITALITY CARPET - ROLL GOOD ENHANCEMENT BACKING - JG95-1 GEOMETRIC CUSTOM 34 OZ. PATTERN REPEAT 72"W X 36"L YARN- 100% SOLUTION DYED NYLON TUFTED TEXTURED LOOP CUT AND LOOP - CONTACT: KATHY BREEN FOR PRICING KATHY.BREEN@BOLYU.COM 561-945-6064.
CPT2B	BY OWNER- MANUFACTURER: AQUA HOSPITALITY CARPET - ROLL GOOD ENHANCEMENT BACKING - JG93-1 38 OZ. PATTERN REPEAT 36"W X 29.23"L YARN- 100% SOLUTION DYED NYLON TUFTED TEXTURED LOOP- CONTACT KATHY BREEN FOR PRICING - 561-KATHY.BREEN@BOLYU.COM -
CPT3	BY OWNER- MANUFACTURER: AQUA HOSPITALITY CARPET - ROLL GOOD ENHANCEMENT BACKING - PRODUCT- RENOWN - STYLE- 9RNW- COLOR- RINW01- TIP SHEAR SCROLL - 36 OZ. WEIGHT BROADLOOM 12' W- PATTERN REPEAT- 24" X12' - CONTACT KATHY BREEN FOR PRICING - KATHY.BREEN@BOLYU.COM 561-945-6064
M1	BY OWNER- PRODUCT: MARBLE POLISHED MATCH TO EXISTING MAIN LOBBY AND CORRIDOR- SEE FLOOR PATTERN FOR SCALE AND LAYOUT ACCENT MARBLE- BOTTICINO POLISHED
M2	BY OWNER- PRODUCT: MARBLE POLISHED MATCH TO EXISTING MAIN LOBBY AND CORRIDOR- SEE FLOOR PATTERN FOR SCALE AND LAYOUT FIELD MARBLE- POLISHED
BASE	EXISTING WOOD BASE TO REMAIN- PATCH AND REPAIR AND FINISH AS REQUIRED- UNLESS OTHERWISE NOTED- REPAINT
WALL TREATMENT	NOTE: ALL WET AREAS- RE- DRINKING FOUNTAIN AREA TO BE IMPERVIOUS TO MOISTURE UTILIZE A LATEX ENAMEL PAINT ALL TRIM PAINT TO BE LATEX EPOXY GLOSS FINISH
P1	MANUFACTURER: SHERWIN WILLIAMS -COLOR: SW7009 PEARLY WHITE - FIELD PAINT FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION & MAINTENANCE-
P2	MANUFACTURER: SHERWIN WILLIAMS -COLOR: SW8071 POPULAR GRAY ( ACCENT PAINT ONLY) FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION & MAINTENANCE-
P3	MANUFACTURER: SHERWIN WILLIAMS -COLOR: SW7006 EXTRA WHITE - CEILING AND SOFFIT PAINT FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION & MAINTENANCE-
WC1	MANUFACTURER: WOLF GORDON- POLYESTER/OLEFIN CRYPTON WALL COVERING ( ACCENT COLUMNS ONLY- GRILL ROOM ) COLOR AND PATTERN TO BE DETERMINED 54" WIDE GOODS CLASS A FLAME SPREAD FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION & MAINTENANCE- CONTACT: STEVEN KORN
LAY-IN CEILING TILES	
CLGT1	MANUFACTURER: ARMSTRONG INC- PRODUCT: DUNE - 24" X 24" X 5/8" 1774 LAYIN REGULAR WETFORM MINERAL TILE - COLOR WHITE - EXISTING GRID TO REMAIN. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION & MAINTENANCE- CONTACT: GORDON RAMSAY 877-278-7876 OPT B EXT 8162 GBRAMSAY@ARMSTRONG.COM
CLGT2	MANUFACTURER: ROCKFON LLC- PRODUCT: ARTIC- 24" X 24" X 5/8" 50 REGULAR- SL 660 LAYIN REGULAR STONEWOL BSE W MEMBRANE FACED OVERLAY - COLOR WHITE FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION & MAINTENANCE- CONTACT: RYAN KEETON FOR PRICING - 352-408-7116 RYAN.KEETON@ROCKFON.COM

**GENERAL NOTES:**

ALL INTERIOR FINISH SAMPLES MUST BE SUBMITTED TO AES INTERIORS & ARCHITECT FOR FINAL SIGN OFF & APPROVAL PRIOR TO CONTRACTOR PURCHASE OR INSTALLATION OF THE SPECIFIED MATERIALS.

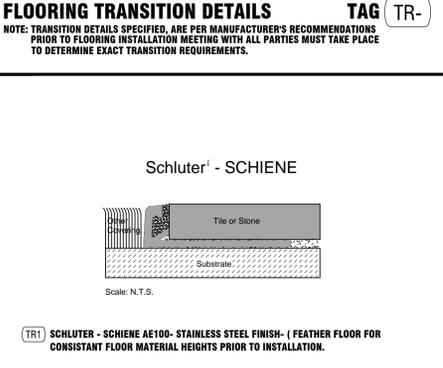
THESE DRAWINGS ARE FOR DESIGN INTENT ONLY NOT FOR CONSTRUCTION

CONTRACTOR MUST CHECK AVAILABILITY FOR ALL FINISHES UPON AWARD OF THE PROJECT TO ENSURE PRODUCTS ARE ORDERED IN A TIMELY FASHION LEAD TIMES ARE CONSIDERED. IF ANY PRODUCT SPECIFIED HAS A LEAD TIME GREATER THAN 6 WEEKS THE GC TO NOTIFY THE INTERIOR DESIGNER FOR RE-SELECTION OF SPECIFIED PRODUCT.

COORDINATE ID PLANS WITH AW ARCHITECTURE INC. & AES INTERIORS INC.

**FLOORING TRANSITION DETAILS TAG (TR-)**

NOTE: TRANSITION DETAILS SPECIFIED, ARE PER MANUFACTURER'S RECOMMENDATIONS PRIOR TO FLOORING INSTALLATION MEETING WITH ALL PARTIES MUST TAKE PLACE TO DETERMINE EXACT TRANSITION REQUIREMENTS.



**AES Interiors & Associates, Inc.**  
Space Planning & Interior Design  
2568 SE 67TH AVENUE  
BOCA RATON, FLORIDA 33433  
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FAX: 561-278-8939  
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**REVISION:**

1	04-18-16	
2	04-22-16	

**Boca Grove County Club**  
21351 WHITAKER DRIVE, BOCA RATON, FLORIDA 33433

PROJECT NAME

SEAL

**PROJECT NO:**  
2015.21  
**DRAWN BY:** MCM  
**CHECKED BY:** AES  
**DATE:** 4-07-16

**FILE NAME:**  
FINISH SCHEDULE  
FINISH SPECIFICATIONS

**SHEET NO.**  
ID-1

**CLIENT APPROVAL**

I HAVE REVIEWED THESE PLANS AND THEY CONFORM TO OUR REQUIREMENTS. I UNDERSTAND THAT ANY MODIFICATIONS TO THESE PLANS WILL BE AN ADDITIONAL SERVICE.

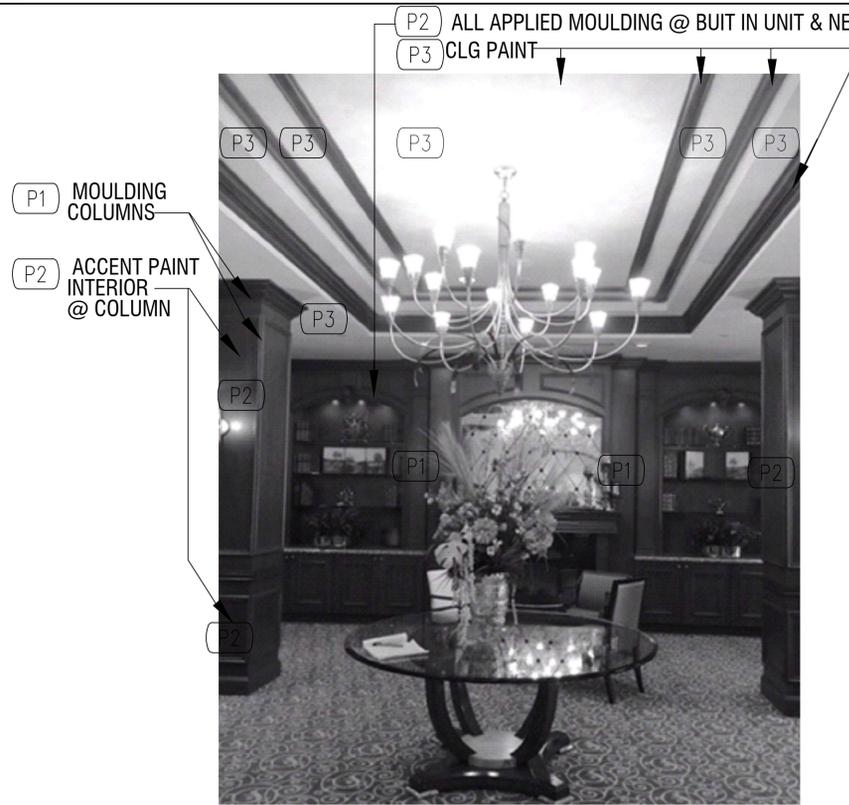
ACCEPTED AS IS:

ACCEPTED AS NOTED:

UNACCEPTED:

