

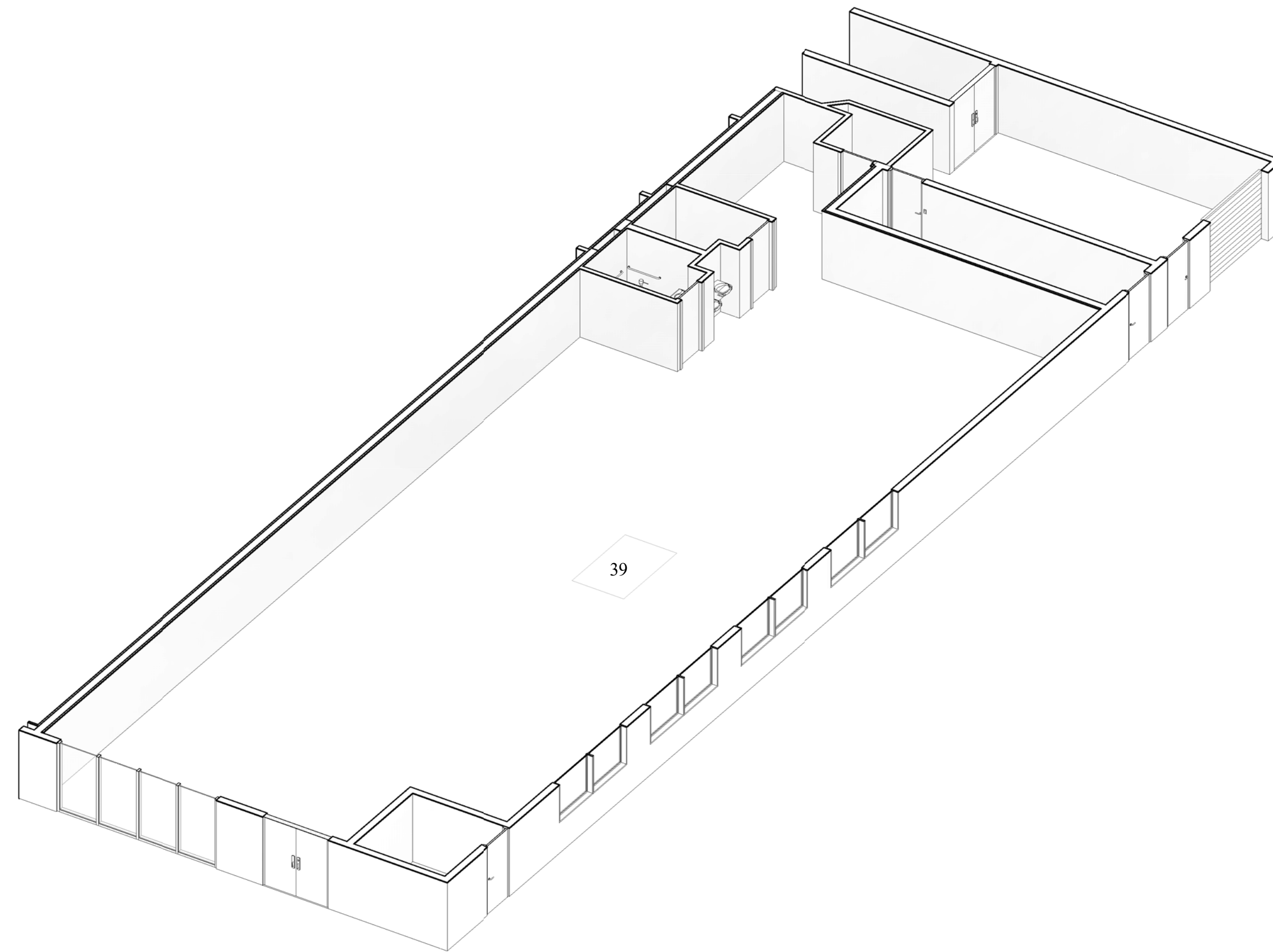
# FINAL CONTRACT DOCUMENTS

JUNE 6, 2016

## CCS

ARCHITECTURAL ENTERPRISES, INC.  
499 East Palmetto Park Rd.  
Suite 204  
Boca Raton, FL 33432

T 561 479 9884  
www.ccsarch.com  
Florida Registration Number  
AA26001852



## WESTGATE SHOPPING CENTER INTERIOR IMPROVEMENTS

BAY 39  
WESTGATE SHOPPING CENTER  
100 N STATE ROAD 7  
PLANTATION, FL 33317  
CCS PROJECT: 1600-4

**ZONING:**

LAND USE DESIGNATION: SPI-2 FCC CITY OF PLANTATION  
SPECIAL PUBLIC INTEREST FOUR CORNER COMMERCIAL.

**PARKING:**

NO PARKING IS AFFECTED

**BUILDING CLASSIFICATION FOR GARAGE AND OFFICE:**

**OCCUPANCY TYPE:**

PER 2014 5TH EDITION OF FLORIDA BUILDING CODE:

SECTION 309-MERCANTILE GROUP M

PER TABLE 503:  
CONSTRUCTION TYPE IS 1B.

NFPA 1  
NFPA 101  
OCCUPANCY IS:  
CH 31 - EXISTING MERCANTILE

**BUILDING FIRE PROTECTION:**

AREA SPRINKLERED:  
BUILDING IS SPRINKLERED

REQUIRED ASSEMBLY RATINGS:

PER FBC TABLE 601  
STRUCTURAL FRAME 2 HOUR  
BEARING WALLS - EXTERIOR 2 HOUR  
INTERIOR 2 HOUR

NON-BEARING WALLS, INTERIOR PARTITIONS 0 HOUR  
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 2 HOUR  
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 1 HOUR

FIRE EXTINGUISHER NOTES:  
ANY EXISTING PORTABLE FIRE EXTINGUISHERS, FIRE HOSE CABINETS OR FIRE EXTINGUISHER CABINETS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.  
CONTRACTOR TO VERIFY THAT EXTINGUISHER IS ABC TYPE AND BE IN COMPLIANCE WITH NFPA 10 "STANDARD FOR PORTABLE FIRE EXTINGUISHERS AND BE RATED FOR LIGHT / LOW HAZARD OCCUPANCY WHERE NEEDED AS MINIMUM RATING 2A .ALSO COMPLY WITH FBC 906.

**BUILDING INFORMATION:**

NUMBER OF STORIES: ONE STORY

BUILDING HEIGHT: TO TOP OF WALL +/-16'-9 1/2"

EXISTING GROSS AREAS: 45,320 SQFT  
PROJECT AREA: 3,862 SQFT

**GOVERNING CODES AND REGULATIONS:**

FLORIDA BUILDING CODE (2014 5TH EDITION) INCLUDING:  
FLORIDA ACCESSIBILITY CODE  
FLORIDA ENERGY CODE

FBC TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES (2014 5TH EDITION)  
FBC MECHANICAL CODE (2014 5TH EDITION)  
FBC PLUMBING CODE (2014 5TH EDITION)  
FBC FUEL GAS CODE (2014 5TH EDITION)

FLORIDA ADMINISTRATIVE CODES (INCLUDING LIFE SAFETY CODE):

CHAPTER 69A-3.012: STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION AND OTHER STANDARDS ADOPTED  
FLORIDA FIRE PREVENTION CODE (2014 5TH EDITION) WHICH INCLUDES:  
FLORIDA STATUTES, CHAPTER 633: FIRE PREVENTION AND CONTROL  
FLORIDA ADMINISTRATIVE CODE, CHAPTER 69A  
FLORIDA ADMINISTRATIVE CODE, CHAPTER 69A-60: FLORIDA FIRE PREVENTION CODE  
NFPA 1, UNIFORM FIRE CODE (2012 5TH EDITION)  
NFPA 101, LIFE SAFETY CODE (2012 5TH EDITION)  
FEDERAL CODES AND REGULATIONS:  
THE AMERICANS WITH DISABILITIES ACT (ADA) AND ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (2012).  
FAIR HOUSING

**PROJECT DESCRIPTION**

THIS IS A PROJECT TO PREPARE BAY 39 AT THE WESTGATE SHOPPING CENTER FOR FUTURE TENANT.  
WORK INCLUDES AN ADA BATHROOM, DRINKING FOUNTAIN AND ELECTRICAL PANEL TO THE BAY.

**PROJECT DESIGN TEAM**

ARCHITECTURE & INTERIORS  
CCS ARCHITECTURE  
AND INTERIOR DESIGN  
499 EAST PALMETTO PARK ROAD  
SUITE 204  
BOCA RATON, FL 33432  
TEL 561-479-9884  
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AA26001852

ELECTRICAL, MECHANICAL,  
PLUMBING ENGINEERING  
UNITED AMERICAN ENGINEERS  
CONSULTING ENGINEERS  
4508 SW 24TH STREET  
FORT LAUDERDALE, FL 33317  
TEL 954-471-8657

PROJECT DRAWING INDEX

Sheet Number	Sheet Name
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1-ARCHITECTURAL

GN-001	COVER SHEET
X1	PROJECT INFORMATION
A1.0	DEMOLITION FLOOR PLAN
A2.0	NEW WORK FLOOR PLAN
A3.0	REFLECTED CEILING PLAN
A4.0	BATHROOM TYPICAL ENLARGED PLANS AND INTERIOR ELEVATIONS
A8.0	CONSTRUCTION DETAILS
A9.0	DOOR AND HARDWARE SCHEDULE
A10.0	PROJECT SPECIFICATIONS
A10.1	PROJECT SPECIFICATIONS
A10.2	PROJECT SPECIFICATIONS
A10.3	PROJECT SPECIFICATIONS
A10.4	PROJECT SPECIFICATIONS
A10.5	PROJECT SPECIFICATIONS

2-STRUCTURAL

S1	STRUCTURAL NOTES, KEYPLAN, FRAMING PLAN AND DETAILS
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3-ELECTRICAL

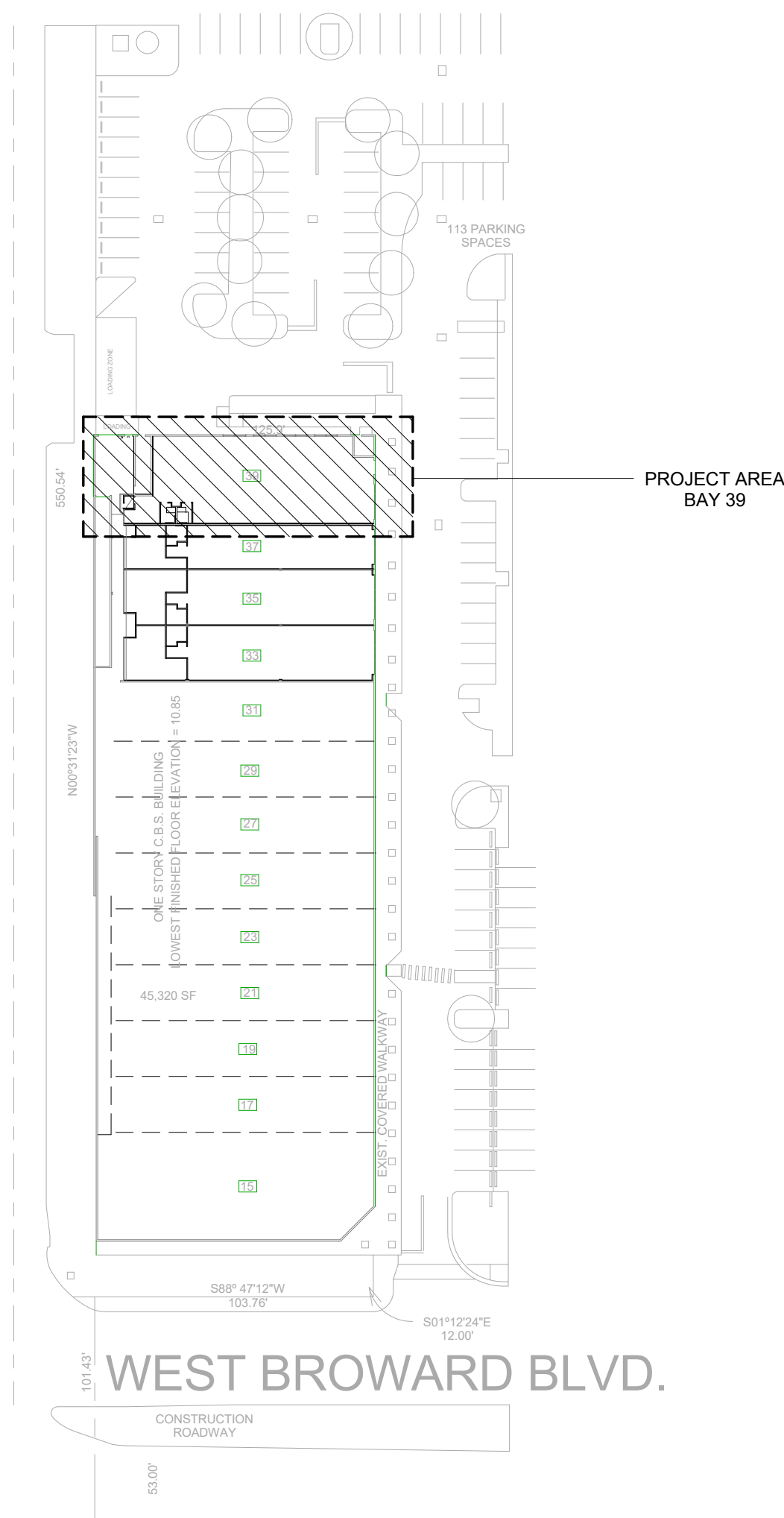
E1	ELECTRICAL PLAN
E2	ELECTRICAL RISER, PANEL, SPECIFICATIONS

4-MECHANICAL

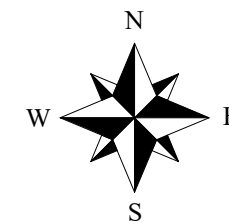
M1	MECHANICAL PLAN
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5-PLUMBING

P1	PLUMBING PLAN
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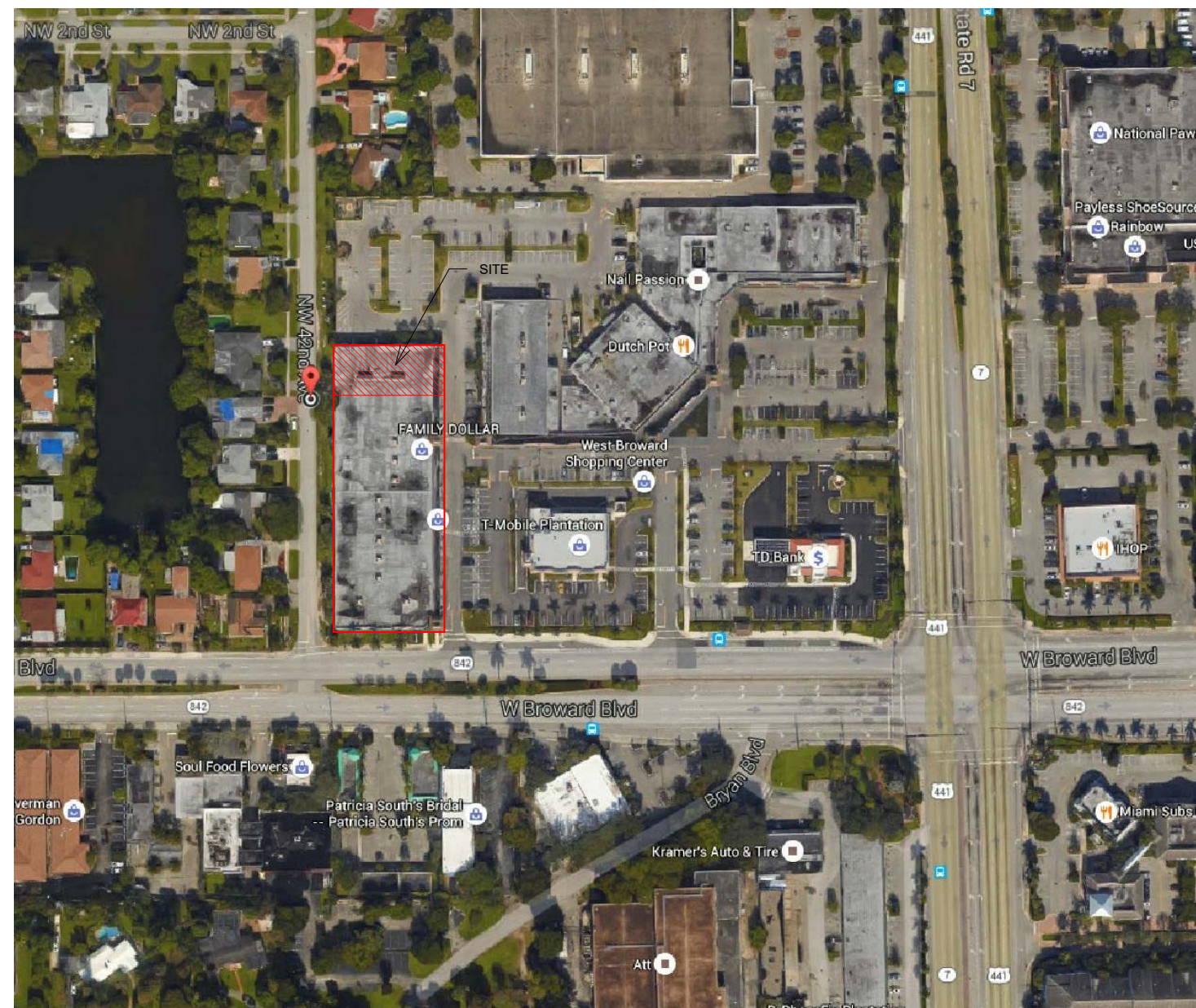


1 SITE PLAN  
X1 1/64" = 1'-0"



**GENERAL NOTES FOR PROJECT**

- 001. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE DRAWINGS AND THE PROJECT MANUAL (SPECIFICATIONS, SCHEDULES, ETC.). THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THESE DRAWINGS AND THE PROJECT SPECIFICATIONS AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES THAT HE DISCOVERS.
- 002. PROVIDE CONTINUOUS SEALANT TO PROVIDE "WATER-TIGHT" AND "AIR-TIGHT" CONDITION AT THE PERIMETERS OF ALL DOOR FRAMES, INTERIOR WINDOW FRAMES, EXTERIOR WINDOW FRAMES, WINDOW STOOLS, CABINETS, CASEWORK, COUNTERTOPS, PLUMBING FIXTURES, TOILET ACCESSORIES (BOTH RECESSED & SURFACE MOUNTED), FIRE EXTINGUISHER CABINETS, FIRE DEPARTMENT VALVE CABINETS, ETC. (EVEN WHEN THE JOINT AT THE PERIMETER IS EITHER HIDDEN OR NOT READILY VISIBLE).
- 003. EQUIPMENT INDICATED WITH DASHED LINES SHALL BE FURNISHED BY THE TENANT/OWNER AND RECEIVED/STORED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE TENANT/OWNER AND LANDLORD FOR THE DELIVERY AND INSTALLATION OF ALL TENANT/OWNER FURNISHED EQUIPMENT/FURNITURE.
- 004. THE CONTRACTOR SHALL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT ALL PHASES OF CONSTRUCTION. ALL EXISTING STAIRWAYS (IF ANY) AND RATED EXIT PASSAGEWAYS SHALL BE MAINTAINED SO THAT THEY ARE CLEAR AND ACCESSIBLE; AND THE INTEGRITY OF THE DESIGNATED RATED ENCLOSURE AROUND THEM SHALL ALSO BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 005. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED SO AS TO PROVIDE WATER-TIGHT, WEATHER-TIGHT AND CONDITIONED EXISTING SPACE AT ALL TIMES THROUGHOUT ALL PHASES OF CONSTRUCTION. PROVIDE TEMPORARY ENCLOSURES AS REQUIRED. PROVIDE PORTABLE HEATING UNITS AND/OR COOLING UNITS TO MAINTAIN 70 DEGREES F. (INSIDE TEMPERATURE) IN OCCUPIED SPACES, UNLESS OTHERWISE DIRECTED BY THE TENANT AND/OR OWNER.
- 006. ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS OR RESTRICTIONS, WHETHER INDICATED OR NOT.
- 007. GC SHALL COORDINATE ALL THE WORK OF THE TRADES.
- 008. CONSTRUCTION SHALL FOLLOW THE 2010 FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE CODES.
- 009. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY IN WRITING OR THE GENERAL CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. DO NOT SCALE DRAWINGS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING IF ADDITIONAL INFORMATION IS REQUIRED TO OBTAIN A BUILDING PERMIT.
- 010. THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE FLORIDA ENERGY CODE. CONTRACTOR SHALL BE FAMILIAR WITH THE GOVERNING CODE IN ITS ENTIRETY AND AND BUILD IN ACCORDANCE WITH THE PROVISION OF THE CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND IN THE NOTES.
- 011. GENERAL CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL ELEMENTS DURING CONSTRUCTION.
- 012. PROJECT SUBMITTALS AND SHOP DRAWINGS ARE TO BE PROVIDED TO THE ARCHITECT AS PER THE PROJECT SPECIFICATIONS SECTION 01 33 00 LISTED IN THE PLANS.
- 013. PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL SUPPLY THE ARCHITECT WITH A COMPLETE LIST OF ITEMS REQUIRING ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING REVIEW ALONG WITH THE DATES BY WHICH THEIR REVIEW MUST BE COMPLETED.
- 014. ALL SUB-CRONTACTORS SHALL BE RESPONSIBLE FOR REMOVING THEIR BUILDING DEBRIS.
- 015. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE JOBSITE AS WELL AS ALL ADJACENT AREAS AFFECTED BY CONSTRUCTION BROOM CLEAN AT ALL TIMES. IF THIS REQUIREMENT IS NOT COMPLETED ON A DAILY BASIS THEN THE ARCHITECT SHALL DEDUCT THE COST OF MAINTAINING A CLEAN JOBSITE DIRECTLY FROM THE CONTRACT RETAINAGE.



2 LOCATION MAP  
X1 N.T.S

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**PROJECT:**  
BAY 39  
WESTGATE SHOPPING CENTER  
100 N STATE ROAD 7  
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**INTERIOR IMPROVEMENTS**

**FINAL CONTRACT DOCUMENTS**

PROJECT NUMBER: 1600-4  
DATE: JUNE 6, 2016

**ADDENDA/REVISION**

No.	Date	Description

**SEAL:**

CYNTHIA C. SPRAY, AIA AR-94167

**DRAWING TITLE:**

**PROJECT INFORMATION**

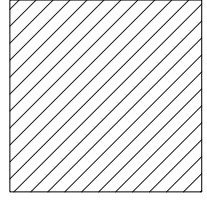
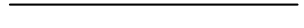

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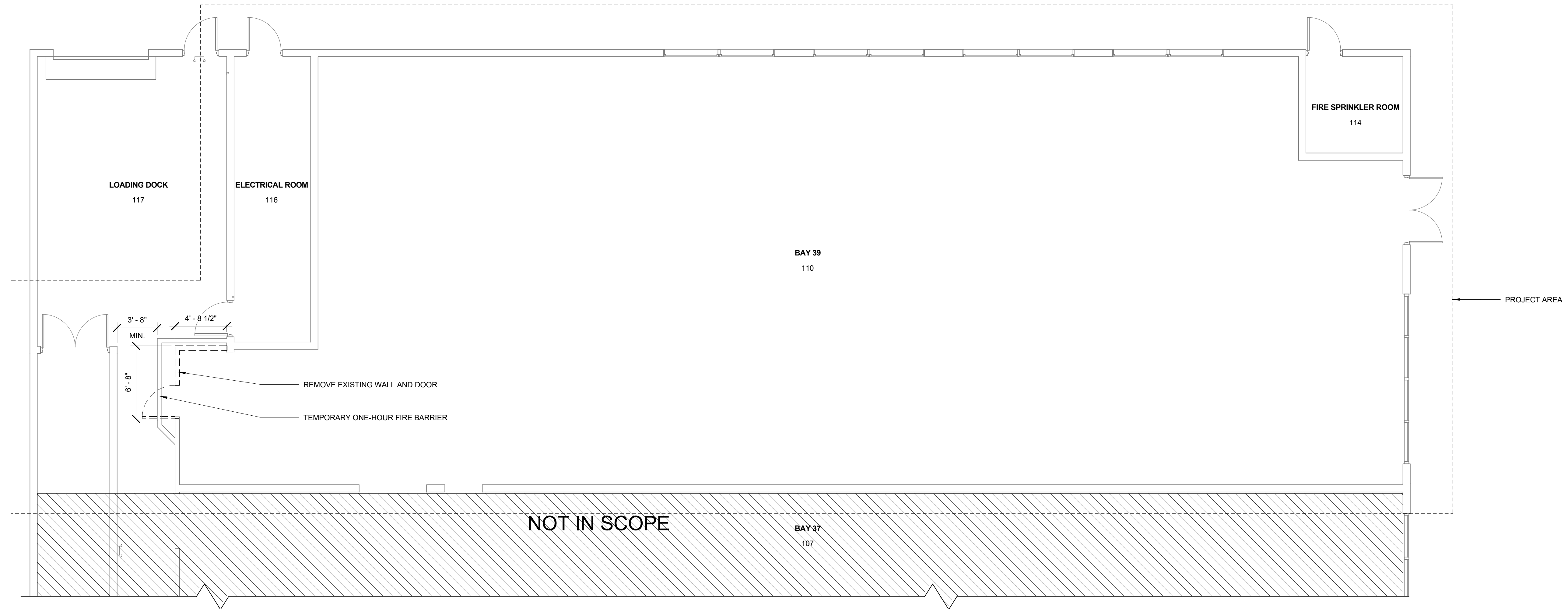
**X1**

# GENERAL NOTES FOR DEMOLITION FLOOR PLANS

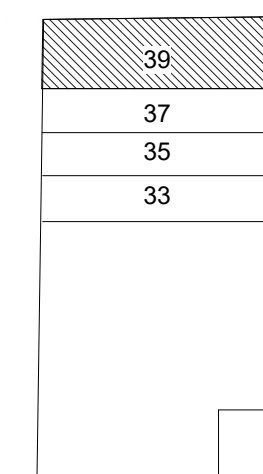
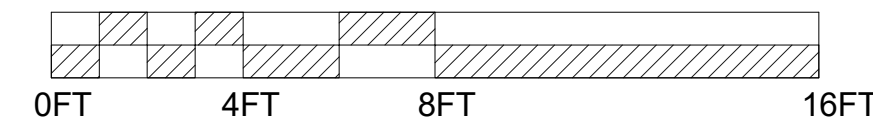
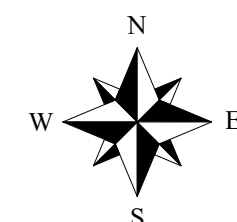
100. COMPLY WITH THE REQUIREMENTS OF THE NOTES ON SHEET A1 WHICH ALSO APPLY TO THE DEMOLITION FLOOR PLAN.
102. THE DEMOLITION DRAWINGS HAVE BEEN DEVELOPED FROM EXISTING DRAWINGS WHICH WERE PROVIDED TO THE ARCHITECT AND THEY MAY NOT REFLECT ACTUAL FIELD CONDITIONS. PRIOR TO PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL VERIFY THE ACCURACY OF THESE DRAWINGS IN COMPARISON TO THE EXISTING FIELD CONDITIONS; AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT ANY INCONSISTENCIES BETWEEN THE ACTUAL CONDITIONS AND THESE DRAWINGS.
103. THE GENERAL CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DEMOLITION OR NEW CONSTRUCTION WORK (AS INDICATED IN THE CONTRACT DOCUMENTS) CAN NOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS.
104. IF ANY EXISTING FIRE PROOFING AND/OR RATED ASSEMBLIES (WHICH ARE SUPPOSED TO REMAIN) ARE DAMAGED DURING DEMOLITION, THEY SHALL BE REPAIRED TO CONFORM TO THE ORIGINAL FIRE PROTECTION REQUIREMENTS. ALSO, THE INTEGRITY OF THE EXISTING RATED FLOOR, WALL, BARRIER AND ROOF ASSEMBLIES (WHICH ARE SUPPOSED TO REMAIN) SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
105. REMOVE EXISTING CONSTRUCTION AS INDICATED. TYPICAL WALL REMOVAL SHALL INCLUDE MECHANICAL, PLUMBING, ELECTRICAL, COMMUNICATIONS AND SECURITY SYSTEMS CONTAINED THEREIN. REMOVE DOORS, CABINETWORK, CASEWORK, WINDOWS, FRAMES, FINISHES, FIXTURES AND THEIR ATTACHMENTS AS REQUIRED. AFTER REMOVAL, REPAIR HOLES IN EXISTING TO REMAIN FLOORS, WALLS, BARRIERS AND ROOFS TO COMPLY WITH ORIGINAL FIRE, SMOKE, AND SOUND ASSEMBLIES, FIRE PROTECTION REQUIREMENTS, AND STRUCTURAL INTEGRITY. PREPARE SURFACES TO RECEIVE NEW FINISHES AS SPECIFIED IN THESE DOCUMENTS OR AS SPECIFIED IN SEPARATE INTERIOR DESIGN DOCUMENTS. WHERE A NEW FINISH IS CALLED FOR ON AN EXISTING SURFACE, REMOVE THE EXISTING FINISH AND PREPARE TO RECEIVE NEW FINISH. PREPARATIONS NEED TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS.
106. AT ALL WALLS / PARTITIONS / BARRIERS, FLOORS AND ROOFS WHICH ENCLOSE OR TOUCH SPACES WHERE WORK IS BEING PERFORMED AS PART OF THE PROJECT, THE CONTRACTOR SHALL VERIFY THAT THE EXISTING CONSTRUCTION (INCLUDING DAMPERS, DUCT PENETRATIONS, DOORS, WINDOWS, FRAMES, ETC.) MEETS THE FIRE, SMOKE AND SOUND ASSEMBLY RATINGS DESIGNATED ON THESE DRAWINGS. GC SHALL ALSO MAKE ANY REPAIRS AND/OR MODIFICATIONS NECESSARY TO BRING THE EXISTING CONSTRUCTION (INCLUDING DAMPERS, DUCT PENETRATIONS, DOORS, WINDOWS, FRAMES ETC.) UP TO THE PROPER INDICATED FIRE, SOUND AND SMOKE ASSEMBLY REQUIREMENTS. DOORS, WINDOWS AND FRAMES WHICH DO NOT MEET THE REQUIREMENTS OF THE DESIGNATED WALL/PARTITION/BARRIER ASSEMBLIES (INCLUDING PROPER LABELS) SHALL BE REPLACED. THE CONTRACTOR SHALL DESIGNATE AN ALLOWANCE FOR THIS WORK.
107. THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES AND ALL STRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION. SEE ARCHITECTURAL AND / OR STRUCTURAL DETAILS AS PROVIDED IN THIS DRAWING SET.
108. DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY ALL AUTHORITIES HAVING JURISDICTION (AHJ).
109. THE CONTRACTOR SHALL NOT CUT EXISTING OR NEW STRUCTURAL WORK IN ANY MANNER THAT MAY RESULT IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD / DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED IN ADVANCE FROM THE ARCHITECT AND / OR STRUCTURAL ENGINEER.
110. WHERE EXISTING CONSTRUCTION IS FOUND TO CONTAIN ANY HAZARDOUS MATERIAL, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT IN WRITING. NOTE: REMOVAL, DISPOSAL AND REPLACEMENT OF THE HAZARDOUS MATERIAL IS THE SOLE RESPONSIBILITY OF THE OWNER AND SHALL BE IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL REGULATIONS.
111. THE CONTRACTOR SHALL REPLACE ANY EXISTING-TO-REMAIN MATERIALS AND FINISHES (CEILING GRID, CEILING TILE, GYPSUM BOARD, FINISHES, DOORS, FRAMES, WALL PROTECTION ETC. WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION.
112. REMOVE ALL EXISTING CONDUIT, WIRING AND DEVICES RENDERED USELESS DUE TO CHANGES IN THE EXISTING AREA
113. REWIRE EXISTING DEVICES NOT BEING REMOVED THAT ARE PART OF THE BRANCH CIRCUIT DEVICES BEING REMOVED AND EXTEND NEW WIRING AS NEEDED TO CONNECT TO PREVIOUS.
114. PATCH ALL CUTS, OPENINGS AND DAMAGED AREAS THAT OCCUR DURING DEMOLITION. ALL PATCHING SHALL CONFORM TO THE ADJOINING WORK, MATCHING THE FINISH AND QUALITY OF WORKMANSHIP OF THE ADJACENT MATERIALS.
115. CONTRACTOR SHALL MINIMIZE CONSTRUCTION AND DUST WHEREVER POSSIBLE.
116. CONTRACTOR SHALL COORDINATE ANY SYSTEMS SHUT OFF FOR MECHANICAL, ELECTRICAL, PLUMBING OR FIRE PROTECTION AT ANY TIME DURING CONSTRUCTION.