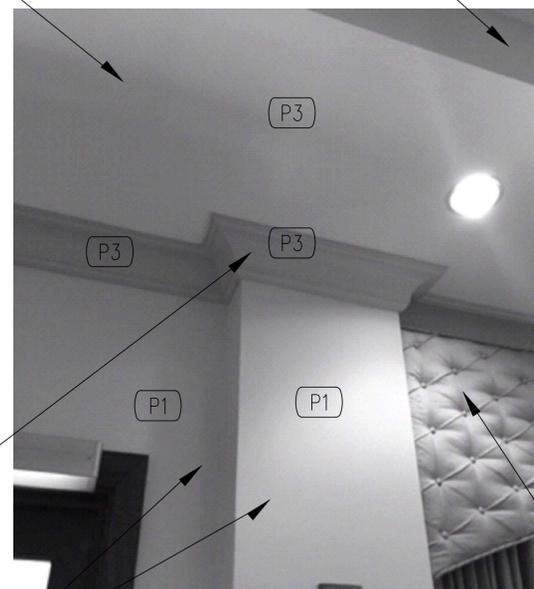
**CLIENT SIGNATURE:** \_\_\_\_\_

PAINT LOCATIONS - CARD ROOM- REFER TO SHEET ID1 FOR PAINT SPECIFICATIONS AND COLOR - NOTE: ALL FLOORING BY OWNER



PAINT LOCATIONS -MAIN LOBBY - REFER TO SHEET ID1 FOR PAINT SPECIFICATIONS AND COLOR

P3 CLG PAINT ALL MOULDING AND CEILING PLANES VERTICAL AND HORIZONTAL



P2 ALL MOULDING DIRECTLY UNDER SOFFIT LINE

REMOVE AND REFACE EXISTING DRAPERY VALANCE  
P1 ALL WALLS FIELD PAINT - UNLESS NOTED

P2 ALL APPLIED MOULDINGS

P1 ALL WALLS FIELD PAINT - UNLESS NOTED

PAINT FINISH	
P1	MANUFACTURER: SHERWIN WILLIAMS : COLOR: SW6071 POPULAR GRAY
P2	MANUFACTURER: SHERWIN WILLIAMS: PEARLY WHITE SW7009
P3	MANUFACTURER: SHERWIN WILLIAMS: SW7006 EXTRA WHITE

LEGEND	
XX#	KEY NOTE. SEE DESIGNATED # FOR MORE INFORMATION
XX#	FINISH SCHEDULE NOTATION- SEE SHT ID1 FOR SPECIFICATIONS

**CLIENT APPROVAL**  
I HAVE REVIEWED THESE PLANS AND THEY CONFORM TO OUR REQUIREMENTS. I UNDERSTAND THAT ANY MODIFICATIONS TO THESE PLANS WILL BE AN ADDITIONAL SERVICE.  
ACCEPTED AS IS:  
UNACCEPTED:  
CLIENT SIGNATURE: \_\_\_\_\_

REVISION	DATE
1	04-18-16
2	04-22-16

**PROJECT NAME:**  
**Boca Grove County Club**  
21351 WHITAKER DRIVE, BOCA RATON, FLORIDA 33433

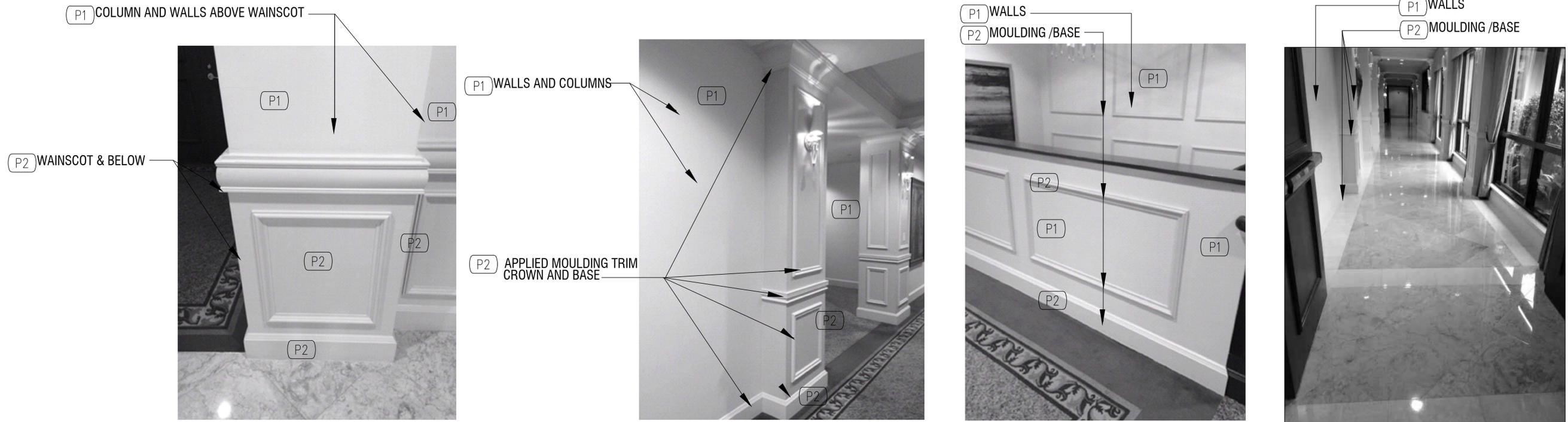
**SEAL**

**PROJECT NO:** 2015.21  
**DRAWN BY:** MCM  
**CHECKED BY:** AES  
**DATE:** 4-07-16

**FILE NAME:**  
PAINT SCHEDULE  
CARD ROOM & MAIN LOBBY

**SHEET NO.**  
**ID-1A**

PAINT LOCATIONS - COMMON CORRIDORS - REFER TO SHEET ID1 FOR PAINT SPECIFICATIONS AND COLOR NOTE: ALL FLOORING BY OWNER



PAINT LOCATIONS - GRILL ROOM - REFER TO SHEET ID1 FOR PAINT SPECIFICATIONS AND COLOR



NOTE: RECONSTRUCT LOWER COLUMN MATCH TO EXISTING PROFILE PILASTER AT EXTERIOR WINDOW WALL-REMOVE EXISTING VINYL WALLCOVERING ADD NEW (WC1)

PAINT FINISH	
P1	MANUFACTURER: SHERWIN WILLIAMS : COLOR: SW6071 POPULAR GRAY
P2	MANUFACTURER: SHERWIN WILLIAMS: PEARLY WHITE SW7009
P3	MANUFACTURER: SHERWIN WILLIAMS: SW7006 EXTRA WHITE
LEGEND	
XX#	KEY NOTE. SEE DESIGNATED # FOR MORE INFORMATION
XX#	FINISH SCHEDULE NOTATION- SEE SHT ID1 FOR SPECIFICATIONS

**CLIENT APPROVAL**

I HAVE REVIEWED THESE PLANS AND THEY CONFORM TO OUR REQUIREMENTS. I UNDERSTAND THAT ANY MODIFICATIONS TO THESE PLANS WILL BE AN ADDITIONAL SERVICE.

ACCEPTED AS IS:

ACCEPTED AS NOTED:

UNACCEPTED:

**CLIENT**

SIGNATURE: \_\_\_\_\_



REVISION	DATE
1	04-18-16
2	04-22-16

**Boca Grove County Club**  
 21351 WHITAKER DRIVE, BOCA RATON, FLORIDA 33433

PROJECT NAME:  
 SEAL

PROJECT NO:  
 2015.21  
 DRAWN BY: MCM  
 CHECKED BY: AES  
 DATE: 4-07-16

FILE NAME:  
 PAINT  
 SCHEDULE  
 GRILL ROOM & CORRIDORS

SHEET NO.  
 ID-1B



NOTE: REMOVE EXISTING LIGHT SCENCE CAP AND REPAIR FOR PAINTING

P1 REMOVE ALL APPLIED MOULDING AT ENTRY WALL TO GRILL PATCH AND REPAIR AS REQUIRED

P3 PAINT EXISTING MOULDING & SOFFIT VERTICAL & HORIZONTAL PLANES



P1 WALL PAINT

P3 PAINT EXISTING MOULDING & SOFFITS VERTICAL & HORIZONTAL PLANES



P1 WALL PAINT

P3 PAINT EXISTING MOULDING & CORBELS SOFFITS VERTICAL & HORIZONTAL

PAINT FINISH	
P1	MANUFACTURER: SHERWIN WILLIAMS : COLOR: SW6071 POPULAR GRAY
P2	MANUFACTURER: SHERWIN WILLIAMS: PEARLY WHITE SW7009
P3	MANUFACTURER: SHERWIN WILLIAMS: SW7006 EXTRA WHITE

LEGEND	
(XX#)	KEY NOTE, SEE DESIGNATED # FOR MORE INFORMATION
(XX#)	FINISH SCHEDULE NOTATION- SEE SHT ID1 FOR SPECIFICATIONS

<b>CLIENT APPROVAL</b>	
I HAVE REVIEWED THESE PLANS AND THEY CONFORM TO OUR REQUIREMENTS. I UNDERSTAND THAT ANY MODIFICATIONS TO THESE PLANS WILL BE AN ADDITIONAL SERVICE.	
ACCEPTED AS IS:	<input type="checkbox"/>
ACCEPTED AS NOTED:	<input type="checkbox"/>
UNACCEPTED	<input type="checkbox"/>
<b>CLIENT</b>	
SIGNATURE: _____	