# LEGEND

-  NOT IN CONTRACT
-  EXISTING WALL / PARTITION / BARRIER TO REMAIN
-  EXISTING WALL / PARTITION / BARRIER TO BE DEMOLISHED



1 DEMOLITION FLOOR PLAN  
A1.0 3/16" = 1'-0"



WESTGATE KEY PLAN

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No.	Date	Description

SEAL:

CYNTHIA C. SPRAY, AIA AR-94167

DRAWING TITLE:  
**DEMOLITION FLOOR PLAN**

DRAWING NO:  
**A1.0**

# GENERAL NOTES FOR NEW WORK FLOOR PLANS

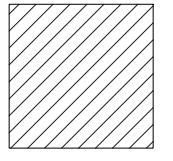


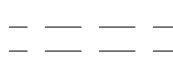

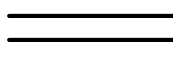
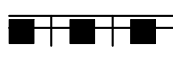

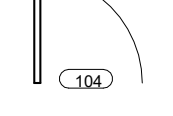

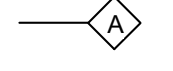
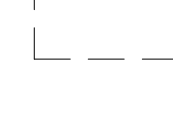


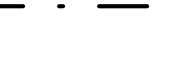

- 300. EXISTING TO REMAIN WALLS/PARTITIONS/BARRIERS/DOORS/WINDOWS/PLUMBING FIXTURES/CASEWORK/CABINETS/EQUIPMENT ARE "SCREENED BACK" ON THE NEW CONSTRUCTION FLOOR PLANS. NEW CONSTRUCTION IS INDICATED BY SOLID BLACK LINES. REFER TO DEMOLITION PLANS FOR THE EXTENT TO BE REMOVED.
- 301. SEE DIMENSIONS, NOTES, ENLARGED PLANS, INTERIOR ELEVATIONS, DETAILS ETC. FOR DIMENSIONS AND KEY NOTES WHICH APPLY TO THE NEW CONSTRUCTION FLOOR PLANS.
- 302. ITEMS DENOTED ON THE NEW CONSTRUCTION FLOOR PLAN WITH A DASHED LINE PERTAIN TO EITHER FURNITURE WHICH IS NOT IN CONTRACT OR OWNER SUPPLIED ITEMS WHICH ARE NOT IN CONTRACT OR ITEMS WHICH ARE TO BE PROVIDED BY SUB-CONTRACTOR AND NOT DESIGNED BY THE ARCHITECT AND ARE NOT DETAILED IN THESE DOCUMENTS. SHOP DRAWINGS WILL BE REQUIRED FOR THOSE ITEMS IF THEY ARE CASEWORK. THOSE SHOP DRAWINGS WILL NEED TO BE REVIEWED BY THE ARCHITECT FOR COMPLIANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- 303. REFER TO ARCHITECTURAL DETAILS, SCHEDULES, NOTES AND LEGENDS AS FOLLOWS:  
 A. DOOR, FRAME AND HARDWARE SCHEDULE, NOTES AND ABBREVIATIONS  
 B. FINISH SCHEDULES (UNLESS OTHERWISE NOTED ON THE FLOOR PLAN BY WAY OF KEY NOTES)  
 C. CASEWORK AND CABINETS
- 304. SEE REFLECTED CEILING PLANS FOR LOCATIONS OF ANY COUNTERS OR DROP-DOWNS. ALSO SEE CONSTRUCTION DETAILS AND NOTES IN THESE DOCUMENTS FOR CONSTRUCTION OF THOSE ITEMS IF ANY.
- 305. REGARDING ACCESS PANELS:  
 A. CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF THE TYPE SPECIFIED ARE INSTALLED IN WALLS AND "NON-ACCESSIBLE TYPE" CEILING AND SOFFITS WHERE ACCESS, SERVICES OR ADJUSTMENT TO MECHANICAL, PLUMBING, FIRE, SECURITY OR ELECTRICAL AND COMMUNICATION ITEMS MAY BE REQUIRED.  
 B. ACCESS PANELS SHALL BE THE "FIRE RATED TYPE" EQUAL TO THE FIRE RATING OF THE WALL / BARRIER / PARTITION / SOFFIT OR CEILING IN WHICH THEY OCCUR.  
 C. WALL MOUNTED ACCESS PANELS LOCATED IN RATED FIRE WALLS, RATED FIRE BARRIERS, SMOKE BARRIERS AND / OR NON RATED PARTITIONS SHALL BE KEY-LOCKED UNLESS OTHERWISE NOTED.  
 D. WALL MOUNTED ACCESS PANELS SHALL BE KEY-LOCKED IN SPACES WHICH ARE ACCESSIBLE TO THE PUBLIC, CUSTOMERS, PATIENTS AND GENERAL STAFF.
- 306. SEE SPECIFICATION SECTION 09 11 00 "INTERIOR METAL WALL FRAMING AND GYPSUM WALL BOARD" FOR REQUIRED LOCATIONS OF 5/8" TYPE 'X' DENARMOR PLUS FIREGUARD INTERIOR GUARD. (NOTE: THE USE OF WATER RESISTANT GYPSUM BOARD (GREEN BOARD) IS NOT ACCEPTABLE IN WET LOCATIONS. INSTEAD USE 5/8" TYPE 'X' DENARMOR PLUS FIREGUARD INTERIOR GUARD.)
- 307. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE OWNER'S EQUIPMENT VENDORS TO INSURE THAT THERE WILL BE NO OWNER FURNISHED ITEMS WITH A SURFACE AREA GREATER THAN 16 SQUARE INCHES RECESSED INTO A RATED FIRE BARRIER OR SMOKE BARRIER. SEE CONSTRUCTION DETAILS FOR "RECESSED METAL WALL CABINET" ON HOW TO PROVIDE FOR RECESSED ITEMS IN A RATED FIRE AND / OR SMOKE BARRIER; IF APPLICABLE TO THIS PROJECT. ITEMS RECESSED IN NON-RATED SMOKE PARTITIONS OR ANY OTHER FULL HEIGHT PARTITIONS SHALL BE "AIR TIGHT" AT ALL PENETRATIONS.
- 308. IF THIS IS A HEALTHCARE PROJECT THEN ALL RATED SMOKE BARRIERS, RATED HORIZONTAL EXITS AND RATED EXIT PASSAGEWAYS, BARRIERS SHALL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF INTERVENING WALLS AS REQUIRED BY FLORIDA AHCA.
- 309. WHERE DEMOLITION OF CERTAIN ITEMS RESULTS IN UNPROTECTED OPENINGS OR PENETRATIONS IN EXISTING TO REMAIN WALLS / BARRIERS/PARTITIONS, FLOORS, CEILINGS, ROOFS ETC. THEN REPAIR SUCH OPENINGS AND PENETRATIONS AS REQUIRED TO MEET ORIGINAL FIRE PROTECTION, SOUND AND STRUCTURAL REQUIREMENTS.
- 310. DIMENSIONS SHOWN ON THE FLOOR PLANS FOR RENOVATION WORK ARE AS FOLLOWS:  
 A. OUTSIDE FACE OF EXISTING WALLS TO CENTERLINE OF NEW STUD FOR NEW WALL.
- 311. DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION WORK ARE AS FOLLOWS:  
 A. TO CENTERLINE OF COLUMNS  
 B. TO CENTERLINE OF INTERIOR METAL/WOOD STUDS  
 C. TO OUTSIDE FACE OF CONCRETE / CMU / MASONRY WALLS / PARTITIONS/ BARRIERS  
 EXTREMELY CRITICAL MINIMUM DIMENSIONS ARE INDICATED AS "MINIMUM" OR "MINIMUM CLEAR" FOR BOTH RENOVATION AND NEW CONSTRUCTION PROJECTS.
- 312. SEE NEW CONSTRUCTION FLOOR PLANS FOR DESIGNATIONS OF:  
 TYPES OF WALL / BARRIER / PARTITIONS / BARRIER DESIGNATIONS  
 DOOR DESIGNATIONS  
 WINDOW DESIGNATIONS  
 LOCATIONS OF ANY LEAD-LINED WALLS IF APPLICABLE  
 ADDITIONAL DETAIL, SECTIONS, AND ELEVATION MARKERS AND ADDITIONAL NOTES WHICH APPLY TO THESE FLOOR PLANS

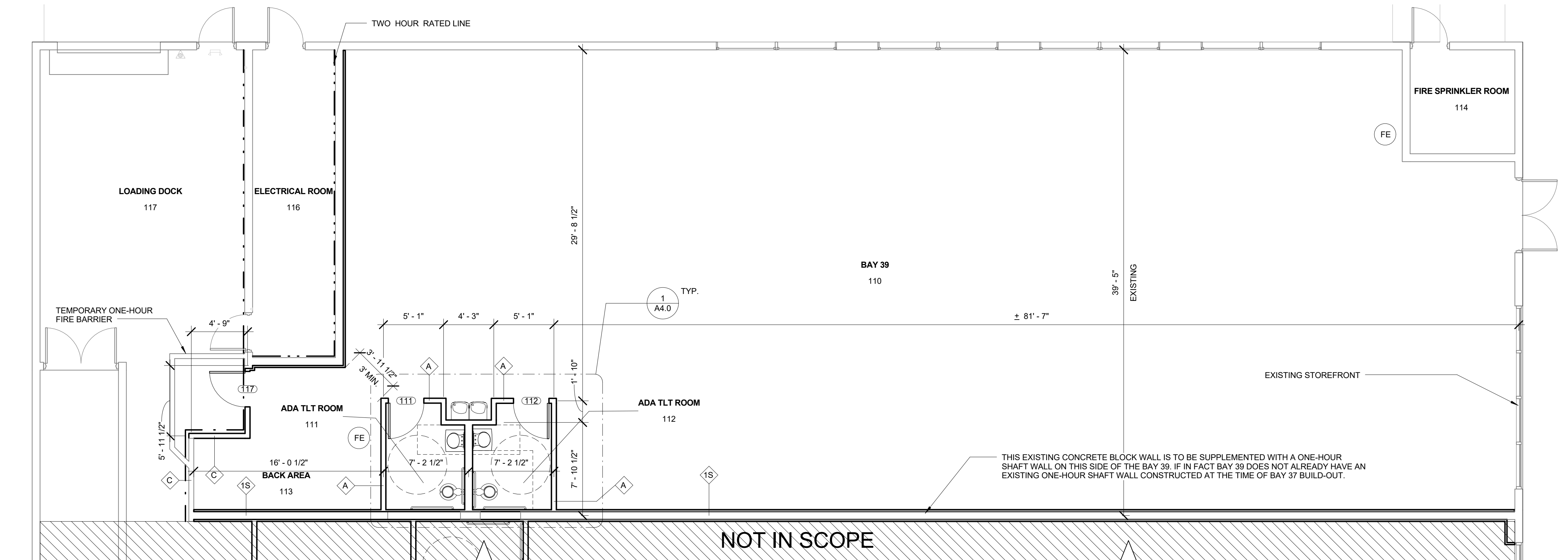
- 313. FOR ADDITIONAL DIMENSIONING, COMPLY WITH THE REQUIREMENTS OF THE ENLARGED PLANS, WALL SECTIONS, EXTERIOR ELEVATIONS, INTERIOR ELEVATIONS, PLAN DETAILS AND SECTION DETAILS.
- 314. CONTRACTOR SHALL NOT SCALE THE DRAWINGS. IF DIMENSIONS ARE IN QUESTION THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUING WITH CONSTRUCTION.
- 315. THE CONTRACTOR SHALL TAKE INTO ACCOUNT THE THICKNESS OF THE SCHEDULED FINISH MATERIALS SUCH AS CERAMIC / STONE / PORCELAIN / GRANITE / QUARTZ / SOLID SURFACE MATERIAL PRIOR TO LAYING OUT METAL STUDS OR CMU WALLS / PARTITIONS / BARRIERS SINCE THE TOTAL "OUT TO OUT" WALL THICKNESS MUST BE CONSIDERED SO THAT THE REQUIRED "MINIMUM FACE TO FINISH" AND "MINIMUM CLEAR FACE TO FINISH" DIMENSIONS CAN BE MAINTAINED AFTER THE INSTALLATION OF THE FINISH MATERIALS.
- 316. INTERIOR METAL STUDS WALLS / PARTITIONS / BARRIERS SHALL BE CONSTRUCTED OF 3 5/8" MINIMUM METAL STUDS OR UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL ALSO COMPLY WITH U.L. DESIGN NUMBER U444 OR U458 AT RATED PLUMBING WALLS / BARRIERS.
- 317. THE CONTRACTOR SHALL VERIFY THAT FLOOR MOUNTED CARRIERS (USED TO SUPPORT WALL MOUNTED SINKS / LAVATORIES AND UNSUPPORTED COUNTER TOPS SINKS / LAVATORIES ARE THE TYPE THAT WILL FIT IN THE 3 5/8" METAL STUD WALLS. NOTIFY THE ARCHITECT IF THERE IS A CONFLICT.
- 318. WHERE NEW GYPSUM WALLS ARE A CONTINUATION OF AN EXISTING WALL / PARTITION / BARRIER OR COLUMN ENCASUREMENT, THE FACE OF THE NEW GYPSUM WALL SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A ONE-HOUR RATED BARRIER OR A NON-RATED PARTITION IS SHOWN AS A CONTINUATION OF A TWO HOUR RATED BARRIER OR COLUMN ENCASUREMENT, THE OUTSIDE FACE OF THE GYPSUM BOARD SHALL BE ALIGNED, STUDS SHALL BE OFFSET AND / OR ADDITIONAL LAYERS OF GYPSUM SHALL BE PROVIDED (AS REQUIRED TO PROVIDE FACE ALIGNMENT OF THE GYPSUM BOARD) WHILE MAINTAINING THE REQUIRED FIRE RATED INTEGRITY.
- 319. CABINET / CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO FABRICATION AND INSTALLATION.
- 320. ACCESSIBLE WALL MOUNTED SINKS SHALL BE MOUNTED TO ALLOW 1'-3" MINIMUM FACE BETWEEN THE CENTERLINE OF THE SINK / LAVATORY AND THE "FINISH FACE" OF THE ADJACENT WALL, TOILET COMPARTMENT, FIXED EQUIPMENT AND OR CASEWORK.
- 321. IN HEALTHCARE WORK, PATIENT CORRIDORS SHALL BE 8'-0" MINIMUM CLEAR WIDTH TO FINISH FACE OF WALL / BARRIER / PARTITION.
- 322. IN MERCANTILE AND OFFICE WORK, EGRESS CORRIDORS SHALL BE 42" MINIMUM CLEAR WIDTH TO FINISH FACE OF WALL / BARRIER / PARTITION.
- 323. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA PLUMBING CODE 2010 AND ALL CODES ADOPTED BY IT.
- 324. PLUMBING CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE THAT ALL PLUMBING WORK IS FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP, AND FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE, REPAIR AND REPLACE ALL WORK WHICH BECOMES DEFECTIVE AT NO EXPENSE TO THE OWNER.

## FINISH NOTES

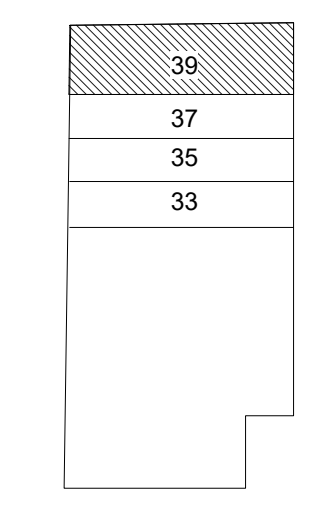
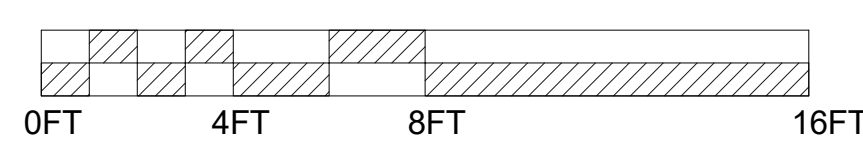
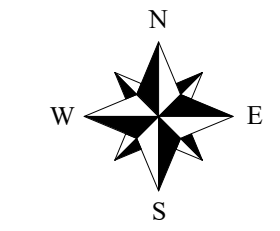
- 1. PRIMER PAINT ALL WALLS FOR LIGHT COLOR FINISH
- 2. BAYS 33, 35, 37, 39 RAW CONCRETE FLOOR, BROOM CLEAN.
- 3. NEW ARMSTRONG DUNES CEILING TILE 2 X 2 WITH 15/16 WHITE PRELUDE TEGULAR GRID

## LEGEND

-  NOT IN CONTRACT
-  EXISTING WALL TO REMAIN NOT IN SCOPE OF WORK. NOT IN CONTRACT.
-  EXISTING DOOR TO REMAIN. NOT IN SCOPE OF WORK. NOT IN CONTRACT. EXCEPT WHERE OTHERWISE NOTED.
-  WALL TO BE DEMOLISHED
-  DOOR AND FRAME TO BE DEMOLISHED
-  NEW WALL
-  NEW ONE HOUR FIRE BARRIER
-  NEW TWO HOUR FIRE BARRIER
-  NEW DOOR AND FRAME. SEE FLOOR SCHEDULE.
-  INTERIOR ELEVATION MARKER
-  WALL CONSTRUCTION TYPE
-  TENANT / OWNER FURNISHED EQUIPMENT / FURNITURE OR ADA ACCESSIBLE CLEAR FLOOR SPACE (IF INDICATED)
-  DASHED LINE INDICATION SOFFIT / HEADER ABOVE HEAD ITEM
-  WALL MOUNTED FIRE EXTINGUISHER
-  ONE HOUR TENANT SEPARATION
-  TWO HOUR TENANT SEPARATION



1 NEW WORK FLOOR PLAN  
 A2.0 3/16" = 1'-0"



WESTGATE KEY PLAN

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 AA26001852

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 AMERICAN UNITED ENGINEERS  
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**PROJECT:**  
 BAY 39  
 WESTGATE SHOPPING CENTER  
 100 N STATE ROAD 7  
 PLANTATION, FL 33317  
 INTERIOR IMPROVEMENTS

### FINAL CONTRACT DOCUMENTS

PROJECT NUMBER: 1600-4  
 DATE: JUNE 6, 2016

ADDENDA/REVISION		
No.	Date	Description

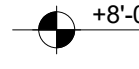
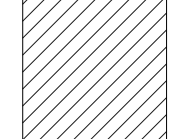

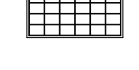



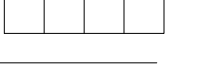

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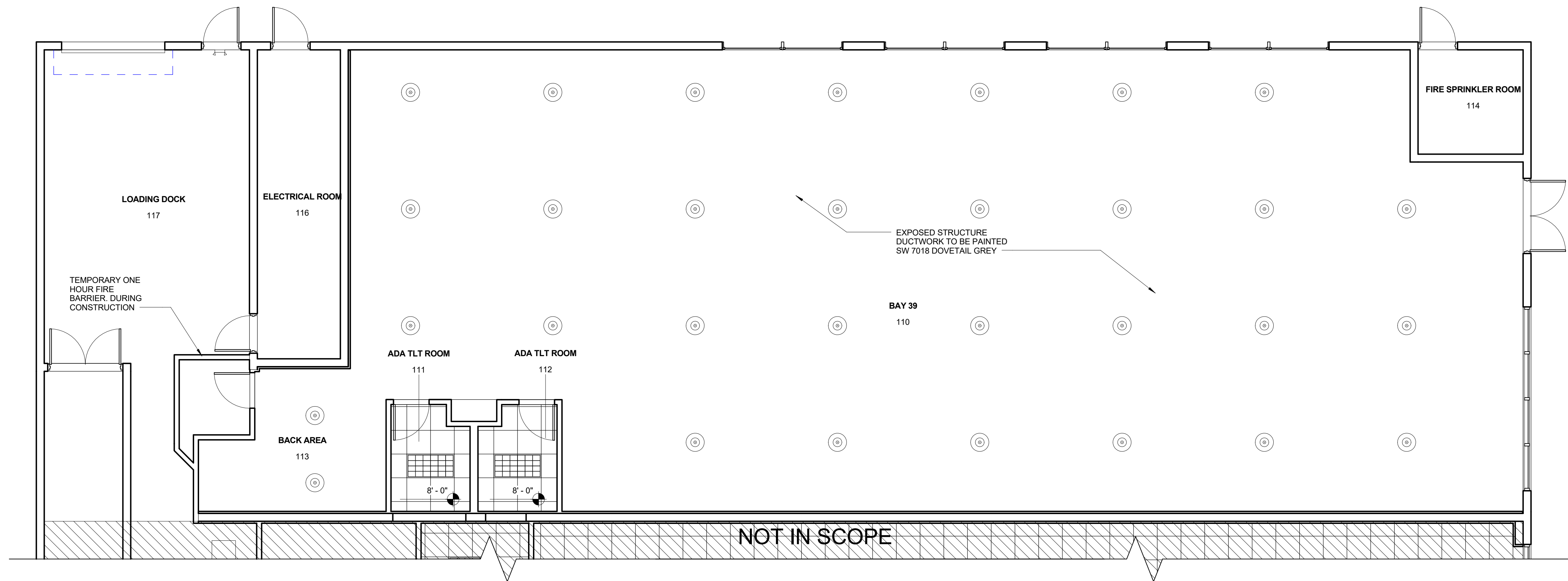
CYNTHIA C. SPRAY, AIA AR-94167  
 DRAWING TITLE:  
**NEW WORK FLOOR PLAN**  
 DRAWING NO:  
**A2.0**

# GENERAL NOTES FOR REFLECTED CEILING PLAN

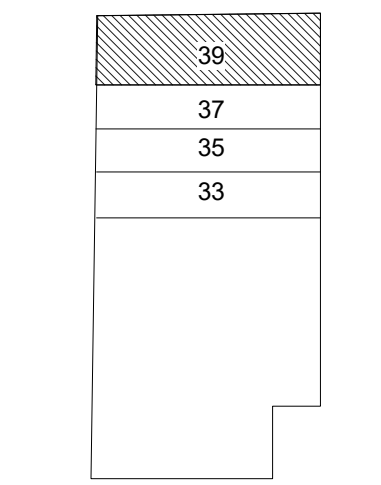
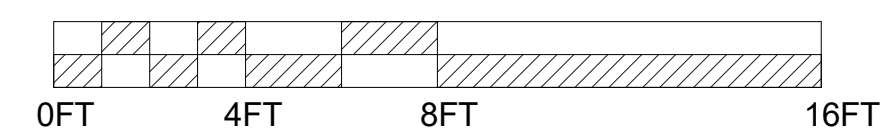
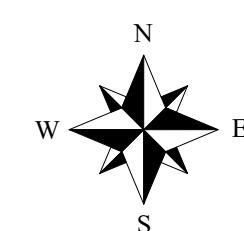
- 400. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE REFLECTED CEILING PLANS WITH:  
ELECTRICAL LIGHTING  
SYSTEMS AND COMMUNICATIONS DRAWINGS / AUDIO VISUAL DRAWINGS  
MECHANICAL SUPPLIES AND RETURNS  
EXHAUST DRAWINGS  
FIRE PROTECTION DRAWINGS  
CONTRACTOR TO IMMEDIATELY NOTIFY THE ARCHITECT OF ANY ERROR, INCONSISTENCY OR OMISSION.
- 401. SEE ELECTRICAL, COMMUNICATION, SECURITY AND FIRE PROTECTION DRAWINGS FOR LOCATIONS OF CEILING OR WALL MOUNTED SMOKE DETECTORS, COMMUNICATIONS DEVICES, SECURITY ALARMS, FIRE ALARM DEVICES, ETC. SOME OF THESE ITEMS ARE SHOWN ON THE ARCHITECTURAL PLANS AS WELL.
- 402. SPRINKLER HEADS (WHERE APPLICABLE):  
A. SPRINKLER HEAD LOCATIONS ARE NOT INDICATED ON THE ARCHITECTURAL REFLECTED CEILING PLANS.  
B. THE CONTRACTOR SHALL INSTALL SUFFICIENT HEADS IN ALL SPACES TO PROVIDE COMPLETE (100%) AUTOMATIC SPRINKLER COVERAGE AS DEFINED BY NFPA STANDARD 13, SPECIFICATION DIVISION 21 - FIRE SUPPRESSION AND AS SHOWN ON THE FIRE PROTECTION DRAWINGS (IF THEY ARE PROVIDED IN THIS DRAWING PACKAGE).  
C. NEITHER SPRINKLER HEADS NOR CONCEALED SPRINKLER HEAD COVERS ARE ALLOWED TO BE PAINTED. THE CONTRACTOR SHALL VERIFY THAT ANY SPRINKLER HEADS WHICH ARE ACCIDENTALLY PAINTED ARE REMOVED FROM THE SITE AND REPLACED WITH NEW SPRINKLER HEADS.
- 403. ACCESS PANELS (WHERE APPLICABLE):  
A. THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS (OF APPROPRIATE SIZE AND TYPE) ARE INSTALLED IN GYPSUM BOARD, CEMENT PLASTER, METAL AND OTHER NON-ACCESSIBLE TYPE CEILING AND SOFFITS WHERE ACCESS, SERVICE OR ADJUSTMENT TO ITEMS (INCLUDING MECHANICAL, PLUMBING, ELECTRICAL, COMMUNICATIONS, SECURITY ETC.) ABOVE THE CEILINGS MAY BE REQUIRED.  
B. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL SUB-CONTRACTORS AND WITH THE OWNER'S OR TENANT'S VENDORS TO ENSURE THAT THE MINIMUM NUMBER OF ACCESS PANELS ARE PROVIDED (BY THE SHARING OF ACCESS PANELS WHEREVER POSSIBLE).  
C. LOCATIONS OF ALL ACCESS PANELS MUST BE APPROVED IN ADVANCE BY THE ARCHITECT TO ENSURE THAT THE "AESTHETIC DESIGN INTEGRITY" OF CEILINGS AND SOFFITS IS MAINTAINED.  
D. PRIOR TO INSTALLATION OF ANY ACCESS PANELS, THE GENERAL CONTRACTOR SHALL SUBMIT COORDINATION DRAWINGS (SHOWING THE PROPOSED LOCATION AND SIZE OF EACH ACCESS PANEL) TO THE ARCHITECT FOR APPROVAL.  
E. ACCESS PANELS SHALL BE THE FIRE RATED TYPE EQUAL TO THE RATING OF THE CEILING OR SOFFIT IN WHICH THEY OCCUR.
- 404. THE CONTRACTOR SHALL ADVISE THE OWNER AND TENANTS THAT AN 18 INCH MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE EXTENDED (DROP-DOWN) SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, EQUIPMENT, LOCKERS ETC. (WHETHER CONTRACTOR OR TENANT/OWNER FURNISHED). THE CONTRACTOR SHALL ALSO ADVISE THE OWNER / TENANTS THAT ITEMS SHALL NOT BE PLACED ABOVE SAID SHELVING SO THAT THE MINIMUM CODE REQUIREMENT IS NOT MET.
- 405. WHERE EXISTING LAY-IN CEILINGS ARE REMOVED AND RE-INSTALLED, THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EITHER THE CEILING TILES OR THE GRID. ANY DAMAGED TILES OR GRID SHALL BE REPLACED WITH NEW MATERIAL. THESE MATERIALS SHALL MATCH THE EXISTING IN A UNIFORM MANNER FOR COLOR, TEXTURE, PATTERN ETC. IF UNIFORMITY CANNOT BE ACHIEVED THEN THE CONTRACTOR SHALL REPLACE ALL THE MATERIAL IN THE SPACE, AS APPROVED BY BOTH THE TENANT OR OWNER AND THE ARCHITECT.
- 406. ANY ITEMS SUSPENDED FROM THE CEILING OR INSTALLED ON AN INTERIOR WALL IN ANY COMMERCIAL PROJECT MUST NOT HANG LOWER THAN 84" ABOVE THE FINISHED FLOOR.

## LEGEND

-  +8'-0" CEILING HEIGHT DESIGNATION
-  NOT IN CONTRACT
-  FLYING SAUCER 18" DIAMETER 170W, 15300-16800 LUMENS
-  2 X 4 PARABOLIC 3 LAMPS 32T8. ALSO SEE ELECTRICAL DRAWINGS
-  2 X 4 LAY-IN LIGHT FIXTURE. ALSO SEE ELECTRICAL DRAWINGS
-  2 X 2 LAY-IN LIGHT FIXTURE. ALSO SEE ELECTRICAL DRAWINGS
-  1 X 4 LAY-IN LIGHT FIXTURE. ALSO SEE ELECTRICAL DRAWINGS
-  GRID INDICATES ACOUSTICAL CEILING (SHOWN 2 X 2 TILE SIZE), WHERE APPLICABLE.
-  SCREENED BACK LINES INDICATE FLOOR PLAN BELOW (FOR REFERENCE ONLY.)



1 REFLECTED CEILING PLAN  
A3.0 3/16" = 1'-0"



WESTGATE KEY PLAN

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4508 SW 24TH STREET  
FORT LAUDERDALE, FL 33317  
PHONE: (954) 471-8657

**PROJECT:**  
BAY 39  
WESTGATE SHOPPING CENTER  
100 N STATE ROAD 7  
PLANTATION, FL 33317  
**INTERIOR IMPROVEMENTS**

**FINAL CONTRACT DOCUMENTS**

PROJECT NUMBER: 1600-4  
DATE: JUNE 6, 2016

ADDENDA/REVISION		
No.	Date	Description

**SEAL:**

CYNTHIA C. SPRAY, AIA AR-94167

**DRAWING TITLE:**  
REFLECTED CEILING  
PLAN

**DRAWING NO:**  
A3.0





# HARDWARE SCHEDULE

**SET NUMBER 1:**

Doors: 100, 105, 107

3	Hinges	FBB179 4 1/2 X 4 1/2	US26D	ST
1	Lockset	QCL161 E 478S LC	626	SH
1	Cormax Core	1CM-7MJ12	626	BE
1	Door Closer	CLD-3551 STD W/PA BRKT	689	SD
1	Kick Plate	KO050 10" x 2" LDW B4E CSK	630	TR
1	Wall Bumper	1270WV	630	TR
3	Door Silencers	1228A		TR

**SET NUMBER 2:**

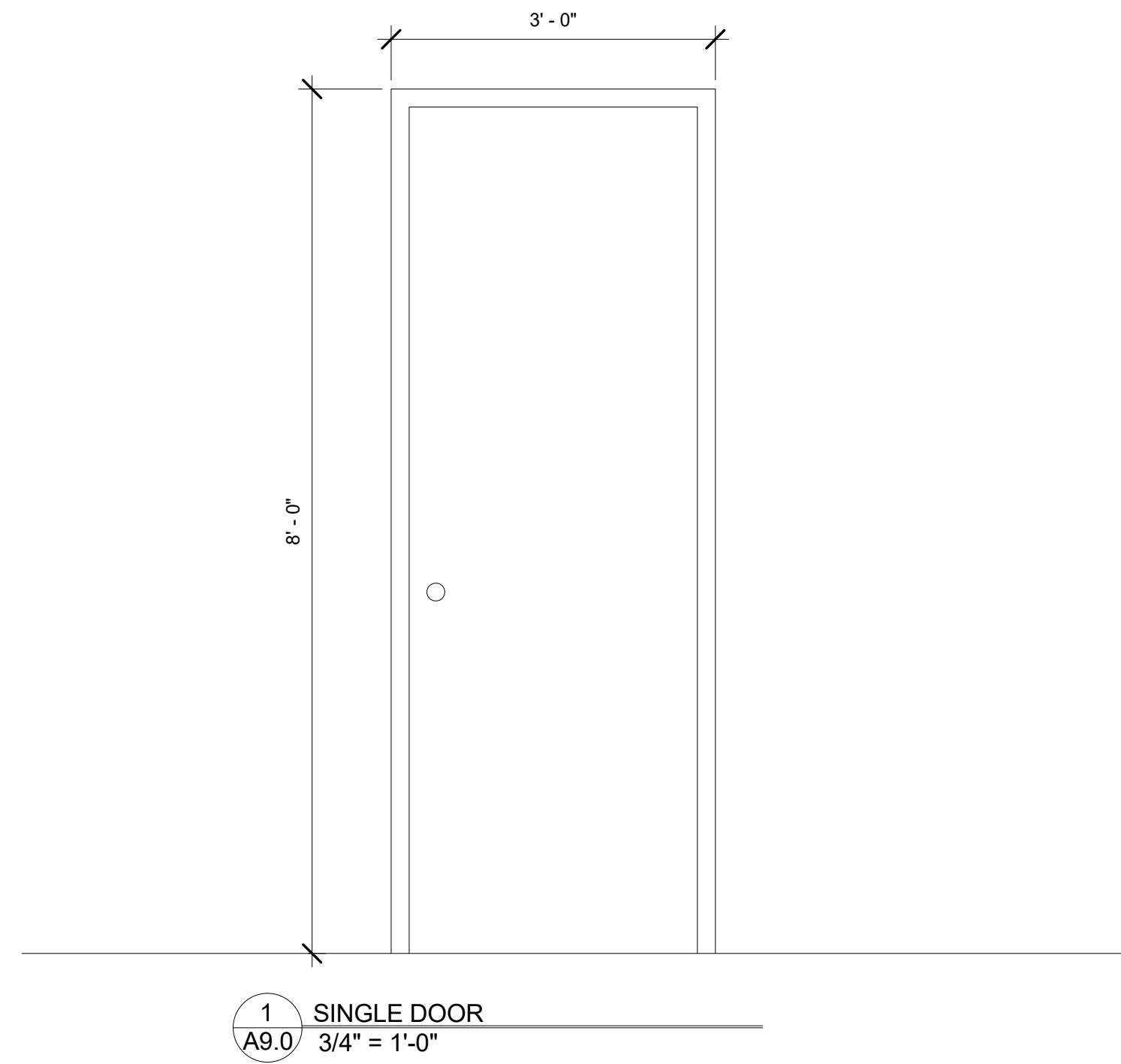
Doors: 101, 104, 108, 111, 112

3	Hinges	FBB179 4 1/2 X 4 1/2	US26D	ST
1	Privacy Set	QCL140 E 478S	626	SH
1	Door Closer	CLD-3551 STD W/PA BRKT	689	SD
1	Kick Plate	KO050 10" x 2" LDW B4E CSK	630	TR
1	Wall Bumper	1270WV	630	TR
1	Threshold	As Detailed		BY
3	Door Silencers	1229A		TR