REVISION:	04-18-16
△	04-22-16

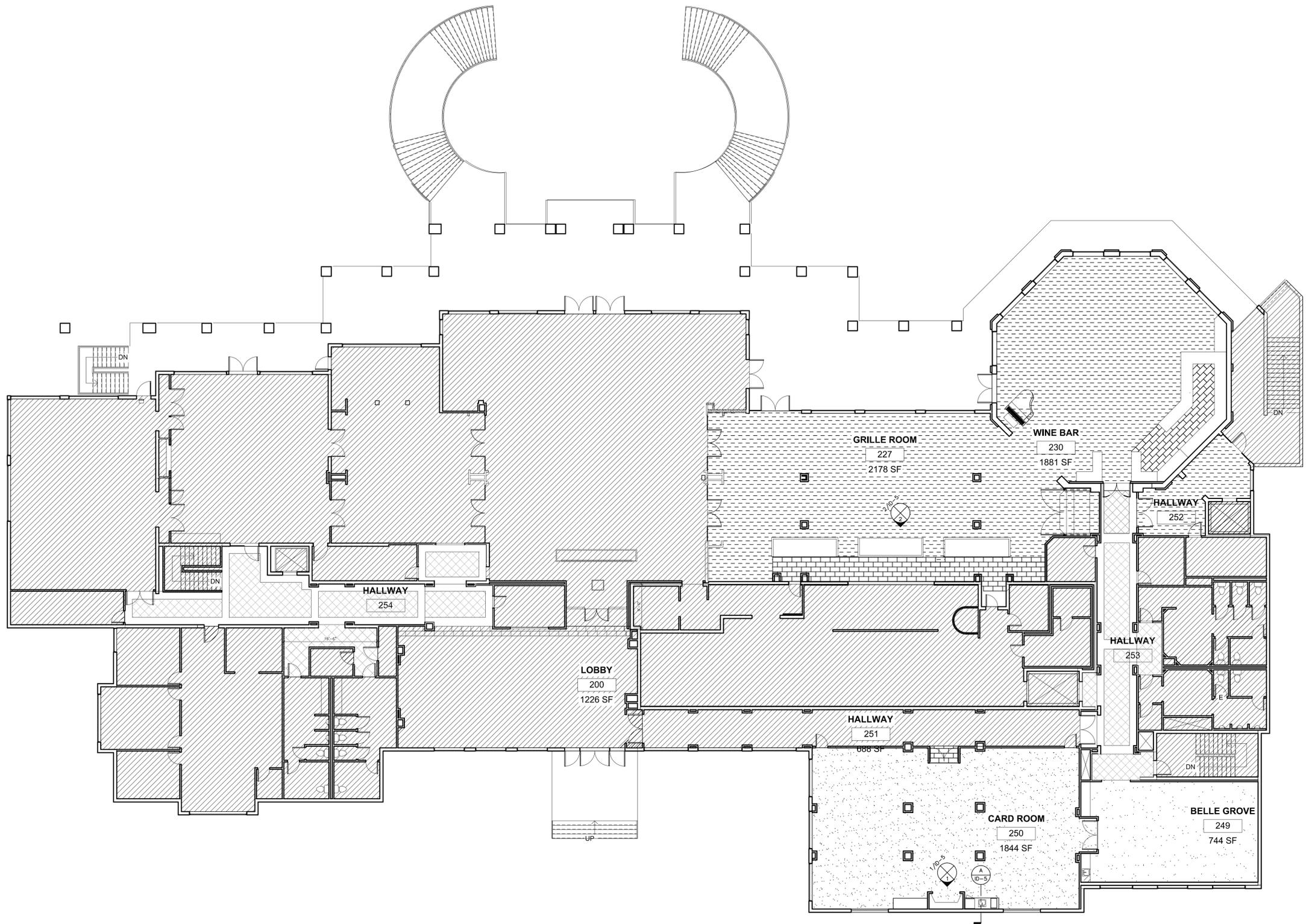
**Project Name:**  
**Boca Grove County Club**  
 21351 WHITAKER DRIVE, BOCA RATON, FLORIDA 33433

SEAL

**PROJECT NO:**  
 2015.21  
**DRAWN BY:** MCM  
**CHECKED BY:** AES  
**DATE:** 4-07-16

**FILE NAME:**  
 PAINT SCHEDULE WINE ROOM

**SHEET NO.**  
 ID-1C



**1ST FLOOR SECTION/ELEVATION KEY PLAN**  
 SCALE: 3/32" = 1'-0"  
 NORTH

REVISION:	DATE:
△ 04-18-16	
△ 04-22-16	
△ 04-25-16	

**Boca Grove County Club**  
 21351 WHITAKER DRIVE, BOCA RATON, FLORIDA 33433

PROJECT NAME:  
 SEAL

PROJECT NO:  
 2015.21  
 DRAWN BY: MCM  
 CHECKED BY: AES  
 DATE: 4-08-16

FILE NAME:  
 SECTION  
 ELEVATION  
 KEY PLAN

SHEET NO.  
**ID-2**

N.I.C.

**SECTION / ELEVATION KEY**

#  
 ID-# SECTION SYMBOL

#/ID-#  
 ELEVATION SYMBOL

**CLIENT APPROVAL**

I HAVE REVIEWED THESE PLANS AND THEY CONFORM TO OUR REQUIREMENTS. I UNDERSTAND THAT ANY MODIFICATIONS TO THESE PLANS WILL BE AN ADDITIONAL SERVICE.

ACCEPTED AS IS:   
 ACCEPTED AS NOTED:   
 UNACCEPTED:   
 CLIENT SIGNATURE: \_\_\_\_\_

REVISION:	DATE
△ 04-18-16	
△ 04-22-16	

**PROJECT NAME:**  
**Boca Grove County Club**  
 21351 WHITAKER DRIVE, BOCA RATON, FLORIDA 33433

**SEAL**

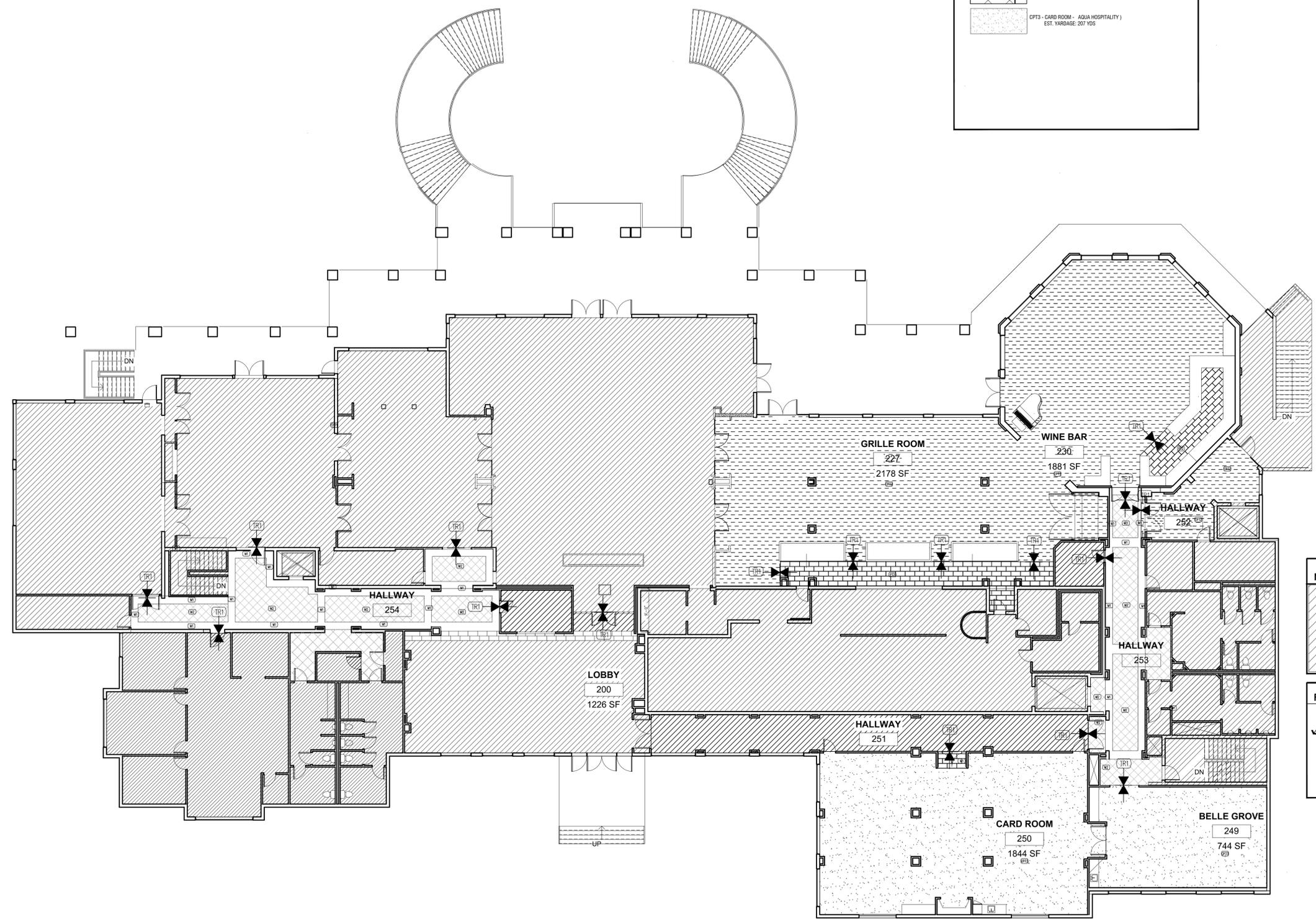
**PROJECT NO:**  
 2015.21  
**DRAWN BY:** MCM  
**CHECKED BY:** AES  
**DATE:** 4-08-16

**FILE NAME:**  
 FLOOR FINISH PLAN

**SHEET NO.**  
**ID3**

**FLOOR TYPES- NOTE: ALL FLOORING BY OWNER**

	PT2 - HARD SURFACE- PORCELAIN- 12" X 24" COLOR TBD FULL BODY - INSTALLATION 1/8" GROUT LINE
	CPT2 - GRILL WINE ROOM SPIN OR (GEOMETRIC) AQUA HOSPITALITY EST. YARDAGE: 495 YDS
	M1/M2 - CORRIDORS & GROVE ROOM (MARBLE MATCH TO EXISTING)
	CPT3 - CARD ROOM - AQUA HOSPITALITY EST. YARDAGE: 207 YDS



**N.I.C.**

**FLOORING FINISH PLAN LEGEND**

-  KEY NOTE. SEE DESIGNATED # FOR MORE INFORMATION
-  FINISH SCHEDULE NOTATION- SEE SHT ID1 FOR SPECIFICATIONS
-  TRANSITION POINT BETWEEN FINISHES SEE SHT ID1 FOR DETAIL TRANSITION POINTS

**CLIENT APPROVAL**

I HAVE REVIEWED THESE PLANS AND THEY CONFORM TO OUR REQUIREMENTS. I UNDERSTAND THAT ANY MODIFICATIONS TO THESE PLANS WILL BE AN ADDITIONAL SERVICE.