**SET NUMBER 3:**

Doors: 102, 106, 109, 117

3	Hinges	FBB179 4 1/2 X 4 1/2 NRP	US26D	ST
1	Lockset	QCL151 E 478S LC	626	SH
1	Cormax Core	1CM-7MJ12	626	BE
1	Door Closer	CLD-3550 EDA	689	SD
1	Wall Bumper	1270WV	630	TR
1	Gasketing	5050 B @ Head and Jambs		NA
1	Threshold	As Detailed		BY



DOOR, FRAME AND HARDWARE SCHEDULE																
REVISION NUMBER	SPACE NO./ DOOR DESIGNATION	From Room: Name	DOOR				DESCRIPTION			FRAME			HARDWARE		REMARKS	
			SIZE		MATERIAL	DOOR TYPE	DOOR GLASS	FRAME TYPE	FRAME GLASS	DETAILS	FIRE RATING LABEL	SET NUMBER	KEY SIDE SPACE			
			WIDTH	HEIGHT										THICKNESS		
	111	ADA TLT ROOM	3' - 0"	8' - 0"	0' - 1 3/4"	METAL	SINGLE			METAL				3		
	112	ADA TLT ROOM	3' - 0"	8' - 0"	0' - 1 3/4"	METAL	SINGLE			METAL				3		
	117	BACK AREA	3' - 0"	8' - 0"	0' - 1 3/4"	METAL	SINGLE			METAL			20 MIN.	2	CORR 103	

## DOOR, FRAME AND HARDWARE NOTES AND ABBREVIATIONS

- |  |   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
|--|---|--|-------|-------------------------------------|------|------------------------------------|------|------------------------------------|------|------------------------------------|--------|--|---|------|------------|------|---|-------------|--|-----|----------------------|------|-----------------------------|---------|--------------------|---------|--------------------|----|----------------|-------|-----------------------------|--------|--------------------------|---------------|--|----|--------------|----|---------------|-----|------------------|------------|-----------------|----|-----------------|-------|--------------------------------|-----|-----------|------|-------------------|------|---------|---------------|--|-----|----------------------|----|-------------|-------|------------------------|
| <p>900. STUDY AND COMPARE THE DRAWINGS, LEGENDS, NOTES AND REPORT ANY ERRORS, OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.</p> <p>901. DOORS IN RATED FIRE BARRIERS, RATED SMOKE BARRIERS, NON-RATED SMOKE PARTITIONS AND SOUND PARTITIONS MAY BE UNDERCUT ONLY A MAXIMUM OF 3/4" ABOVE THE CONCRETE SLAB. THIS APPLIES FOR THE FULL WIDTH OF THE DOOR IN THE CLOSED POSITION. (NOTE: DOORS IN THESE BARRIERS AND PARTITIONS WITH AN UNDERCUT GREATER THAN 3/4" SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.)</p> <p>902. SEAL ALL FRAMES CONTINUOUSLY TO WALL WHERE THERE IS A GAP OF 1/8" OR LESS BETWEEN THE DOOR FRAME AND THE ADJACENT FINISHED WALL/FLOOR BASE AND FLOOR MATERIAL. INSTALL A 'PENCIL LINE' OF SEALANT BETWEEN THE FRAMER AND THE FINISH BASE OR FLOOR MATERIAL. HOWEVER, IF THIS HORIZONTAL GAP IS GREATER THAN 1/8" THE FINISH BASE AND OR FLOOR MATERIAL SHALL BE REMOVED AND REINSTALLED TO ELIMINATE THE GAP.</p> <p>903. IF THERE IS A VERTICAL GAP OF 1/8" OR GREATER BETWEEN THE BOTTOM OF THE DOOR FRAME AND THE CONCRETE SLAB THEN THIS GAP SHALL BE REPAIRED WITH 'BONDO' OR GROUTED SOLID TO PROVIDE THE TESTED FIRESTOP ASSEMBLY. THE REPAIR SHALL COMPLY WITH THE REQUIREMENTS NFPA 80.</p> <p>904. DOORS SCHEDULED TO HAVE A FIRE RATING SHALL HAVE A PERMANENT LABEL AFFIXED TO THE DOOR AND FRAME. THE LABEL SHALL NOT BE PAINTED. NOTE THAT A VINYL LABEL IS NOT ACCEPTABLE AND A LABEL THAT IS EMBOSSED TO THE FRAME IS NOT ACCEPTABLE.</p> <p>905. ALL DOORS THAT PENETRATE RATED ENCLOSURES SURROUNDING STAIRS, STAIR VESTIBULES AND EXIT PASSAGEWAYS SHALL HAVE A TEMPERATURE RISE RATING (TRR) METAL LABEL PERMANENTLY AFFIXED TO THE DOOR.</p> <p>906. ALL THRESHOLDS SHALL CONFORM TO THE MOST STRINGENT OF THE ADA LAW OR OTHER ACCESSIBILITY CODES WHICH ARE ENFORCEABLE IN THE JURISDICTION.</p> <p>907. VERIFY THAT DOOR CLOSERS AND OTHER HARDWARE WILL ALLOW 180 DEGREES WHEN A 180 DEGREE DOOR SWING IS EITHER SHOWN ON THE FLOOR PLAN OR INDICATED IN THE DOOR SCHEDULE.</p> <p>908. PROVIDE TESTED FIRE RATED GLASS ASSEMBLY INDOOR LITES OF INTERIOR RATED DOORS. PROVIDE LEAD SAFETY GLASS IN LEAD LINED DOORS. PROVIDE BOTH LEAD SAFETY GLASS AND FIRE RATED GLASS ASSEMBLY IN DOORS WHICH ARE BOTH LEAD LINED AND FIRE RATED.</p> <p>909. VERIFY REQUIRED THROAT WIDTH FOR EACH DOOR BASED ON SIZE OF STUD, THICKNESS, NUMBER OF LAYERS OF GYPSUM, GYPSUM SHEATHING ETC. CMU SIZE, CONCRETE WALL THICKNESS ETC. AFTER TOTALING THE WIDTH OF THE COMPONENTS TO BE INSERTED INTO THE THROAT OF EACH FRAME, ADD AN ADDITIONAL 1/4 INCH TO THE CLEAR THROAT WIDTH DIMENSIONS TO ALLOW FOR CONSTRUCTION TOLERANCES. COMPLY WITH NOTES 909 AND 910.</p> | <p>910. VERIFY THAT THE THROAT WIDTH OF EACH FIRE RATED DOOR FRAME WRAPS ONLY AROUND THE RATED PORTION OF THE WALL/BARRIER. NOTE: NON RATED PORTIONS OF FURRED-OUT PARTITIONS: FURRING STRIPS, WOOD TRIM, WALL PROTECTION ETC. SHALL NOT BE INSERTED INTO THE THROAT OF A RATED DOOR FRAME.</p> <p>911. VERIFY THAT ALL THE REQUIRED COMPONENTS OF THE RATED WALL/BARRIER ARE INSERTED A MINIMUM OF 1/2" INTO THROAT OF RATED DOOR FRAME TO COMPLY WITH NFPA 80 AND THE LATEST EDITION OF GYPSUM ASSOCIATION GA-600 FIRE RESISTANCE MANUAL.</p> <p>912. VERIFY THAT ALL RATED DOORS AND FRAMES ARE FIRESTOPPED TO MAINTAIN THE INTEGRITY OF THE RATED ASSEMBLY. AFTER DOOR HARDWARE AND SECURITY ITEMS ARE INSTALLED.</p> <p>913. INSTALLATION OF ALL HARDWARE, DOORS AND FRAMES SHALL CONFORM TO NFPA 80 AND WITH OTHER CODES ENFORCED BY THE AUTHORITY HAVING JURISDICTION.</p> <p>914. CONTRACTOR TO VERIFY ALL EXISTING OPENINGS FOR REPLACEMENT DOORS PRIOR TO SUBMITTING SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND/OR PLACING ORDER.</p> | <p><b>FIRE RATING DESIGNATIONS:</b></p> <table border="0"> <tr> <td>A-180</td> <td>= 'A' LABEL = 180 MINUTE FIRE RATED</td> </tr> <tr> <td>B-90</td> <td>= 'B' LABEL = 90 MINUTE FIRE RATED</td> </tr> <tr> <td>C-60</td> <td>= 'C' LABEL = 60 MINUTE FIRE RATED</td> </tr> <tr> <td>C-45</td> <td>= 'C' LABEL = 45 MINUTE FIRE RATED</td> </tr> <tr> <td>10 MIN</td> <td>= 20 MINUTE LABEL = 20 MINUTE FIRE RATED</td> </tr> </table> | A-180 | = 'A' LABEL = 180 MINUTE FIRE RATED | B-90 | = 'B' LABEL = 90 MINUTE FIRE RATED | C-60 | = 'C' LABEL = 60 MINUTE FIRE RATED | C-45 | = 'C' LABEL = 45 MINUTE FIRE RATED | 10 MIN | = 20 MINUTE LABEL = 20 MINUTE FIRE RATED | <table border="0"> <tr> <td>ALUM</td> <td>= ALUMINUM</td> </tr> <tr> <td>AUTO</td> <td>= AUTOMATIC DOOR (INTEGRAL HOLD OPEN NOT ALLOWED)</td> </tr> <tr> <td>AUTO IW/ HO</td> <td>= AUTOMATIC DOOR WITH INTEGRAL HOLD OPEN</td> </tr> <tr> <td>ETR</td> <td>= EXISTING TO REMAIN</td> </tr> <tr> <td>EMHO</td> <td>= ELECTROMAGNETIC HOLD OPEN</td> </tr> <tr> <td>FIRE GL</td> <td>= FIRE RATED GLASS</td> </tr> <tr> <td>GALV ST</td> <td>= GALVANIZED STEEL</td> </tr> <tr> <td>HM</td> <td>= HOLLOW METAL</td> </tr> <tr> <td>HM LL</td> <td>= HOLLOW METAL - LEAD LINED</td> </tr> <tr> <td>LAM GL</td> <td>= LAMINATED SAFETY GLASS</td> </tr> <tr> <td>LEAD. 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TEMP GL</td> <td>= TEMPERED SAFETY GLASS (NON RATED USE ONLY)</td> </tr> <tr> <td>TRR</td> <td>= TEMPERATURE RATING</td> </tr> <tr> <td>WD</td> <td>= WOOD DOOR</td> </tr> <tr> <td>WD LL</td> <td>= WOOD DOOR LEAD LINED</td> </tr> </table> | ALUM | = ALUMINUM | AUTO | = AUTOMATIC DOOR (INTEGRAL HOLD OPEN NOT ALLOWED) | AUTO IW/ HO | = AUTOMATIC DOOR WITH INTEGRAL HOLD OPEN | ETR | = EXISTING TO REMAIN | EMHO | = ELECTROMAGNETIC HOLD OPEN | FIRE GL | = FIRE RATED GLASS | GALV ST | = GALVANIZED STEEL | HM | = HOLLOW METAL | HM LL | = HOLLOW METAL - LEAD LINED | LAM GL | = LAMINATED SAFETY GLASS | LEAD. LEAD GL | = LEAD SAFETY GLASS (NON RATED USE ONLY) | LL | = LEAD LINED | LS | = LIGHT SEALS | MEX | = MATCH EXISTING | OPP HD; OH | = OPPOSITE HAND | PR | = PAIR OF DOORS | SOUND | = SOUND DOOR (FLUSH DOOR TYPE) | SIM | = SIMILAR | SSTL | = STAINLESS STEEL | C-60 | = STEEL | TEMP. TEMP GL | = TEMPERED SAFETY GLASS (NON RATED USE ONLY) | TRR | = TEMPERATURE RATING | WD | = WOOD DOOR | WD LL | = WOOD DOOR LEAD LINED |
| A-180  | = 'A' LABEL = 180 MINUTE FIRE RATED   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| B-90   | = 'B' LABEL = 90 MINUTE FIRE RATED  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| C-60   | = 'C' LABEL = 60 MINUTE FIRE RATED  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| C-45   | = 'C' LABEL = 45 MINUTE FIRE RATED  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| 10 MIN   | = 20 MINUTE LABEL = 20 MINUTE FIRE RATED  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| ALUM   | = ALUMINUM  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| AUTO   | = AUTOMATIC DOOR (INTEGRAL HOLD OPEN NOT ALLOWED)   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| AUTO IW/ HO  | = AUTOMATIC DOOR WITH INTEGRAL HOLD OPEN  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| ETR  | = EXISTING TO REMAIN  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| EMHO   | = ELECTROMAGNETIC HOLD OPEN   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| FIRE GL  | = FIRE RATED GLASS  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| GALV ST  | = GALVANIZED STEEL  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| HM   | = HOLLOW METAL  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| HM LL  | = HOLLOW METAL - LEAD LINED   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| LAM GL   | = LAMINATED SAFETY GLASS  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| LEAD. LEAD GL  | = LEAD SAFETY GLASS (NON RATED USE ONLY)  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| LL   | = LEAD LINED  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| LS   | = LIGHT SEALS   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| MEX  | = MATCH EXISTING  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| OPP HD; OH   | = OPPOSITE HAND   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| PR   | = PAIR OF DOORS   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| SOUND  | = SOUND DOOR (FLUSH DOOR TYPE)  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| SIM  | = SIMILAR   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| SSTL   | = STAINLESS STEEL   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| C-60   | = STEEL   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| TEMP. TEMP GL  | = TEMPERED SAFETY GLASS (NON RATED USE ONLY)  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| TRR  | = TEMPERATURE RATING  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| WD   | = WOOD DOOR   |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |
| WD LL  | = WOOD DOOR LEAD LINED  |  |       |                                     |      |                                    |      |                                    |      |                                    |        |  |   |      |            |      |   |             |  |     |                      |      |                             |         |                    |         |                    |    |                |       |                             |        |                          |               |  |    |              |    |               |     |                  |            |                 |    |                 |       |                                |     |           |      |                   |      |         |               |  |     |                      |    |             |       |                        |

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 4508 SW 24TH STREET  
 FORT LAUDERDALE, FL 33317  
 PHONE: (954) 471-8657

**PROJECT:**  
 BAY 39  
 WESTGATE SHOPPING CENTER  
 100 N STATE ROAD 7  
 PLANTATION, FL 33317  
 INTERIOR IMPROVEMENTS

**FINAL CONTRACT DOCUMENTS**

PROJECT NUMBER: 1600-4  
 DATE: JUNE 6, 2016

ADDENDA/REVISION		
No.	Date	Description

**SEAL:**

CYNTHIA C. SPRAY, AIA AR-94167

**DRAWING TITLE:**  
 DOOR AND HARDWARE SCHEDULE

**DRAWING NO:**  
 A9.0



PART 1 GENERAL  
1.1 SUMMARY  
A. Project Identification: Interior improvement at 100 N STATE ROAD 7 PLANTATION, FL 33317, WESTGATE SHOPPING CENTER, BAY 39  
B. Project Summary (see sheet)  
C. Particular Project Requirements: see plans  
1. Existing site conditions and restrictions: GC to coordinate with Owner if any.  
2. Requirements for sequencing, scheduling and completion date: GC to coordinate with Owner if any.  
3. Prior or concurrent work by Owner or others: GC to coordinate with Owner if any.  
4. Separate contracts [awarded] [to be awarded] for GC to coordinate with Owner if any.  
5. Prior hazardous waste or asbestos work by Owner or others: GC to coordinate with Owner if any.  
6. Pre-purchased and pre-ordered items: GC to coordinate with Owner if any.  
7. Owner-purchased, Owner-installed items: see plans and GC to coordinate with Owner if any.  
8. Owner-purchased, Contractor-installed items: see plans and GC to coordinate with Owner if any.  
9. Owner's early or partial occupancy: GC to coordinate with Owner if any.  
10. Occupancy of adjacent facilities: none  
11. Contractor's use of new and existing facilities: GC to coordinate with Owner if any.  
12. Scope of separate prime contracts: GC to coordinate with Owner if any.  
13. USGBC LEED [NC] [EB] [C] [CS] [H] [ND] certification: [Certified] [Silver] [Gold] [Platinum] Certification. Not applicable.  
D. Permits and Fees: Apply for, obtain, and pay for permits, fees, and utility company backcharges required to perform the work. Submit copies to Architect.  
E. Codes: Comply with applicable codes and regulations of authorities having jurisdiction. Submit copies of inspection reports, notices and similar communications to Architect.  
F. Dimensions: Verify dimensions indicated on drawings with field dimensions before fabrication or ordering of materials. Do not scale drawings.  
G. Existing Conditions: Notify Architect of existing conditions differing from those indicated on the drawings. Do not remove or alter structural components without prior written approval.  
H. Coordination:  
1. Coordinate the work of all trades.  
2. Prepare coordination drawings for areas above ceilings where close tolerances are required between building elements and mechanical and electrical work.  
3. Verify location of utilities and existing conditions.  
I. Installation Requirements, General:  
1. Inspect substrates and report unsatisfactory conditions in writing.  
2. Do not proceed until unsatisfactory conditions have been corrected.  
3. Take field measurements prior to fabrication where practical. Form to required shapes and sizes with true edges, lines and angles. Provide inserts and templates as needed for work of other trades.  
4. Install materials in exact accordance with manufacturer's instructions and approved submittals.  
5. Install materials in proper relation with adjacent construction and with proper appearance.  
6. Restore units damaged during installation. Replace units which cannot be restored at no additional expense to the Owner.  
7. Refer to additional installation requirements and tolerances specified under individual specification sections.  
J. Limit of Use: Limit use of work as indicated. Keep driveways and entrances clear.  
K. Existing Construction: Maintain existing building in a weathertight condition. Repair damage caused by construction operations. Protect building and its occupants.  
L. Definitions:  
1. Provide: Furnish and install, complete with all necessary accessories, ready for intended use. Pay for all related costs.  
2. Approved: Acceptance of item submitted for approval. Not a limitation or release for compliance with the Contract Documents or regulatory requirements. Refer to limitations of "Approved" in General and Supplementary Conditions.  
3. Match Existing: Match existing as acceptable to the Owner.  
M. Intent: Drawings and specifications are intended to provide the basis for proper completion of the work suitable for the intended use of the Owner. Anything not expressly set forth but which is reasonable implied or necessary for proper performance of the project shall be included.  
N. Writing Style: Specifications are written in the imperative mode. Except where specifically intended otherwise, the subject of all imperative statements is the Contractor. For example, "Provide tile" means "Contractor shall provide tile".