ACCEPTED AS IS:   
 ACCEPTED AS NOTED:   
 UNACCEPTED:

CLIENT SIGNATURE: \_\_\_\_\_

**FLOOR PLAN- FLOOR FINISH - MAIN FLOOR**  
 SCALE: 3/32" = 1'-0"



REVISION:	DATE
△ 04-18-16	
△ 04-22-16	

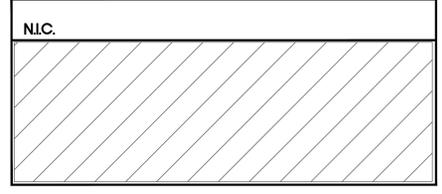
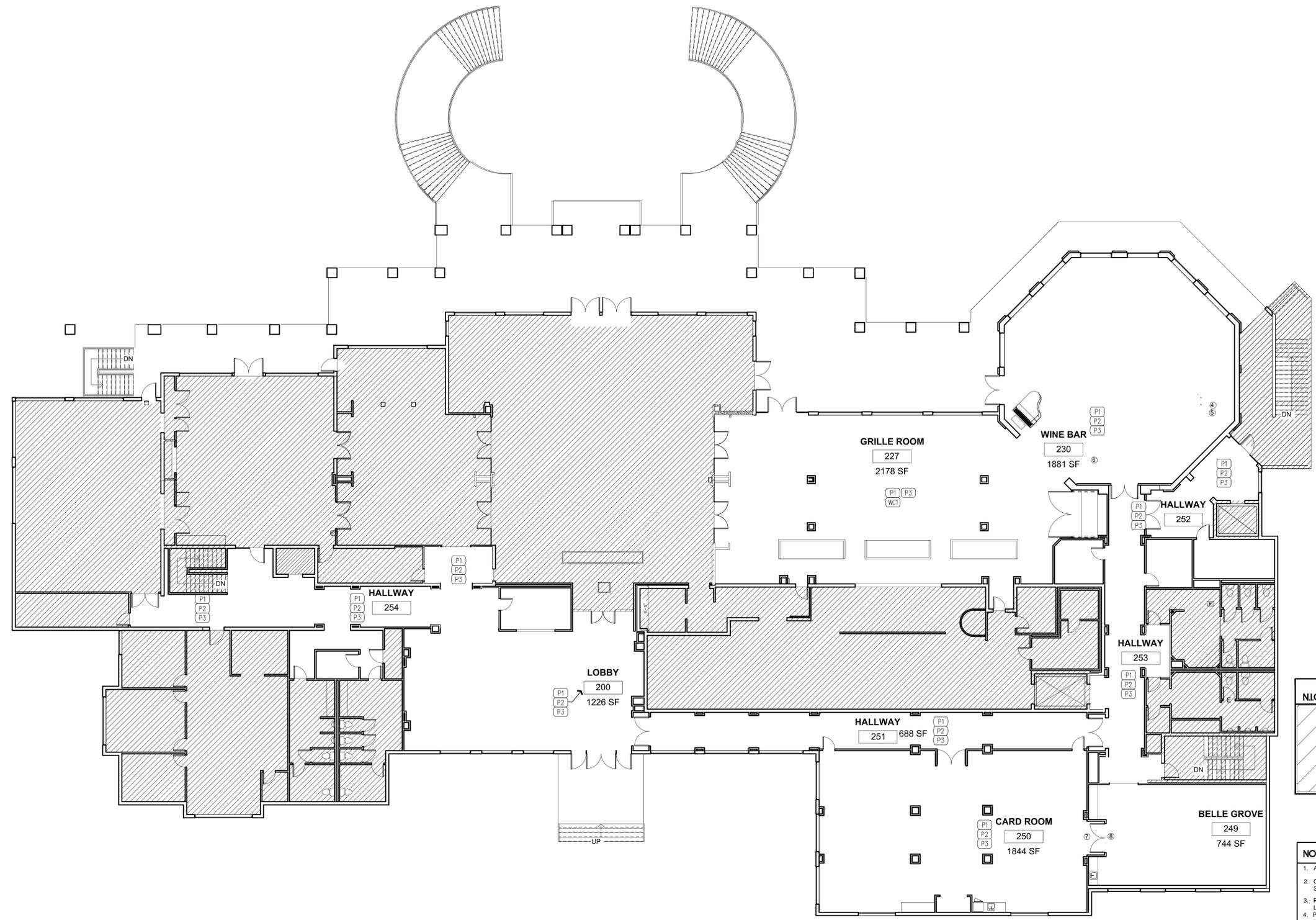
**PROJECT NAME:**  
**Boca Grove County Club**  
 21351 WHITAKER DRIVE, BOCA RATON, FLORIDA 33433

**SEAL**

**PROJECT NO:**  
 2015.21  
**DRAWN BY:** MCM  
**CHECKED BY:** AES  
**DATE:** 4-08-16

**FILE NAME:**  
 WALL FINISH PLAN

**SHEET NO.**  
 ID4



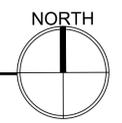
- NOTES:**
1. ALL WALLS UNLESS OTHERWISE INDICATED ARE TO BE (P1)
  2. COORDINATE ALL FINISHES WITH FINISH SCHEDULE & SPECIFICATIONS SHEET ID1.
  3. REFER TO SHEETS ID1 - ID1A, ID1B AND ID1C FOR PAINT LOCATIONS.
  4. PROVIDE NEW WINE RACK CABINETS
  5. REFURBISH EXISTING BAR TO WINE BAR.
  6. NEW MATRE D STATION
  7. PAINT FACADE OF CARD ROOM DOORS (P1)
  8. ALL INTERIOR WOOD RE: BASE, WAINSCOT, DOOR FACADE AND MILLWORK TO REMAIN AS IS (DO NOT PAINT)

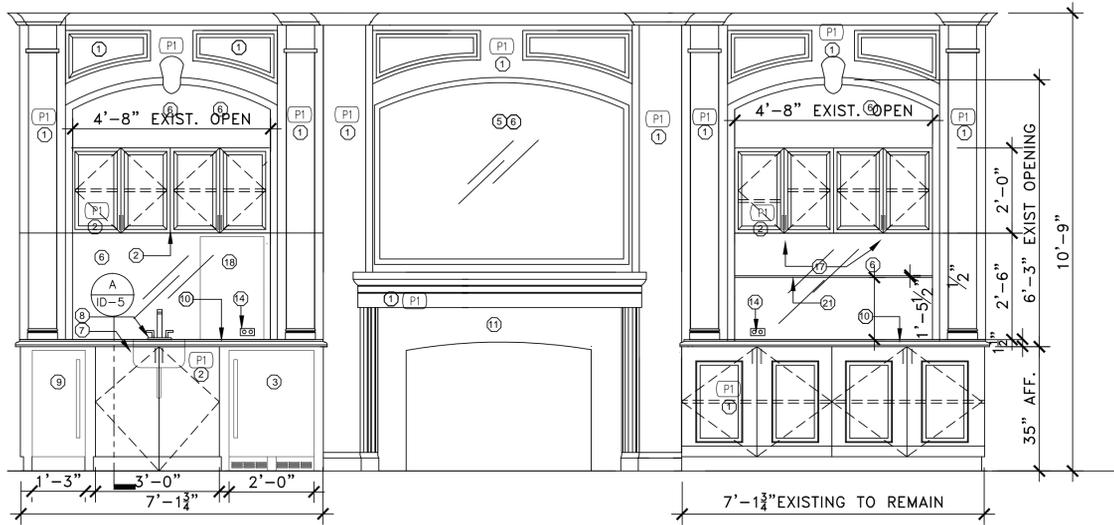
**WALL FINISH PLAN LEGEND**

 KEY NOTE. SEE DESIGNATED # FOR MORE INFORMATION  
 FINISH SCHEDULE NOTATION- SEE SHT ID1 FOR SPECIFICATIONS

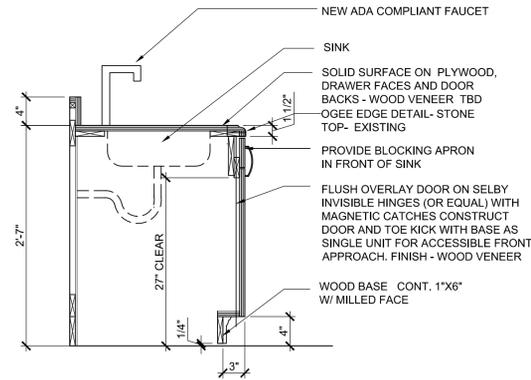
**WALL FINISH PLAN- MAIN FLOOR**

SCALE: 3/32" = 1'-0"

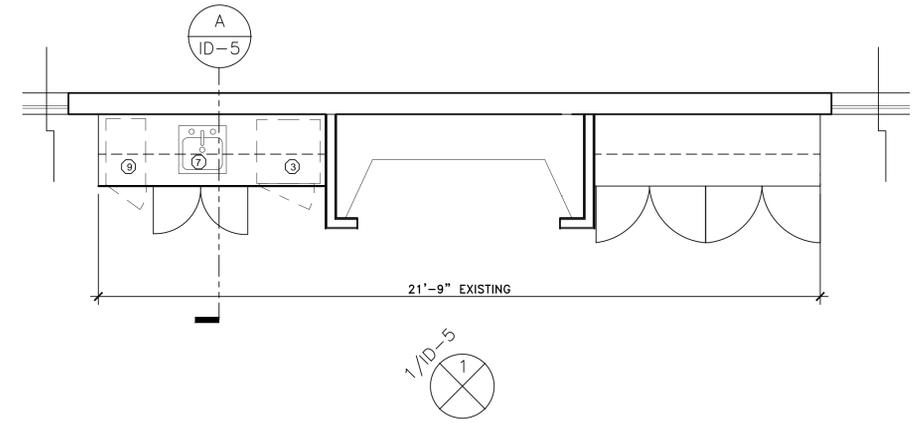




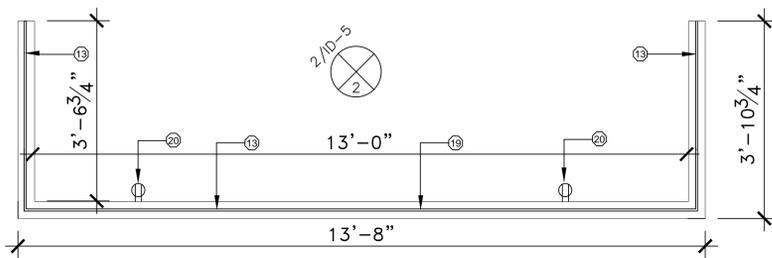
**1 ELEVATION @ CARD ROOM MILLWORK UNIT**  
SCALE: 1/2" = 1'-0"