PART 2 PRODUCTS - Not Applicable To This Section  
PART 3 EXECUTION - Not Applicable To This Section

END OF SECTION

01 20 00-1

SECTION 01 20 00  
PRICE AND PAYMENT PROCEDURES

PART 1 GENERAL  
1.1 SUMMARY  
A. Price and Payment Procedures:  
1. Alternates: None indicated in the plans. GC to coordinate with Owner if needed.  
2. Allowances: None indicated in the plans. GC to coordinate with Owner if needed.  
3. Tenant Allowances.  
1.2 ALTERNATES  
A. Total Price: Provide total price for each alternate in Bid Form. Include cost of modifications to other work to accommodate alternate. Include related costs such as overhead and profit.  
B. Acceptance of Alternates: Owner will determine which alternates are selected for inclusion in the Contract.  
C. Coordination of Alternates: Modify or adjust adjacent work as necessary to integrate work of the alternate into Project. Coordinate alternates with related work to ensure that work affected by each selected alternate is properly accomplished.  
D. List of Alternates.  
1.3 ALLOWANCES  
A. Allowances: Lump sum allowances and unit cost allowances are listed below and as indicated on the Drawings. Amounts shall include all costs including overhead and profit except as specifically noted. Coordinate allowances with requirements for related and adjacent work.  
B. Notification of Owner: Notify Owner of date when final decision on allowance items is required to avoid delays in the work.  
C. Certification of Quantities: Furnish certification that quantities of products purchased are the actual quantities needed with reasonable allowance for cutting or installation losses, tolerances, mixing, waste, and similar margins.  
D. Invoices and Delivery Slips: Submit invoices or delivery slips to indicate actual quantities of materials delivered and costs. Indicate amounts of applicable trade discounts.  
E. Lump Sum Allowances: Include the following amounts in the base bid for materials, installation, overhead, profit and all costs for the following items.  
1. Landscaping: [\$ insert amount or delete line item]  
2. Door Hardware: [\$ insert amount or delete line item]  
3. Signage: [\$ insert amount or delete line item]  
4. Window Treatment: [\$ insert amount or delete line item]  
5. Kitchen Appliances: [\$ insert amount or delete line item]  
6. Kitchen Casework: [\$ insert amount or delete line item]  
7. Elevator Cab: [\$ insert amount or delete line item]  
8. Plumbing Fixtures: [\$ insert amount or delete line item]  
9. HVAC Modifications: [\$ insert amount or delete line item]  
10. Lighting Fixtures: [\$ insert amount or delete line item]  
F. Unit Cost Allowances: The following items will be selected at a later date and unit costs below are for materials only. Installation and all other costs are to be included in the base bid. Refer to the Drawings to determine quantities required, multiply by unit cost below, and include total within base bid.  
1. Brick (\$/1000): [\$ insert amount or delete line item]  
2. Carpet (\$/sq. yd.): [\$ insert amount or delete line item]  
3. Wall Covering (\$/sq. yd.): [\$ insert amount or delete line item]  
4. Electrical Outlets (data, telephone, electric): [\$ insert amount or delete line item]  
1.4 TENANT ALLOWANCES  
A. Fit-Out of Tenant Areas: Tenant areas for fit-out have not been designed; however the Owner requires costs for tenant improvements be included in the base bid. Based on the rentable square footage of the building, provide the following items in the base bid.  
B. Scope of Tenant Allowances: The Owner will determine the rentable square footage of the building and number of tenants to be included under tenant allowances and notify the Bidder by addenda.  
C. Schedule of Tenant Allowances:  
his Section

PART 3 EXECUTION - Not Applicable To This Section

END OF SECTION

01 30 00-1

SECTION 01 30 00  
ADMINISTRATIVE REQUIREMENTS

PART 1 GENERAL  
1.1 SUMMARY  
A. Administration of Contract: Provide administrative requirements for the proper coordination and completion of work including the following:  
1. Supervisory personnel.  
2. Preconstruction conference.  
3. Project meetings, minimum of two per month; prepare and distribute minutes.  
B. Reports: Submit daily and special reports.  
C. Work Schedule: Submit progress schedule, updated monthly.  
D. Submittal Schedule: Prepare submittal schedule; coordinate with progress schedule.  
E. Schedule of Values: Submit schedule of values.  
F. Schedule of Tests: Submit schedule of required tests including payment and responsibility.  
G. Perform Surveys: Lay out the work and verifying locations during construction. Perform final site survey.  
H. Emergency Contacts: Submit and post a list of emergency telephone numbers and address for individuals to be contacted in case of emergency.  
I. Record Documents: Submit record drawings and specifications; to be maintained and annotated by Contractor as work progresses.

END OF SECTION

01 70 00-2

SECTION 01 70 00  
EXECUTION AND CLOSEOUT REQUIREMENTS

PART 1 GENERAL  
1.1 SUMMARY  
A. Substantial Completion: The following are prerequisites to substantial completion. Provide the following.  
1. Punch list prepared by Contractor and subcontractors as applicable.  
2. Supporting documentation.  
3. Warranties.  
4. Certifications.  
5. Occupancy permit.  
6. Start-up and testing of building systems.  
7. Change over of locks.  
8. Meter readings.  
9. Commissioning documentation.  
B. Final Acceptance: Provide the following prerequisites to final acceptance.  
1. Final payment request with supporting affidavits.  
2. Completed punch list.  
C. As-Built Drawings: Provide a marked-up set of drawings including changes, which occurred during construction.  
D. Project Closeout: Provide the following during project closeout.  
1. Submission of record documents.  
2. Submission of maintenance manuals.  
3. Training and turnover to Owner's personnel.  
4. Final cleaning and touch-up.  
5. Removal of temporary facilities.  
PART 2 PRODUCTS - Not Applicable To This Section  
PART 3 EXECUTION

SECTION 01 33 00- SUBMITTAL PROCEDURES

1.1 SUMMARY  
A. ACTION SUBMITTALS: INFORMATION THAT REQUIRES ARCHITECT'S RESPONSIVE ACTION.  
B. INFORMATIONAL SUBMITTALS: INFORMATION THAT DOES NOT REQUIRE ARCHITECT'S APPROVAL. SUBMITTALS MAY BE REJECTED FOR NOT COMPLYING WITH REQUIREMENTS.  
1.2 PROCEDURES  
A. ELECTRONIC COPIES OF CAD DRAWINGS OF THE CONTRACT DOCUMENTS WILL NOT BE PROVIDED BY ARCHITECT FOR CONTRACTOR'S USE.  
B. PROCESSING TIME:  
1. INITIAL REVIEW: 10 DAYS  
2. CONCURRENT REVIEWS: 15 DAYS  
3. SHOP DRAWINGS: 10 DAYS  
4. DIRECT TRANSMITTAL TO CONSULTANT: 10 WORKING DAYS.  
C. REQUEST FOR INFORMATION:  
1. INITIAL REVIEWS: 7 DAYS  
2. CONCURRENT REVIEWS: 10 DAYS.  
D. TRANSMITTAL FORM: AIA DOCUMENT G810  
E. ACTION SUBMITTALS:  
1. NUMBER OF COPIES: FIVE WHERE REQUIRED  
ACTION SUBMITTALS:  
a. PRODUCT DATA.  
b. SHOP DRAWINGS.  
c. SAMPLES.  
d. CONTRACTOR'S CONSTRUCTION SCHEDULE.  
e. APPLICATION FOR PAYMENT.  
f. SCHEDULE OF VALUES.  
F. INFORMATIONAL SUBMITTALS:  
1. NUMBER OF COPIES: TWO  
2. INFORMATIONAL SUBMITTALS:  
a. CONTRACTOR'S CONSTRUCTION SCHEDULE.  
b. PRODUCT CERTIFICATES.  
c. WELDING CERTIFICATES.  
d. INSTALLER CERTIFICATES.  
e. MANUFACTURER CERTIFICATES.

01 40 00-1  
SECTION 01 40 00  
QUALITY REQUIREMENTS

PART 1 GENERAL  
1.1 SUMMARY  
A. Quality Monitoring: Monitor quality control over suppliers, manufacturers, products, services, site conditions, and workmanship, to produce Work of specified quality. Perform quality control procedures and inspections during installation.  
B. Standards: Comply with specified standards as minimum quality for the Work except where more stringent tolerances, codes, or specified requirements indicate higher standards or more precise workmanship.  
C. Tolerances: Monitor fabrication and installation tolerance control of products to produce acceptable Work. Do not permit tolerances to accumulate. Comply with manufacturers' tolerances.  
D. Reference Standards: For products or workmanship specified by association, trade, or other consensus standards, comply with requirements of the standard, except when more rigid requirements are specified or are required by applicable codes.  
E. Manufacturer's Field Services: When specified in individual specification sections, require material or product suppliers or manufacturers to provide qualified staff personnel to perform the following as applicable, and to initiate instructions when necessary.  
1. Observe site conditions.  
2. Conditions of surfaces and installation.  
3. Quality of workmanship.  
4. Start-up of equipment.  
5. Test, adjust and balance of equipment.  
F. Mock-Ups: Assemble and erect specified items with specified attachment and anchorage devices, flashings, seals, and finishes. Accepted mock-ups shall be a comparison standard for the remaining Work.  
G. Removal of Mock-Ups: Where mock-up has been accepted by Architect and no longer needed, remove mock-up and clear area when directed to do so.  
PART 2 PRODUCTS - Not Applicable To This Section  
PART 3 EXECUTION - Not Applicable To This Section

END OF SECTION

01 50 00-1  
SECTION 01 50 00  
TEMPORARY FACILITIES AND CONTROLS

PART 1 GENERAL  
1.1 SUMMARY  
A. Temporary Services: Provide temporary services and utilities, including payment of utility costs including the following.  
1. Water (potable and non-potable).  
2. Lighting and power.  
3. Metering.  
4. Telephone.  
5. Toilet facilities.  
6. Materials storage.  
B. Construction Facilities: Provide construction facilities, including payment of utility costs including the following.  
1. Construction equipment.  
2. Dewatering and pumping.  
3. Enclosures.  
4. Heating.  
5. Lighting.  
6. Elevator.  
7. Access.  
8. Roads.  
C. Security and Protection: Provide security and protection requirements including the following.  
1. Fire extinguishers.  
2. Site enclosure fence, barricades, warning signs, and lights.  
3. Building enclosure and lock-up.  
4. Environmental protection.  
5. Pest control during and at the end of construction.  
6. Snow and ice removal if applicable.  
D. Personnel Support: Provide personnel support facilities including the following.  
1. Architect's field office with telephone, fax and data connection.  
2. Contractor's field office.  
3. Sanitary facilities.  
4. Drinking water.  
5. Project identification sign.  
6. Cleaning.  
PART 2 PRODUCTS  
2.1 TEMPORARY BRACING  
A. Temporary Bracing of Masonry Partitions: As required to stabilize construction during installation of masonry work.  
1. Manufacturer: Refer to [www.arcat.com/divs/sec/sec01500.html](http://www.arcat.com/divs/sec/sec01500.html)  
PART 3 EXECUTION - Not Applicable To This Section

END OF SECTION

01 70 00-2  
SECTION 01 70 00  
EXECUTION AND CLOSEOUT REQUIREMENTS

PART 1 GENERAL  
1.1 SUMMARY  
A. Substantial Completion: The following are prerequisites to substantial completion. Provide the following.  
1. Punch list prepared by Contractor and subcontractors as applicable.  
2. Supporting documentation.  
3. Warranties.  
4. Certifications.  
5. Occupancy permit.  
6. Start-up and testing of building systems.  
7. Change over of locks.  
8. Meter readings.  
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B. Final Acceptance: Provide the following prerequisites to final acceptance.  
1. Final payment request with supporting affidavits.  
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C. As-Built Drawings: Provide a marked-up set of drawings including changes, which occurred during construction.  
D. Project Closeout: Provide the following during project closeout.  
1. Submission of record documents.  
2. Submission of maintenance manuals.  
3. Training and turnover to Owner's personnel.  
4. Final cleaning and touch-up.  
5. Removal of temporary facilities.  
PART 2 PRODUCTS - Not Applicable To This Section  
PART 3 EXECUTION

3.1 CUTTING AND PATCHING  
A. Cutting and Patching: Provide cutting and patching work to properly complete the work of the project, complying with project requirements for:  
1. Structural work.  
2. Mechanical/electrical systems.  
3. Visual requirements, including detailing and tolerances.  
4. Operational and safety limitations.  
5. Fire resistance ratings.  
6. Inspection, preparation, and performance.  
7. Cleaning.  
B. Means and Methods: Do not cut and patch in a manner that would result in a failure of the work to perform as intended, decrease energy performance, increase maintenance, decrease operational life, or decrease safety performance.  
C. Inspection: Inspect conditions prior to work to identify scope and type of work required. Protect adjacent work. Notify Owner of work requiring interruption to building services or Owner's operations.  
D. Performance of Operations: Perform work with workmen skilled in the trades involved. Prepare sample area of each type of work for approval.  
E. Cutting: Use cutting tools, not chopping tools. Make neat holes. Minimize damage to adjacent work. Inspect for concealed utilities and structure before cutting.  
F. Patching: Make patches, seams, and joints durable and inconspicuous. Comply with tolerances for new work.  
G. Cleaning: Clean work area and areas affected by cutting and patching operations.