**A SECTION @ CARD ROOM MILLWORK UNIT**  
SCALE: 1'-0" = 1'-0"



**PLAN VIEW - MILLWORK UNIT CARD ROOM**  
SCALE: 3/8" = 1'-0"



**2 PLAN VIEW @ BUFFET STATION GRILL RM**  
SCALE: 1/2" = 1'-0"

DESIGN TBD

**B SECTION @ BUFFET STATION - GRILL RM**  
SCALE: 1'-0" = 1'-0"

NOTES THIS DRAWING	
①	CARD ROOM EXISTING MILLWORK BODY TO REMAIN. REWORK LOWER CABINET SECTION PER PLAN. MILLWORK COMPANY TO FIELD VERIFY EXISTING CONDITIONS AND SUBMIT SHOP DRAWINGS PRIOR TO CONSTRUCTION OR REFABRICATION OF EXISTING UNIT.
②	ADDITIONAL CABINETS TO BE HOUSED WITHIN EXISTING MILLWORK UNIT MATCH DOOR PROFILE AND MOULDING TO EXISTING. ALL HINGES TO BE CONCEALED BLUM OR EQUAL.
③	PROVIDE NEW REFRIGERATOR UNDERCOUNTER ALLOW FOR VENTILATION. PERLUCK - MODEL # 1039915 2 DRW SS 115 V. 24" D X 32" H
④	PREPARE SURFACE PRIME AND PAINT EXISTING MILLWORK (P1) UNLESS OTHERWISE NOTED
⑤	REMOVE EXISTING DECORATIVE TREATMENT @ FIREPLACE MANTEL VERTICAL FACADE REPLACE WITH BEVEL MIRROR. EXISTING MOULDING TO REMAIN AND BE PAINTED
⑥	ADD MIRROR TO EXISTING VERTICAL SURFACE INSIDE NICHES ABOVE AND BELOW NEW PROPOSED CABINETS. MIRROR TO HAVE BEVEL EDGE.
⑦	PROVIDE NEW BAR SINK UNDERCOUNTER MOUNT - KOHLER OR EQUAL BRUSHED STAINLESS FINISH
⑧	PROVIDE NEW BAR ADA COMPLIANT FAUCET - KOHLER OR EQUAL BRUSHED STAINLESS FINISH
⑨	PROVIDE NEW ICE MAKER UNDERCOUNTER STAINLESS STEEL PERLUCK OR EQUAL ALLOW FOR VENTILATION MODEL # 150101L-15" LH SS SOLID DOOR SIGNATURE SERIES EXISTING GRANITE TOP TO REMAIN
⑩	EXISTING BLACK GRANITE AT FIRE PLACE OPENING TO REMAIN
⑪	VOID
⑫	PROPOSED PLEXIGLASS BACKGUARD HOUSED IN STAINLESS STEEL FRAME
⑬	NEW ELECTRICAL OUTLETS HOUSED INSIDE MILLWORK UNIT CARD ROOM
⑭	NEW GROMMETS FOR ELECTRICAL ACCESS
⑮	PROPOSED NEW GRANITE TOP MATCH TO EXISTING GRANITE TOPS IN GRILL ROOM & TOP EDGE DETAIL
⑯	REMOVE AND REPLACE EXISTING CABINETS HARDWARE PULLS TO ADA COMPLIANT. PULL ADD NEW FOR PROPOSED NEW UPPER CABINETS
⑰	PROPOSED NEW COFFEE MAKER BY OWNER. GC TO SUPPLY DRAIN LINE
⑱	NEW SHEET ROCK WALL - (SEE ARCHITECTURAL DRAWINGS FOR DETAILS.) EXTERIOR FINISH TO MATCH ADJACENT EXISTING UNITS.
⑳	NEW SHEET ROCK WALL - (SEE ARCHITECTURAL DRAWINGS FOR DETAILS.) ADD ELECTRICAL OUTLETS BACKWALL - REFER TO ARCHITECTURAL AND ELECTRICAL DWGS FOR EXACT LOCATION.
㉑	PROVIDE NEW SAFETY GLASS BEVEL EDGE SHELF 1/2" THICK PROVIDE NEW SLOTTED STANDARDS AT SIDES FOR MOUNTING.

LEGEND	
XX#	KEY NOTE. SEE DESIGNATED # FOR MORE INFORMATION
XX#	FINISH SCHEDULE NOTATION- SEE SHT 01 FOR SPECIFICATIONS

**NOTE:**  
ALL DIMENSIONS MUST BE FIELD VERIFIED.

**DESIGN INTENT ONLY- ALL MILLWORK MUST BE SUBMITTED TO MILLWORK SHOP BY GC. FOR FINAL SHOP DRAWINGS**

**CONTRACTOR TO SUBMIT DETAILED SHOP DRAWINGS FOR FINAL REVIEW & APPROVAL PRIOR TO FABRICATION**

CLIENT APPROVAL	
I HAVE REVIEWED THESE PLANS AND THEY CONFORM TO OUR REQUIREMENTS. I UNDERSTAND THAT ANY MODIFICATIONS TO THESE PLANS WILL BE AN ADDITIONAL SERVICE.	
ACCEPTED AS IS:	<input type="checkbox"/>
ACCEPTED AS NOTED:	<input type="checkbox"/>
UNACCEPTED:	<input type="checkbox"/>
CLIENT SIGNATURE:	_____

GENERAL NOTE: DRAWINGS FOR DESIGN INTENT ONLY- G.C. TO SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION OR CONSTRUCTION.

REVISION:	
△ 04-18-16	
△ 04-22-16	
△ 04-25-16	

**PROJECT NAME:**  
**Boca Grove County Club**  
**21351 WHITAKER DRIVE, BOCA RATON, FLORIDA 33433**

SEAL

PROJECT NO:  
2015.21  
DRAWN BY: MCM  
CHECKED BY: AES  
DATE: 4-08-16

FILE NAME:  
**SECTIONS & ELEVATIONS**

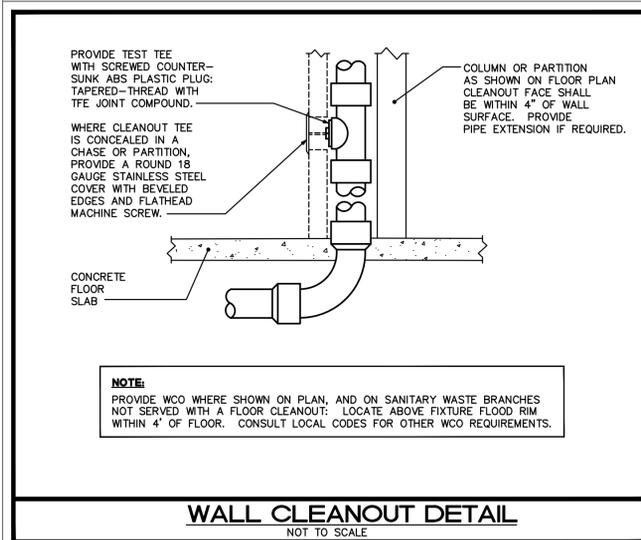
SHEET NO.  
**ID5**

PLUMBING FIXTURE SCHEDULE	
SK	SINGLE STAINLESS STEEL SINK, 25 X 22 DAYTON MODEL #K-12522 WITH A MOEN FAUCET # 8799 KITCHEN 5-9/16" SPREAD GOOSENECK WITH 4" WRIST BLADE FAUCET HANDLES.
<b>GENERAL NOTES:</b> (1) - FIXTURES SHALL BE AS SHOWN OR EQUAL. (2) - ALL FIXTURES SHALL COMPLY WITH TABLE 604.4 OF FBC 2014. (3) - ALL FIXTURE TRIM PACKAGES INCLUDING BUT NOT LIMITED TO TRAP, ANGLE STOP, FLUSH VALVE, SUPPLY TUBES, AND CLEANOUT COVER PLATES SHALL BE OF THE SAME FINISH AS THE ABOVE SPECIFIED FAUCET AND PER ARCHITECTURAL FINISH SCHEDULE. (4) - ALL FIXTURES SHALL BE ROUGHED IN PER MANUFACTURER CUT SHEET TO MAINTAIN UNIFORMITY.	
SANITARY ISOMETRIC	
N.T.S.	
DOM. WATER ISOMETRIC	
N.T.S.	

PLUMBING NOTES	
1.	ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH FBC 2014, APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
2.	PLUMBING CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
3.	ALL MATERIALS SHALL BE NEW.
4.	ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE. ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
5.	REQUIRED INSURANCE SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
6.	PLUMBING CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS, PLUMBING CONTRACTOR TO OBTAIN PERMIT AND APPROVED SUBMITTALS PRIOR TO BEGINNING WORK OR ORDERING EQUIPMENT. PLUMBING CONTRACTOR MUST BE PRESENT FOR ALL INSPECTIONS OF HIS WORK BY REGULATORY AUTHORITIES.
7.	DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
8.	ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
9.	VERIFY LOCATION, SIZE, DIRECTION OF FLOW AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES.
10.	WATER DISTRIBUTION PIPING ABOVE AND BELOW GROUND SHALL BE TYPE "L" COPPER. COORDINATE WITH LOCAL JURISDICTION FOR ADDITIONAL REQUIREMENTS. PROVIDE ALTERNATE FOR CPVC PIPING EQUAL TO BFGOODRICH "FLOWGUARD GOLD" FOR WATER KNOWN OR DETERMINED TO HAVE ACIDIC CHARACTERISTICS. CONTRACTOR SHALL PERFORM A WATER TEST TO DETERMINE WATER CHEMISTRY PRIOR TO ANY WORK OR PIPING INSTALLATION AND SHALL SUBMIT TEST RESULTS TO ENGINEER FOR REVIEW AND APPROVAL.
11.	SOIL, WASTE, VENT AND RAINWATER PIPING SHALL BE CAST IRON OR PVC, WHERE CODE ALLOWS. PVC MAY NOT BE USED THRU RATED ASSEMBLIES OR IN PLENUMS.
12.	ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS AND APPROPRIATELY MARKED ACCESS PANELS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
13.	FURNISH AND INSTALL APPROVED WATER HAMMER ARRESTORS FOR ALL (GROUP) PLUMBING FIXTURES, SIZED AND LOCATED PER MANUF.'S INSTALLATION INSTRUCTIONS AND WH-PDI 201.
14.	DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
15.	ISOLATE COPPER PIPE FROM HANGER OR SUPPORTS WITH ISOLATOR PADS OR MATERIAL.
16.	ALL FIRE RATED FLOOR AND WALL PENETRATIONS SHALL BE PROPERLY PROTECTED FROM FIRE, SMOKE AND WATER PENETRATION BY FILLING VOIDS BETWEEN PIPE AND WALL/FLOOR SLEEVES WITH FIRE RATED FOAM, TO ACHIEVE THE SAME RATING AS WALLS OR FLOORS AS PART OF THE PLUMBER'S WORK.
17.	PLUMBING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
18.	PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES AND ALL WATER HAMMER ARRESTORS. ACCESS PANELS IN RATED WALLS MUST MAINTAIN THE SAME RATING AND MUST MATCH THE FINISH OF THE WALL IN WHICH IT IS INSTALLED.
19.	PROVIDE COMBINATION COVER PLATE AND CLEANOUT PLUG OR ACCESS PANEL FOR ALL WALL CLEANOUTS FINISH TO MATCH FIXTURE TRIM.
20.	NO COMBUSTIBLE MATERIAL TO BE USED IN MECHANICAL ROOMS OR IN CEILING SPACES WHERE USED AS RETURN AIR PLENUMS.
21.	NO WATER, SANITARY OR DRAINAGE PIPING PERMITTED IN ELECTRICAL OR ELEVATOR EQUIPMENT ROOMS.
22.	ALL CONTROL VALVES SHALL BE TAGGED AND MARKED. A REPRODUCIBLE DIAGRAM LOCATING ALL VALVES SHALL BE PROVIDED FOR OWNER/OPERATOR.
23.	ALL CONDENSATE DRAIN PIPING SHALL BE TYPE "L" COPPER WITH ARMAFLEX INSULATION PER TABLE 4-11 F.B.C. 2014 WHERE USED IN A RETURN AIR PLENUM. PVC PIPING WITH ARMAFLEX INSULATION MAY BE USED IN LOCATIONS WHERE ALLOWED BY LOCAL CODES. SEE PLUMBING DRAWINGS FOR SIZE AND LOCATION OF PIPING.
24.	CONDENSATE LINES SHALL NOT DRAIN ON THE ROOFING SYSTEM OR ANY OF ITS COMPONENTS AND CONDENSATE LINES NEED NOT COMPLY WITH MIN. CLEARANCE REQUIREMENTS PER FBC 2014, PAR. 1522.3.5
25.	PROVIDE ANGLE STOPS ON ALL WATER SERVICE LINES TO FIXTURES FOR INDIVIDUAL SHUT-OFF.
26.	PROVIDE TRAP PRIMER FOR ALL FLOOR DRAINS, FLOOR SINKS, AND HUB DRAINS SHOWN ON PLANS. IF SPECIFICATION IS NOT PROVIDED, SUPPLY PRECISION PLUMBING PRODUCTS MODEL #PR-500. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
27.	WATER PIPING INSULATION SHALL BE ARMAFLEX OR EQUAL INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS FOR ALL HOT WATER PIPING. WHERE DOMESTIC WATER TEMPERATURES CAN CAUSE SWEATING ALL COLD WATER PIPING SHALL BE INSULATED WITH ARMAFLEX INSULATION, THICKNESS AS PER TABLE 4-11 OF FLORIDA ENERGY CODE.
28.	STUDOR MINI/MAXI AIR ADMITTANCE VALVES MAY BE USED AS AN ALTERNATE TO VENT PIPING THRU ROOF WHERE ACCEPTABLE BY THE PLUMBING OFFICIAL AND LOCAL CODES. INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
29.	ALL HORIZONTAL RAINWATER PIPING THAT RECEIVES CONDENSATE DISCHARGE FROM AIR CONDITIONING EQUIPMENT SHALL BE INSULATED WITH 1" THK. ARMAFLEX.
30.	PLUMBING PLANS IN GENERAL, ARE DIAGRAMMATIC IN NATURE, AND ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, FIRE SPRINKLER, STRUCTURAL AND CIVIL PLANS AND SHALL BE CONSIDERED AS ONE SET OF DOCUMENTS. PIPING MODIFICATIONS SUCH AS OFFSETS, BENDS, TRANSITIONS, AND SIZES SHALL BE REQUIRED TO PROVIDE AND INSTALL A COMPLETE FUNCTIONAL SYSTEM AND SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CHANGES IN PIPE SIZES AND ROUTING SHALL BE REQUIRED BY THE CONTRACTOR TO AVOID CONFLICTS AND TO ADAPT TO EXISTING FIELD CONDITIONS PROVIDED THAT INSTALLATION MEETS ALL APPLICABLE CODES.
31.	SUPPLY TRAP PRIMER FOR ALL FLOOR DRAINS, FLOOR SINKS, HUB DRAINS, ETC. SHOWN ON PLANS.
32.	CONTRACTOR TO FIELD VERIFY ALL SUPPLY PRESSURE REQUIREMENTS AND LIMITATIONS. PROVIDE PRESSURE REDUCING VALVE IF REQUIRED.

PLUMBING SHEET INDEX	
SHEET#	DESCRIPTION
P0.1	PLUMBING NOTES, LEGENDS, DETAILS, & ISOMETRICS
P2.1	PLUMBING PLAN

PLUMBING LEGEND			
CO	CLEAN OUT		SANITARY SEWER PIPING
S.O.V.	SHUT-OFF VALVE		VENT PIPING
COTC	CLEAN OUT TO GRADE		DOMESTIC COLD WATER PIPING
FS	FLOOR SINK		HOT WATER PIPING (110°)
CW	DOMESTIC COLD WATER		HOT WATER PIPING (140°)
HW	DOMESTIC HOT WATER		HOT WATER RECIRCULATING PIPING
HWR	DOMESTIC HOT WATER RECIRCULATING		CONDENSATE PIPING
HB	HOSE BIBB		COMPRESSED AIR PIPING
VTR	VENT THRU ROOF		TEMPERATURE AND PRESSURE RELIEF
	GATE VALVE		STORM DRAIN PIPING
	GLOBE VALVE		GAS PIPING
	CHECK VALVE		PIPE RISE UP
	GAS SOLENOID VALVE		PIPE DOWN OR DROP
	GAS COCK		CAPPED END OF PIPE
	WATER HAMMER ARRESTER (PDI No.)		POINT OF CONNECTION
	FLOOR DRAIN		P-TRAP



**WALL CLEANOUT DETAIL**  
NOT TO SCALE

SHOCK ARRESTOR SCHEDULE			
P.D.I. DESIGNATION	MANUF. & MODEL	FIXTURE UNITS	CONNECTION
A	SIoux CHIEF 652-A	1-11	1/2"
B	SIoux CHIEF 653-B	12-32	3/4"
C	SIoux CHIEF 654-C	33-60	1"

SIoux CHIEF SHOCK ARRESTORS APPROVED FOR INSTALLATION WITH NO ACCESS DOOR REQUIRED. CONFORMS TO ANSI/ASSE 1010 STANDARDS.

SLOPE OF HORIZ. DRAINAGE PIPE	
SIZE (Inches)	MINIMUM SLOPE (Inch per foot)
2-1/2 or less	1/4
3 to 6	1/8
8 or larger	1/16

TABLE 704.1 OF THE FLORIDA PLUMBING CODE 2014



RODOLFO ACEVEDO AIA  
JAMES R. WILLIAMS AIA  
7700 CONGRESS AVE.  
SUITE 1114  
BOCA RATON, FLORIDA 33487  
TEL. 561 997 1244  
FAX 561 997 1675

**BOCA GROVE PLANTATION**  
CLUB HOUSE  
21351 WHITAKER DRIVE,  
BOCA RATON, FL 33433

FLORIDA LICENSE: AA26002219

PROJECT NO. 15155  
DESIGNED BY: RA/JW  
DRAWN BY: TD/CE/MA  
CHECKED BY: RA/JW  
SUBMITTALS:  
PERMIT SET 04.07.2016

REVISIONS:

PLUMBING NOTES

ISSUED FOR PERMIT ONLY		04-18-16
KAMM CONSULTING PROJECT # 2016-0292		
PROJECT MANAGER: JOHN MAYR		
		1408 Orange Avenue Fort Pierce, Florida 34950 Phone 772.595.1744 Fax 772.595.1745 bbrown@kammconsulting.com Certification of Authorization #8189
PRINCIPAL Brady L. Brown	Florida License #58232	04-18-16 date signed

**P0.1**



RODOLFO ACEVEDO AIA  
 JAMES R. WILLIAMS AIA  
 7700 CONGRESS AVE.  
 SUITE 1114  
 BOCA RATON, FLORIDA 33487  
 TEL. 561 997 1244  
 FAX 561 997 1675