END OF SECTION

SECTION 042200 - CONCRETE UNIT MASONRY:

A. TYPE: HOLLOW-CORE NON-LOAD BEARING BLOCKS, GRADE "S-1", ASTM C129, LIMITED TO USE ABOVE GRADE IN EXTERIOR WALLS WITH WEATHER-PROTECTIVE COATINGS AND IN INTERIOR PARTITION WALLS NOT EXPOSED TO WEATHER.  
B. TYPE: HOLLOW-CORE LOAD BEARING BLOCKS, GRADE "N-1", ASTM C90, FOR USE ABOVE AND BELOW GRADE IN EXTERIOR WALLS AND INTERIOR PARTITIONS.  
1. SIZE: 8 X 8 X 16" / 12 X 8 X 16  
2. FINISH: REGULAR \*FLUTED \*SPLIT-FACE  
3. LAY FLUTED OR SPLIT-FACE BLOCK FROM THE OUTSIDE FOR EVEN JOINTS.  
4. UNLESS SHOWN OTHERWISE, LAY ALL BLOCK IN RUNNING BOND WITH TOOLED CONCAVE JOINTS.  
C. CEMENT FOR MORTAR: PORTLAND, TYPE I, ASTM C150 QUALITY.  
D. HORIZONTAL JOINT REINFORCEMENT: WELDED TRUSS TYPE, GALVANIZED, 16" O.C., WITH PREFABRICATED CORNERS AND TEES. PRODUCTS OF MASONRY REINFORCING CORP. "WIRE-BOND", "DUR-O-WALL" OR "KEYSTONE".  
E. VERTICAL REINFORCEMENT: EVERY 8 FT WITH #5 REBAR IN BLOCK CORES FULLY GROUPED FROM FOUNDATION TO TOP OF WALL.  
F. TIES AND ANCHORS: BENT WIRE TIES, ADJUSTABLE ANCHORS FOR CONCRETE CONNECTION, RIGID ANCHORS.  
G. SEALANT FOR JOINTS: EXTERIOR QUALITY POLYURETHANE COMPLETE WITH BACKER ROD.  
H. INSTALLATION OF CONCRETE BLOCKS:  
1. BUILT-IN WORK: VERIFY ITEMS BUILT-IN BY OTHER TRADES FOR THIS WORK ARE PROPERLY LOCATED AND SIZED.  
2. TOLERANCES:  
a. MAXIMUM VARIATION FROM PLANE OF WALL: 1/4" IN 10', 1/2" IN 10' OR MORE.  
b. MAXIMUM VARIATION FROM PLUMB: 1/4" PER STORY NON-CUMULATIVE, 1/2" IN TWO STORIES OR MORE.  
c. MAXIMUM VARIATION FROM LEVEL COURSING: 1/8" IN 3', 1/4" IN 10', 1/2" IN 30'.  
3. MORTAR JOINTS AND COURSING:  
a. JOINT SIZE: 3/8", TOOLED CONCAVE, UNLESS OTHERWISE INDICATED.  
b. PLACE JOINTS APPROXIMATELY EVERY 50 FEET O.C. IN UNINTERRUPTED WALLS.  
4. EXPANSION/CONTROL JOINTS: UNLESS SHOWN OTHERWISE, LOCATE JOINTS AS INDICATED BELOW.  
a. PLACE JOINTS 4 FEET TO 10 FEET FROM EACH EXTERIOR CORNER OF BUILDING.  
b. PLACE JOINTS APPROXIMATELY EVERY 50 FEET O.C. IN UNINTERRUPTED WALLS.  
c. INSTALL JOINTS AT LOCATIONS WHERE WALL HEIGHT OR THICKNESS CHANGES BY MORE THAN 20%.  
d. FOR OPENINGS LESS THAN 6 FEET WIDE PLACE JOINTS ON ONE SIDE OF OPENINGS.  
e. FOR OPENINGS MORE THAN 6 FEET WIDE PLACE JOINTS AT BOTH SIDES OF OPENINGS.  
f. FILL GAP WITH SOFT JOINT FILLER.  
5. POINTING AND CLEANING: REMOVE EXCESS MORTAR AND SMEARS UPON COMPLETION OF MASONRY WORK.  
a. CLEAN BLOCKS THOROUGHLY WITH WIRE BRUSH.  
b. DO NOT USE ACIDS.  
c. RINSE AND LEAVE BLOCK WALLS CLEAN AND NEAT.  
d. PROPERLY CLEAN JOINTS SCHEDULED FOR SEALANT.  
I. LINTELS: PRECAST CONCRETE OR MASONRY.

SECTION 06 10 00 - ROUGH CARPENTRY

A. GENERAL: MISCELLANEOUS ROUGH CARPENTRY AS REQUIRED TO COMPLETE THE WORK OF THE PROJECT INCLUDING THE FOLLOWING:  
1. BLOCKING AND NAILERS FOR ROOF SYSTEM AND RELATED FLASHINGS. PRESSURE TREATED  
2. BLOCKING IN METAL STUD/GYPSUM BOARD WALLS FOR ATTACHMENTS OF WALL-MOUNTED ITEMS: FIRE RESISTANT WOOD.  
3. METAL FRAMING ANCHORS: HOT DIPPED GALVANIZED STEEL.  
4. ALL WOOD SHALL BE FIRE RETARDANT TREATED.  
B. CERTIFICATION OF TREATING PLANT:  
1. WOOD PRESERVATIVES: SUBMIT CERTIFICATE STARTING WATER-BORNE CHEMICAL AND PROCESS USED, NET AMOUNT OF PRESERVATIVE RETAINED, AND COMPLIANCE WITH APPLICABLE STANDARDS.  
2. FIRE-RETARDANT TREATMENT: SUBMIT CERTIFICATE STATING THE FIRE-RETARDANT TREATMENT MATERIALS COMPLY WITH GOVERNING ORDINANCES AND MEET OR EXCEED REQUIREMENTS FOR ASTM E84 TESTS.  
C. MATERIALS: EACH PIECE OF LUMBER AND PLYWOOD SHALL BEAR AN IDENTIFICATION STAMP OF AN ACCREDITED TESTING AGENCY.  
1. LUMBER AND TIMBER SHALL BE SOUND, THOROUGHLY SEASONED AND WELL MANUFACTURED IN COMPLIANCE WITH NFPA "NATIONAL DESIGN SPECIFICATIONS" FOR STRESS GRADE LUMBER AND ITS FASTENERS: MAXIMUM MOISTURE CONTENT: 19%  
2. DECAY/INSECT RESISTANT LUMBER: NO 2 SOUTHERN PINE, PRESSURE TREAT, CLEAR.  
3. FIRE-RETARDANT LUMBER: NO. 2SOUTHERN PINE, PRESSURE-TREATED, CLEAR, FLAME SPREAD 25, SMOKE DEVELOPMENT 25, IN ACCORDANCE WITH ASTM E84.  
4. PLYWOOD: AC-AWPA EXTERIOR QUALITY WHERE EXPOSED TO MOISTER, FIRE-RETARDANT WHERE REQUIRED, DOUGLAS FIR FACES, SOLID FACES EACH SIDE. MAXIMUM MOISTURE CONTENT: 15%  
5. FASTENERS: SIZE AND TYPES TO SUIT APPLICATIONS.  
a) GALVANIZED FINISH FOR EXTERIOR LOCATIONS, HIGH HUMIDITY LOCATIONS, AND TREATED WOOD.  
b) USE STAINLESS STEEL OR BRASS TO MOUNT WALL-HUNG ITEMS ON TREATED WOOD BLOCKING  
c) PLAIN FINISH FOR OTHER INTERIOR LOCATIONS.  
d) ELECTRO-GALVANIZING IS NOT ACCEPTABLE.  
D. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING THAT THE DIMENSIONS OF THE LAYOUT, LINES, LEVELS ARE TRUE TO THE CONTRACT DOCUMENTS.  
E. INSTALLATION:  
1. PLACE MISCELLANEOUS BLOCKING, FURRRING AND ROOF CANTS TRUE TO LINES AND LEVELS SECURE RIGIDLY IN PLACE.  
2. IN METAL STUD WALLS: INSTALL FIRE RETARDANT WOOD BLOCKINGS, FRAMING AND NAILING STRIPS IN METAL STUD WALLS TO PROVIDE STONG SUPPORT FOR ITEMS TO BE ATTACHED TO WALLS SUCH AS CABINETS, RAILINGS, PLUMBING FIXTURES, MECHANICAL AND ELECTRICAL ITEMS.  
3. COORDINATE THE REQUIREMENT FOR PLUMBING, MECHANICAL AND ELECTRICAL ITEMS WITH APPROPRIATE CONTRACTORS.  
4. BACK-UP PANELS FOR ELECTRICAL AND TELEPHONE EQUIPMENT:  
a) AT METAL STUD/GYPSUM BOARD WALLS, INSTALL FIRE-RETARDANT PLYWOOD AS BACK-UP PANELS FOR ELECTRICAL AND TELEPHONE EQUIPMENT, SIZE AS REQUIRED.  
b) ATTACHMENT FOR METAL STUDS: SELF-DRILLING, SELF-TAPPING SCREWS 12 INCHES O.C. AT EACH STUD.



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PROJECT:

BAY 39  
WESTGATE SHOPPING CENTER  
100 N STATE ROAD 7  
PLANTATION, FL 33317

INTERIOR IMPROVEMENTS

FINAL CONTRACT DOCUMENTS

PROJECT NUMBER: 1600-4  
DATE: JUNE 6, 2016

ADDENDA/REVISION

No.	Date	Description

SEAL:

CYNTHIA C. SPRAY, AIA AR-94167

DRAWING TITLE:

PROJECT  
SPECIFICATIONS

DRAWING NO:

A10.0





PART 3 - EXECUTION

3.1 INTERIOR WALL FRAMING

- A. GENERAL
  - 1. WALL STUD SPACING: 16" O.C., UNLESS OTHERWISE INDICATED.
  - 2. ROUGH-OPENINGS: CONSTRUCT AS SPECIFIED IN THIS SECTION.
  - 3. DO NOT BRIDGE BUILDING EXPANSION AND CONTROL JOINTS WITH STEEL FRAMING OR FURRING MEMBERS.
- B. AT WALL-HUNG CABINETS AND/OR CASEWORK:
  - 1. INSTALL 18 GAGE STUDS AT 12 INCHES O.C. FOR FULL WIDTH OF CABINETWORK PLUS 12 INCHES ON EACH SIDE OF CABINETWORK.
  - 2. GAGE OF STUDS FOR WALLS BEYOND WALL-HUNG CABINETWORK SHALL BE AS SCHEDULED.
- C. FOR FURR-DOWNS AT WALL-HUNG CABINETS AND/OR CASEWORK, HOUSING FOR DUCTS AND PIPES:
  - 1. INSTALL 20 GAGE STUDS AT 16" O.C. PRIOR TO INSTALLATION OF CEILING GRID SO THAT GRID ANGLE WILL ABUT THE VERTICAL PORTION OF FURR-DOWN.
    - a. USE BRACED SYSTEM FOR DEPTHS OF 48" (VERTICALLY) AND WIDTHS TO 72".
    - b. USE UNBRACED SYSTEM FOR SOFFITS UP TO 24" X 24".
- D. ADDITIONAL FRAMING:
  - 1. INSTALL ADDITIONAL FRAMING, BLOCKING AND BRACING AT TERMINATIONS IN THE WORK AND FOR SUPPORT OF THE FOLLOWING:
    - a. FIXTURES AND EQUIPMENT SERVICES.
    - b. TOILET ACCESSORIES AND GRAB BARS.
    - c. FURNISHINGS AND SIMILAR WORK TO COMPLY WITH DETAILS; IF NOT INDICATED, COMPLY WITH "GYPSUM CONSTRUCTION HANDBOOK".
- E. BRACING OF WALLS ABOVE CEILINGS:
  - 1. WHERE WALLS EXTEND ABOVE CEILINGS, BUT NOT TO STRUCTURE, BRACE TOP OF WALLS WITH DIAGONAL STUD BRACES AT APPROXIMATELY 48" O.C.
  - 2. ATTACH STUD BRACES TO GALVANIZED STEEL ANGLES SECURED TO BOTTOM SIDE OF STRUCTURE.

3.2 ROUGH OPENINGS

- A. JAMBS: DOUBLE 20 GAGE STUDS FROM FLOOR TO TOP PLATE. SPOT-GROUT AT JAMB ANCHORS FOR HOLLOW METAL FRAMES BY APPLYING JOINT COMPOUND BEFORE GYPSUM BOARD IS FOR HOLLOW METAL FRAMES BY APPLYING JOINT COMPOUND BEFORE GYPSUM BOARD IS INSTALLED. USE DOUBLE 14 GAGE STUDS FROM FLOOR TO UNDERSIDE OF DECK AT ALL LEAD-LINED DOORS AND FRAMES.
- B. HEADER:
  - 1. FOR VIEW WINDOWS AND OPENINGS UP TO 4'-0" WIDE WITH STANDARD DOORS; FABRICATE SILL AND HEADER SECTIONS FROM 20 GAGE RUNNERS CUT TO LENGTH APPROXIMATELY 6" LONGER THAN ROUGH OPENING. SLIT FLANGES AND BEND WEB TO ALLOW FLANGES TO OVERLAP ADJACENT VERTICAL STUDS. SECURELY ATTACH WITH SCREWS. INSTALL CRIPPLE STUDS AT 16" O.C.
  - 2. FOR OPENINGS OVER 4'-0" WIDE INSTALL DOUBLE 20 GAGE STUDS ON EDGE AND SCREWED TOGETHER, CUT TO FIT SNUGLY BETWEEN VERTICAL JAMBS INSIDE 20 GAGE RUNNER. INSTALL ADDITIONAL RUNNER AND CRIPPLE STUDS AS REQUIRED ABOVE HEADER.
  - 3. FOR OPENINGS OVER LEAD-LINED DOORS INSTALL DOUBLE 14 GAGE STUDS ON EDGE AND SCREWED TOGETHER.
- C. PLYWOOD BACKING PANELS: FIRE-RETARDANT TREATED PLYWOOD PANELS, APA RATED, 3/8" THICK.

3.3 WALLBOARD INSTALLATION

- A. GENERAL:
  - 1. COORDINATE GYPSUM WALLBOARD WORK WITH METAL WALL FRAMING/SECTION 09110 AND DETAILS.
  - 2. COORDINATE GYPSUM WALLBOARD WORK WITH METAL WALL FRAMING/SECTION 09110 AND DETAILS.
- B. AT FLOOR SLAB:
  - 1. FOR RATED AND NON-RATED WALLS: LEAVE 1/4" MAXIMUM SPACE BETWEEN FLOOR SLAB AND BOTTOM EDGE OF GYPSUM BOARD.
  - 2. FOR SOUND INSULATED WALLS: SET GYPSUM BOARD IN CONTINUOUS BED OF ACOUSTICAL SEALANT.
- C. AT BOTTOM OF DECK:
  - 1. WHERE WALLBOARD EXTENDS TO BOTTOM OF DECK, COPE WALLBOARD TO SHAPES OF FLUTES, IRREGULAR SHAPES, BAR JOISTS, PRECAST SHAPES, ETC. TO FIT TIGHT AGAINST DECK FOR FINAL FINISHING. A MAXIMUM GAP OF 1/4" IS ALLOWED.
- D. DIRECT-BONDING TO SUBSTRATE:
  - 1. WHERE GYPSUM BOARD IS INDICATED TO BE ADHERED DIRECTLY TO A SUBSTRATE (OTHER THAN STUDS, JOINTS, FURRING MEMBERS OR BASE LAYER OF GYPSUM BOARD), COMPLY WITH GYPSUM BOARD MANUFACTURER'S RECOMMENDATIONS.
  - 2. TEMPORARILY BRACE OR FASTEN GYPSUM BOARD IN PLACE UNTIL ADHESIVE HAS PROPERLY SET.

3.4 INSTALLATION OF DRYWALL TRIM ACCESSORIES

- A. INSTALL CORNER BEADS AT EXTERNAL CORNERS.
- B. INSTALL METAL EDGE TRIM WHENEVER EDGE OF GYPSUM BOARD WOULD OTHERWISE BE EXPOSED OR SEMI-EXPOSED. PROVIDE MINIMUM SPACE BETWEEN EDGE TRIM AND MASONRY AND CALK 1/4" MINIMUM SPACE BETWEEN EDGE TRIM AND MASONRY AND CALK.
- C. WHEN METAL TRIM IS USED TO TERMINATE GYPSUM BOARD AT EXTERIOR WINDOW FRAMES, PROVIDE SPACE BETWEEN TRIM AND WINDOW AND INSTALL INSULATING TAPE OR 1/4" SPACE BETWEEN TRIM AND WINDOW AND INSTALL INSULATING TAPE OR WATERPROOF ACRYLIC CALK.
- D. INSTALL CONTROL JOINTS AT LOCATIONS INDICATED OR, IF NOT INDICATED, AT SPACINGS AND LOCATIONS REQUIRED BY REFERENCED GYPSUM BOARD APPLICATION AND FINISH STANDARD, AND APPROVED BY THE ARCHITECT FOR VISUAL EFFECT.

3.5 GYPSUM BOARD FINISHING

- A. FINISH JOINTS IN ACCORDANCE WITH GYPSUM BOARD MANUFACTURER'S PRINTED INSTRUCTIONS. FINISH GYPSUM BOARD WITH AN ORANGE PEAL FINISH.
- B. AFTER FINISHING IS COMPLETED AND BEFORE PAINT OR WALL COVERING IS APPLIED, INSPECT WALLS AND MAKE CORRECTIONS TO PROVIDE SMOOTH SURFACES FREE FROM DEFECTS.
  - 1. WALLS SHALL BE PLUMB AND TRUE.
  - 2. ALL CORNERS SHALL BE PLUMB AND SQUARE.