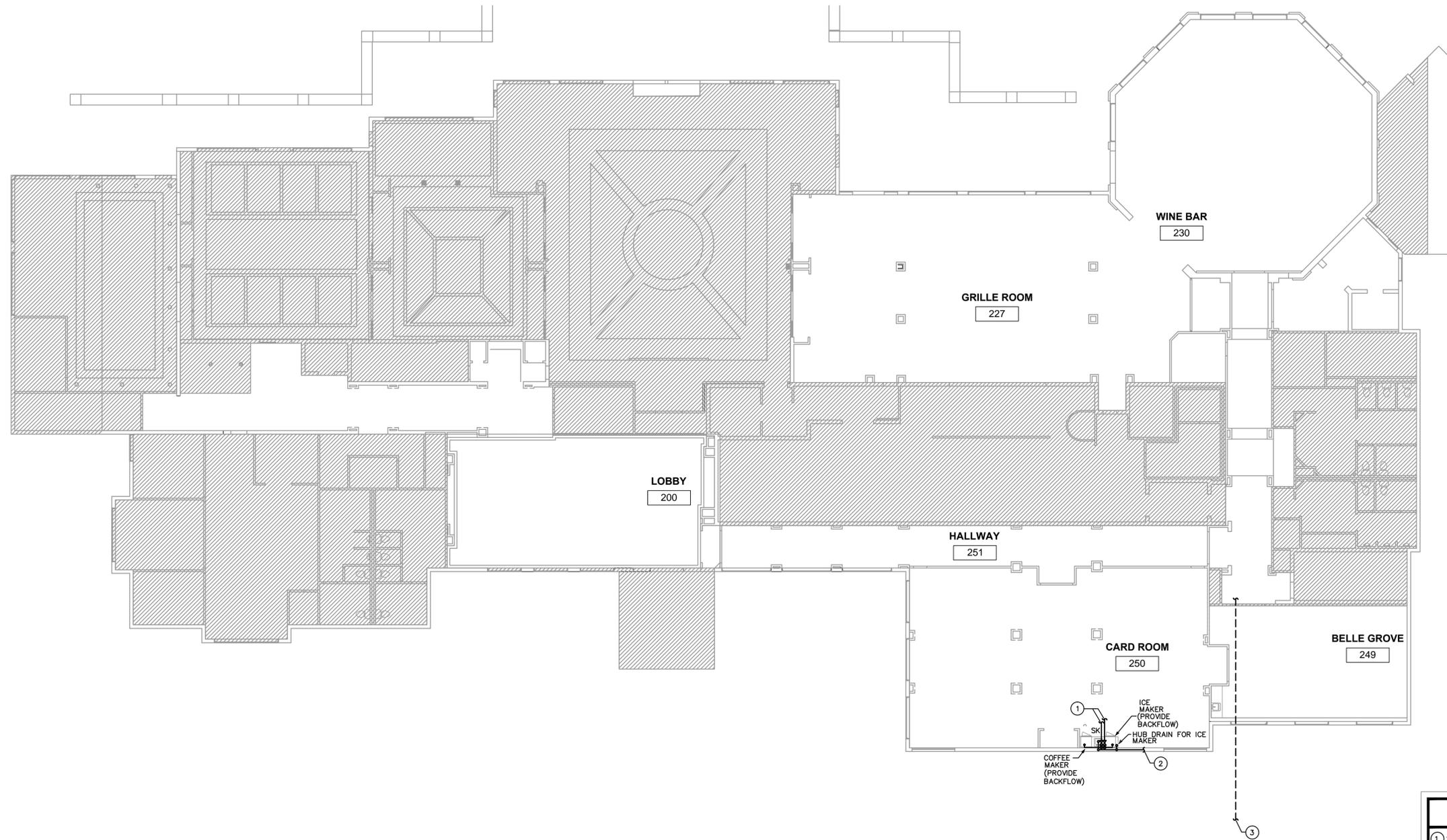
**BOCA GROVE PLANTATION**  
 CLUB HOUSE

21351 WHITAKER DRIVE,  
 BOCA RATON, FL 33433

FLORIDA LICENSURE: AA26002219

PROJECT NO. 15155  
 DESIGNED BY: RA/JW  
 DRAWN BY: TD/CE/MA  
 CHECKED BY: RA/JW  
 SUBMITTALS:  
 PERMIT SET 04.07.2016

REVISIONS:



**PLUMBING PLAN**  
 3/32"=1'-0"

KEY NOTES	
1	3/4" DOMESTIC WATER LINE, TIE TO EXISTING. FIELD VERIFY EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION.
2	2" SANITARY LINE, TIE TO EXISTING. FIELD VERIFY EXACT SIZE, LOCATION, AND INVERT PRIOR TO CONSTRUCTION.
3	EXISTING 4" SANITARY LINE. FIELD VERIFY EXACT LOCATION AND INVERT PRIOR TO CONSTRUCTION.

ISSUED FOR PERMIT ONLY		04-18-16
KAMM CONSULTING PROJECT # 2016-0292 PROJECT MANAGER: JOHN MAYR		
 1408 Orange Avenue Fort Pierce, Florida 34950 Phone 772.595.1744 Fax 772.595.1745 bbrown@kammconsulting.com Certification of Authorization #8189		
PRINCIPAL Brady L. Brown	Florida License #58232	04-18-16 date
		signed

PLUMBING PLAN

**STRUCTURAL NOTES**

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OF ALL RELATED SAFETY PRECAUTIONS AND PROGRAMS.

**CONCRETE**

1. WIND LOADS AS PER:
  - A. SECTION 1609 OF THE FLORIDA BUILDING CODE 5TH EDITION (2014) WITH AN ULTIMATE WIND SPEED VULT = 180 MPH (NOMINAL WIND SPEED VASD = 132 MPH), FOR RISK CATEGORY III, EXPOSURE C AND INTERNAL PRESSURE COEFFICIENT +/- 0.18.
  - B. THIS BUILDING IS DESIGNED AS AN ENCLOSED BUILDING.
2. THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE:
  - A. FLORIDA BUILDING CODE 5TH EDITION (2014),
  - B. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318/ LATEST EDITION),
  - C. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315/ LATEST EDITION),
  - D. ARCHITECTURAL AND MECHANICAL DRAWINGS.
3. THE STRUCTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT BE PRESENTED AS SEPARATE INFORMATION. THE GENERAL CONTRACTOR SHALL CONSULT THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE THE DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT.
  - A. REFER TO ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS SETTINGS, DRAINS, REGLETS, ETC.
  - B. BEFORE OPERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY THAT THE MATERIALS AND METHODS OF FIT THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED TO COMPLY WITH THIS REQUIREMENT.
  - C. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH ANY WORK.
  - D. ALL STRUCTURES HAVE BEEN DESIGNED TO RESIST THE DESIGN LOADS LISTED ONLY AS COMPLETED STRUCTURES. THE GENERAL CONTRACTOR SHALL FULLY BRACE AND OTHERWISE PROTECT WORK IN PROGRESS UNTIL THE STRUCTURES ARE COMPLETED OPERATIONS AND PROCEDURES PROVIDE NO LOADING GREATER THAN THE DESIGN LOADS LISTED ON ANY MEMBER.
4. SECTIONS AND DETAILS:
  - A. ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND SHALL BE USED AS SHOWN UNLESS OTHERWISE INDICATED ELSEWHERE UNLESS OTHERWISE SHOWN.
5. MATERIALS AND ASSEMBLY TEST AS FOLLOWS:
  - A. EXTERIOR WINDOWS, SLIDING AND PATIO GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND SHALL BE PERFORMED ON EACH WINDOW OR DOOR PRIOR TO MANUFACTURE. TESTING SHALL BE PERFORMED AT AN APPROVED TESTING LABORATORY, EVALUATION ENTRY OR FLORIDA STATE WIDE PRODUCT APPROVAL NUMBER TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS:
    - ANSI/AAMA/WMMA 101/15.2-97 OR TAS 202 (HAZ SHALL COMPLY WITH TAS 202)

**ADDITIONS/RENOVATIONS**

1. ALL EXISTING CONDITIONS, DIMENSIONS, LOCATIONS AND ELEVATIONS OF EXISTING STRUCTURES SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PRIOR TO COMMENCEMENT OF ANY WORK, IF DISCREPANCIES ARE DISCOVERED BETWEEN EXISTING CONDITIONS AND CONTRACT WORK, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER PRIOR TO PERFORMANCE OF ANY WORK.
2. PRIOR TO SHOP DRAWING PREPARATION, THE GENERAL CONTRACTOR IS TO INVESTIGATE AND VERIFY ACTUAL FIELD CONDITIONS, EXPOSED OR CONCEALED AND TAKE INTO ACCOUNT ANY POSSIBLE CONSTRUCTION INTERFERENCES AND RELATIONS OF, BUT NOT LIMITED TO STRUCTURES, EQUIPMENT, UTILITIES, CABLES, DUCT LINES, PIPING, DRAIN LINES, ETC.
3. ANY PORTION OF EXISTING STRUCTURE ADJACENT TO THE CONSTRUCTION WHICH MAY BE DISTURBED OR DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE PROTECTED AT THE CONTRACTOR'S RISK AND COSTS TO THE OWNER. COMMENCEMENT OF THE WORK AT NO ADDITIONAL COSTS TO THE OWNER.
4. EXISTING STRUCTURE SHALL BE PROTECTED, MAINTAINED AND SUPPORTED DURING THE CONSTRUCTION WORK.

**DEMOLITION**

1. CONTRACTOR TO:
  - A. OBTAIN DEMOLITION PERMIT BEFORE PROCEEDING WITH THE WORK.
  - B. PROVIDE THE NECESSARY LABOR, MATERIAL, SCAFFOLDING AND DRAWINGS.
  - C. DISCONNECT ALL ELECTRICAL, PLUMBING, AND AIR CONDITIONING SYSTEMS WITHIN THE AREA TO BE DEMOLISHED BEFORE PROCEEDING WITH DEMOLITION WORK.
  - D. PERFORM ONLY THE REMOVALS INDICATED IN THE DRAWINGS. REQUEST CONCRETE MEMBERS IN SMALL SECTIONS. TAKE EVERY PRECAUTION TO PROTECT EXISTING STRUCTURE THAT IS TO REMAIN. USE BRACING AND SHORING AS NECESSARY TO AVOID COLLAPSE OF STRUCTURE.
  - E. REMOVE ALL RUBBISH AND DEBRIS FROM BUILDING AND FROM PROPERTY.

**SHORING AND RESHORING**

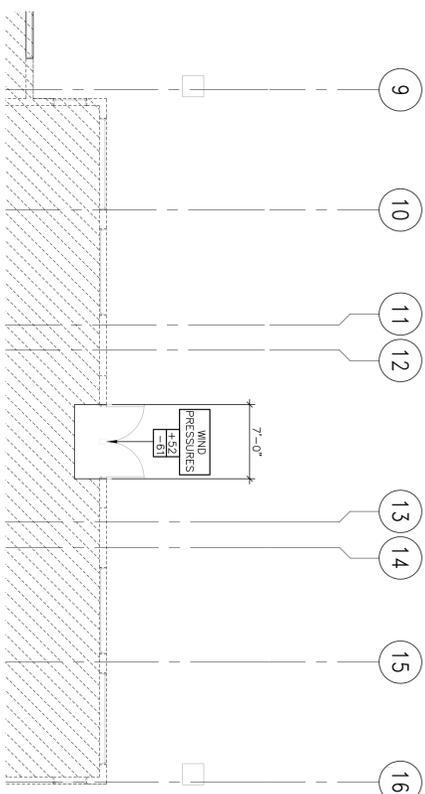
1. THE CONTRACTOR SHALL REQUIRE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION. SUBMIT SIGNED AND SEALED SHOP DRAWINGS PREPARED BY A DELEGATED ENGINEER EXPERIENCED IN SUCH WORK AND LICENSED IN THE STATE OF FLORIDA TO THE ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ALL SHORING AND RESHORING DESIGN AND CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE ENGINEER IN HIS EMPLOY.
2. THE DELEGATED ENGINEER WHO PREPARES THE SHORING AND RESHORING DRAWINGS SHALL INSPECT THE SHORING AND RESHORING. HE SHALL PROVIDE A FIELD REPORT OF EACH INSPECTION TO THE CONTRACTOR AND ARCHITECT.
3. THE BRACING DETAILS OF THE EXTERIOR WALLS OF WHICH IN SOME CASES, THE ROOF DECK DIAPHRAGM AND ROOFING MEMBERS WILL BE REMOVED LEAVING THE EXTERIOR WALLS UNBRACED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE A SPECIALTY EFFORT AND BRACING ENGINEER TO PROVIDE THE REQUIRED DOCUMENTS FOR THIS EFFORT.

**CONCRETE**

1. CONCRETE ELEMENTS TO HAVE THE FOLLOWING STRENGTHS:
  - A. BEAMS 3000 PSI
  - B. MASONRY GROUT 3000 PSI
2. ALL OTHER CONCRETE TO BE 3000 PS UNLESS NOTED OTHERWISE.
  - A. A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS
  - B. SLUMPS SHALL BE 3" MINIMUM AND 5" MAXIMUM
  - C. CONCRETE SHALL HAVE 3 +/- 1.5 PERCENT AIR ENTRAINMENT.
  - D. ALL CONCRETE TO HAVE MAXIMUM WATER/CEMENT RATIO OF 0.55.
  - E. JOBSITE WATER SHALL NOT BE ADDED.
  - F. CEMENT SHALL CONFORM WITH ASTM C150 TYPE 1, SLAG, ASTM C999 SHALL BE LIMITED TO 50% (BY WEIGHT OF CEMENTITIOUS MATERIAL AND FLY ASH, ASTM D681, CLASS F, SHALL BE LIMITED TO 25% (BY WEIGHT) OF CEMENTITIOUS MATERIAL.
3. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318/ LATEST EDITION), THE ACI DETAILING MANUAL FOR REINFORCED CONCRETE STRUCTURES (ACI 315/ LATEST EDITION), AND CONCRETE FOR BUILDINGS (ACI 308/ LATEST EDITION).
4. SUBMIT REINFORCING STEEL SHOP DRAWINGS PRIOR TO ANY FABRICATION.
  5. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY ACI SPECIFICATIONS.
  6. REQUIREMENTS:
    - A. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615 GRADE 60.

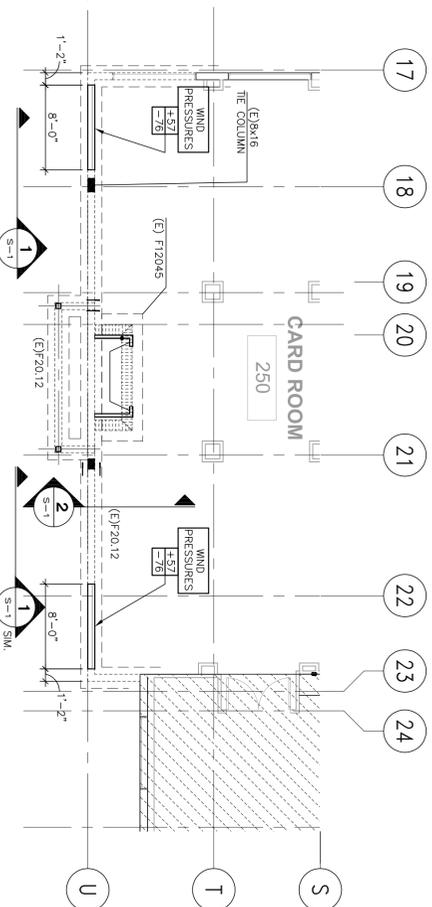
1. THE SHOP DRAWINGS SHALL BE SUBMITTED IN COMPLETE PACKAGES, WITH THE GENERAL CONTRACTOR'S REVIEW STAMP FOR THE FOLLOWING:

- A. CONCRETE MIX DESIGNS
- B. CONCRETE REINFORCING STEEL AND WELDED WIRE FABRIC



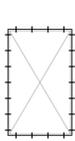
**PARTIAL FOUNDATION PLAN**  
1/8"=1'-0"

NOTES:  
1) NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE COMMENCING WORK.



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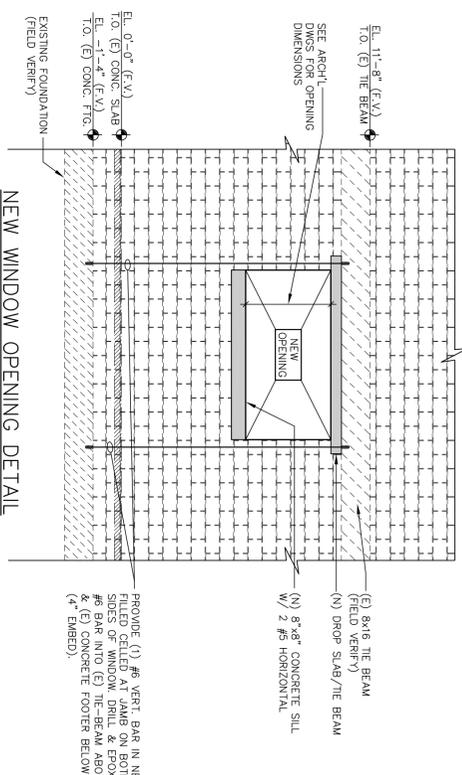
(WINDOW & DOOR OPENINGS)  
7'-0" WIDE AND LARGER  
2" X P.T. BUCK W/ 1/4" X 4" TASON W/ 1 1/2" EMBEDMENT AT 8" O.C.  
START 3" FROM CORNERS.



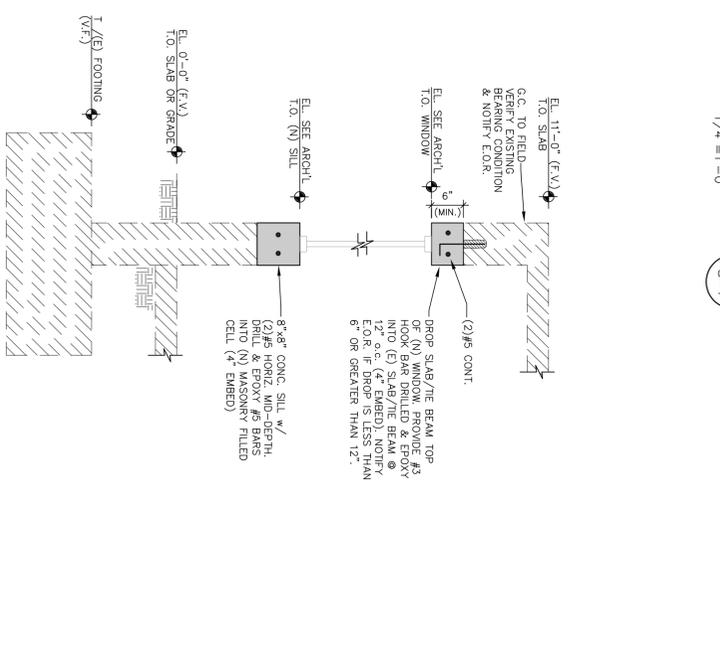
(WINDOW & DOOR OPENINGS)  
6"-6" WIDE AND SMALLER  
2" X P.T. BUCK W/ 1/4" X 4" TASON W/ 1 1/2" EMBEDMENT AT 8" O.C.  
START 3" FROM CORNERS.

**TYPICAL WOOD BUCK TO CONCRETE CONNECTION DETAIL**

1. EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND OTHER APPLICABLE DESIGN REQUIREMENTS OF BEING PROTECTED BY IMPACT RESISTIVE SYSTEMS.



**SECTION 1**  
1/4"=1'-0"



**SECTION 2**  
3/4"=1'-0"

**PERMIT SET**  
04/18/16

**ONM&E**  
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**BOCA GROVE PLANTATION CLUB HOUSE**

21351 WHITAKER DRIVE,  
BOCA RATON, FL 33433

FLORIDA LICENSE#RE: A02002219

PROJECT NO. 15165  
DESIGNED BY: RAJW  
DRAWN BY: TOCE/MA  
CHECKED BY: RAJW  
SUBMITTALS: 04/07/2016  
PERMIT SET

**REVISIONS:**

Partial  
Foundation Plan-  
Section and  
Structural notes