PART 4 - GENERAL

4.1 GYPSUM BOARD CEILING FRAMING

- A. MATERIALS:
  - 1. CEILING FURRING:
    - a. FURRING CHANNELS: HAT-SHAPED, 5/8" X 2-9/16", 20 GAUGE (.0329" WALL THICKNESS), 7/8" X 2-9/16", 20 GAUGE (.0329" WALL THICKNESS), OR 25 GAUGE (.0179" WALL THICKNESS), GALVANIZED.
    - b. CONTRACTOR'S OPTION: 1-5/8" 25 GAUGE (.0179") GALVANIZED STEEL STUDS MAY BE USED AS FURRING WHEN ASSEMBLY DOES NOT REQUIRE A U.L. RATING.
  - 2. SUSPENDED CEILING FRAMING:
    - a. CARRYING CHANNELS: 1-1/2" COLD ROLLED BLACK STEEL, 0.475 PSF.
    - b. HANGER WIRE: 8 GAUGE STEEL WIRE.
  - 3. SINGLE-SPAN FIXED CEILING FRAMING:
    - a. FOR SPANS NO LONGER THAN 8'-0" AND A MAXIMUM 10 PSF LOADING: 3-5/8" STEEL STUDS, 25 GAUGE (.0179"), GALVANIZED, WITH SECTION MODULUS OF 0.106 AND MOMENT OF INERTIAL OF 0.243 ABOUT THE MAJOR AXIS.

SECTION 09 30 13 - CERAMIC TILE

- A. GENERAL: CERAMIC AND QUARRY TILE FOR INTERIOR WALLS AND FLOORS, WITH ACCESSORIES, MORTAR AND GROUT.
- B. FLOOR TILES: ANSITCA A137.1 QUALITY, 0.5 TO 3.0 PERCENT MOISTURE ABSORPTION, CUSHIONED EDGES, AS SCHEDULED IN "FINISH AND COLOR SCHEDULE".
  - 1. FINISH: SLIP-RESISTANT AT FLOORS.
- C. MORTAR/ADHESIVE:
  - 1. MORTAR FOR THINSET METHOD: THINSET BONDCOAT, DRY-SET CEMENTITIOUS MORTAR, ANSITCA A118.1.
  - 2. ADHESIVE FOR GYPSUM BOARD APPLICATIONS: ORGANIC ADHESIVE, ANSITCA A136.1, TYPE 2, THINSET BOND TYPE.
- D. GROUT: "HYDROMENT" CERAMIC TILE CEMENTITIOUS GROUT/JOINT FILLER, PREPARED WITH "HYDROMENT" MULTI-PURPOSE ACRYLIC LATEX MORTAR ADMXTURE AND GROUT ADDITIVE, MANUFACTURED BY BOSTICK.
- E. QUALITY ASSURANCE: APPLICABLE REQUIREMENTS OF TILE COUNCIL OF AMERICA (TCA) AND AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) WILL ESTABLISH THE QUALITY OF TILE WORK.
  - 1. TILE PRODUCTS OF DAL-TILE CORP. AND GROUT PRODUCTS OF BOSTICK WILL ESTABLISH A MINIMUM STANDARD OF QUALITY.
- F. SUBMITTALS REQUIRED:
  - 1. CERTIFICATE OF COMPLIANCE: STATING CONFORMANCE WITH ANSI.
  - 2. MASTER GRADE CERTIFICATE: REQUIRED FOR EACH SHIPMENT AND TYPE OF TILE SIGNED BY MANUFACTURER AND INSTALLER.
  - 3. TILE SAMPLES, PRODUCT DATA, MAINTENANCE DATA.
- G. INSTALLATION: PERFORM TILE WORK IN ACCORDANCE WITH TCA "HANDBOOK FOR CERAMIC TILE INSTALLATION" AND ANSI SPECIFICATIONS REFERENCED IN TCA HANDBOOK.
  - 1. AT EXPOSED EDGES OF CERAMIC FLOOR TILE. USE BULLNOSE EDGE.
  - 2. CUT AND FIT TILE TIGHT TO PENETRATIONS THROUGH TILE. FORM CORNERS AND BASES NEATLY.
  - 3. TILE JOINTS:
    - a. PLACE TILE JOINTS UNIFORM IN WIDTH, SUBJECT TO VARIANCE IN TOLERANCE ALLOWED IN TILE SIZE.
  - 4. GROUTING: COMPLY WITH ANSI A108.10.
  - 5. SEALANT WORK: APPLY SEALANT TO JUNCTION OF TILE AND DISSIMILAR MATERIALS AND JUNCTION OF DISSIMILAR PLANES. COMPLY WITH SEALANT MANUFACTURER'S PRINTED INSTRUCTIONS.
  - 6. PLACE AND SET MARBLE THRESHOLDS AT TOILET ROOM DOORS.
  - 7. CLEANING: CLEAN TILE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS.

SECTION 09 30 00 - TILING

- A. GENERAL: CERAMIC AND QUARRY TILE FOR INTERIOR WALLS AND FLOORS, WITH ACCESSORIES, MORTAR AND GROUT.
- B. FLOOR TILES: ANSITCA A137.1 QUALITY, 0.5 TO 3.0 PERCENT MOISTURE ABSORPTION, CUSHIONED EDGES, AS SCHEDULED IN "FINISH AND COLOR SCHEDULE".
  - 1. FINISH: SLIP-RESISTANT AT FLOORS.
- C. MORTAR/ADHESIVE:
  - 1. MORTAR FOR THINSET METHOD: THINSET BONDCOAT, DRY-SET CEMENTITIOUS MORTAR, ANSITCA A118.1.
  - 2. ADHESIVE FOR GYPSUM BOARD APPLICATIONS: ORGANIC ADHESIVE, ANSITCA A136.1, TYPE 2, THINSET BOND TYPE.
- D. GROUT: "HYDROMENT" CERAMIC TILE CEMENTITIOUS GROUT/JOINT FILLER, PREPARED WITH "HYDROMENT" MULTI-PURPOSE ACRYLIC LATEX MORTAR ADMXTURE AND GROUT ADDITIVE, MANUFACTURED BY BOSTICK.
- E. QUALITY ASSURANCE: APPLICABLE REQUIREMENTS OF TILE COUNCIL OF AMERICA (TCA) AND AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) WILL ESTABLISH THE QUALITY OF TILE WORK.
  - 1. TILE PRODUCTS OF DAL-TILE CORP. AND GROUT PRODUCTS OF BOSTICK WILL ESTABLISH A MINIMUM STANDARD OF QUALITY.
- F. SUBMITTALS REQUIRED:
  - 1. CERTIFICATE OF COMPLIANCE: STATING CONFORMANCE WITH ANSI.
  - 2. MASTER GRADE CERTIFICATE: REQUIRED FOR EACH SHIPMENT AND TYPE OF TILE SIGNED BY MANUFACTURER AND INSTALLER.
  - 3. TILE SAMPLES, PRODUCT DATA, MAINTENANCE DATA.
- G. INSTALLATION: PERFORM TILE WORK IN ACCORDANCE WITH TCA "HANDBOOK FOR CERAMIC TILE INSTALLATION" AND ANSI SPECIFICATIONS REFERENCED IN TCA HANDBOOK.
  - 1. AT EXPOSED EDGES OF CERAMIC FLOOR TILE. USE BULLNOSE EDGE.
  - 2. CUT AND FIT TILE TIGHT TO PENETRATIONS THROUGH TILE. FORM CORNERS AND BASES NEATLY.
  - 3. TILE JOINTS:
    - a. PLACE TILE JOINTS UNIFORM IN WIDTH, SUBJECT TO VARIANCE IN TOLERANCE ALLOWED IN TILE SIZE.
  - 4. GROUTING: COMPLY WITH ANSI A108.10.
  - 5. SEALANT WORK: APPLY SEALANT TO JUNCTION OF TILE AND DISSIMILAR MATERIALS AND JUNCTION OF DISSIMILAR PLANES. COMPLY WITH SEALANT MANUFACTURER'S PRINTED INSTRUCTIONS.
  - 6. PLACE AND SET MARBLE THRESHOLDS AT TOILET ROOM DOORS.
  - 7. CLEANING: CLEAN TILE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS.

SECTION 09 30 12 - CERAMIC WALL TILE

- A. GENERAL: CERAMIC TILE FOR INTERIOR WALLS, WITH ACCESSORIES AND GROUT.
- B. WALL TILES: ANSITCA A137.1 QUALITY, 0.5 TO 3.0 PERCENT MOISTURE ABSORPTION, CUSHIONED EDGES.
  - 1. FINISH: REFER TO SHEET A5.2
- C. ADHESIVE FOR GYPSUM BOARD APPLICATIONS: ORGANIC ADHESIVE, ANSITCA A136.1 TYPE 2, THINSET BOND TYPE.
- D. GROUT: "HYDROMENT" CERAMIC TILE CEMENTITIOUS GROUT/JOIN FILLER, PREPARED WITH "HYDROMENT" MULTI-PURPOSE ACRYLIC LATEX MORTAR ADMIXTURE AND GROUT ADDITIVE, MANUFACTURED BY BOSTICK.
- E. QUALITY ASSURANCE: APPLICABLE REQUIREMENTS OF TILE COUNCIL OF AMERICA (TCA) AND AMERICAN NATIONAL STANDARD INSTITUTE (ANSI) WILL ESTABLISH THE QUALITY OF TILE WORK.
  - 1. TILE PRODUCTS OF DAL-TILE CORP. AND GROUT PRODUCTS OF BOSTICK WILL ESTABLISH A MINIMUM STANDARD OF QUALITY.
- F. SUBMITTALS REQUIRED: AS PER SECTION 01330.
  - 1. CERTIFICATE OF COMPLIANCE: STATING CONFORMANCE WITH ANSI.
  - 2. MASTER GRADE CERTIFICATE: REQUIRED FOR EACH SHIPMENT AND TYPE OF TILE SIGNED BY MANUFACTURER AND INSTALLER.
  - 3. TILE SAMPLES, PRODUCT DATA, MAINTENANCE DATA.

SECTION 09 51 00 - ACOUSTICAL CEILINGS & SUSPENDED GRID SYSTEM

PART 1 - GENERAL

- 1.1 SECTION INCLUDES
  - A. SUSPENDED METAL GRID SYSTEM, COMPLETE WITH ACOUSTICAL CEILING PANELS FOR INTERIOR INSTALLATIONS.
- 1.2 SUBMITTALS
  - A. SUBMIT PRODUCT DATA AND SAMPLES, AS PER SECTION 01330.
  - B. MANUFACTURER'S PRODUCT DATA: INDICATING ALL TECHNICAL INFORMATION WHICH SPECIFIES FULL COMPLIANCE WITH REQUIREMENTS OF THIS SECTION, INCLUDING INSTALLATION INSTRUCTIONS FOR GRID SYSTEM AND CEILING PANELS.
  - C. SAMPLES: FOR EACH TYPE OF GRID SYSTEM INCLUDING WALL MOLDING, MAIN RUNNER, CROSS TEES, AND 6" X 6" SAMPLE OF EACH TYPE OF CEILING PANELS.
  - D. QUALIFICATION DATA FOR FIRMS TO DEMONSTRATE THEIR CAPABILITIES AND EXPERIENCE. INCLUDE LIST OF COMPLETED PROJECTS, ADDRESSES, NAMES OF ARCHITECTS AND OWNERS.
  - E. CERTIFICATIONS: MANUFACTURER'S CERTIFICATIONS THAT PRODUCTS COMPLY WITH SPECIFIED REQUIREMENTS INCLUDING LABORATORY REPORTS INDICATING COMPLIANCE WITH SPECIFIED TESTS AND STANDARDS.
- 1.3 DELIVERY, HANDLING, STORAGE
  - A. GENERAL: EACH TYPE OF GRID SYSTEM SPECIFIED BELOW SHALL BE COMPLETE WITH DIE-CUT COMPONENTS OF INTERLOCKING TYPES AND MATCHING WALL MOLDINGS, INCLUDING ACCESSORIES REQUIRED TO COMPLETE THE GRID INSTALLATIONS. WITH MAXIMUM DEFLECTION OF 1/360, CONFORMING TO REQUIREMENTS OF ASTM C635. TEES SHALL BE DOUBLE WEB STEEL (ASTM A368) CONSTRUCTION FOR DIRECT HUNG INSTALLATION.
    - 1. STRUCTURAL CLASSIFICATION: INTERMEDIATE DUTY.
    - 2. WEB HEIGHT OF MAIN RUNNER: 1-1/2", AND 1-1/2" ON CROSS TEE UNLESS INDICATED OTHERWISE. EACH EXPOSED BOTTOM FLANGE SHALL BE CONTINUOUS WITH UNBROKEN ROLL FORMED STEEL CAP, EXTENDING THE LENGTH OF THE MEMBER.
    - 3. WALL MOLDINGS: HEMMED ANGLE MOLDING WITH NOMINAL EXPOSED FLANGE, MADE FROM 9/16" EXPOSED FLANGE, MADE FROM .019" NOMINAL STEEL.
    - 4. HANGER WIRE: 12 GAGE MINIMUM DIAMETER GALVANIZED CARBON STEEL (ASTM A641), SOFT TEMPER, PRESTRETCHED, WITH A YIELD STRESS LOAD OF AT LEAST 3.
    - 5. FINISH: ALL STEEL ROLL-FORMED PARTS, INCLUDING CAP, SHALL BE CHEMICALLY CLEANED, ELECTROGALVANIZED AND PROTECTIVE-CONVERSION COATED. ALL EXPOSED SURFACES, EXCEPT ALUMINUM, SHALL THEN RECEIVE A BAKED POLYESTER FINISH. ALUMINUM CAPS SHALL BE ETCHED AND RECEIVE A LAQUER FINISH.
- NON-RATED EXPOSED GRID SYSTEM
  - PRODUCT: ARMSTRONG'S PRELUDE, 15/16" EXPOSED TEE SYSTEM, OR EQUAL.
  - 1. GRID SIZE: 2'-0" X 4'-0" AND 2'-0" X 2'-0", AS PER REFLECTED CEILING PLAN.
  - 2. COLOR: FACTORY-PAINTED, WHITE.

2.3 LAY-IN ACOUSTICAL PANELS

- A. AT-1 - ARMSTRONG DUNE #1774 ANGLED TEGULAR #561
  - 1. SIZE: 2'-0" X 2'-0"
  - 2. COLOR: WHITE.
  - 3. NRC: 0.65.
  - 4. CLASS A - FLAME SPREAD 25 OR LESS.
  - 5. GRID: 15/16"
- B. AT-2 ARMSTRONG #1715. CLEAN ROOM MYLAR
  - 1. SIZE: 2'-0" X 2'-0"
  - 2. COLOR: WHITE.
  - 3. NRC: 0.55.
  - 4. CLASS A - FLAME SPREAD 25 OR LESS.
  - 5. GRID: 15/16"

SUBSTITUTIONS

- A. THE FOLLOWING MANUFACTURERS ARE ACCEPTABLE ONLY AFTER COMPLIANCE WITH REQUIREMENTS OF THIS SECTION. OTHER MANUFACTURERS ARE ACCEPTABLE FOR EVALUATION ONLY AFTER COMPLIANCE WITH THE REQUIREMENTS OF THIS SECTION.
- B. FOR CEILING GRID SYSTEM:
  - 1. CHICAGO METALLIC CORPORATION.
  - 2. NATIONAL ROLLING MILLS INC/MALVERN, PENNSYLVANIA
  - 3. USG INTERIORS.
- C. FOR CEILING PANELS:
  - 1. ARMSTRONG
  - 2. USG INTERIORS.

PART 3 - EXECUTION

3.1 INSTALLATION

- A. PREPERATION
  - 1. VERIFY THAT EXISTING CONDITIONS ARE READY TO RECEIVE WORK.
  - 2. VERIFY THAT LAYOUT OF HANGERS WILL NOT INTERFERE WITH OTHER WORK.
  - 3. BEGINNING OF SUSPENDED ACOUSTICAL CEILING WORK MEANS ACCEPTANCE OF EXISTING CONDITIONS.
- B. INSTALL CEILING SYSTEM AFTER MAJOR WORK ABOVE CEILING IS COMPLETE. COORDINATE THE LOCATION OF HANGERS WITH OTHER WORK.
- C. INSTALL CEILING SYSTEM IN ACCORDANCE WITH ASTM C636, MANUFACTURER'S PUBLISHED INSTRUCTIONS AND AS SUPPLEMENTED IN THIS SECTION.
- D. INSTALL CEILING SYSTEM CAPABLE OF SUPPORTING IMPOSED LOADS TO A DEFLECTION OF 1/360 MAXIMUM.
  - 1. VARIATION FROM FLAT TO LEVEL: 1/8 INCH IN 10 FEET.
- E. HANG GRID SYSTEM INDEPENDENT OF WALLS, COLUMNS, DUCTS, PIPES AND CONDUIT. WHERE CARRYING MEMBERS ARE SPLICED, AVOID VISIBLE DISPLACEMENT OF FACE PLANE OF ADJACENT MEMBERS.
- F. WHERE DUCTS OR OTHER EQUIPMENT PREVENT THE REGULAR SPACING OF HANGERS, REINFORCE THE NEAREST AFFECTED HANGERS AND RELATED CARRYING CHANNELS TO SPAN THE EXTRA DISTANCE.
- G. DO NOT SUPPORT FIXTURES OR OTHER COMPONENTS ON MAIN RUNNERS OR CROSS RUNNERS IF WEIGHT CAUSES TOTAL DEAD LOAD TO EXCEED DEFLECTION CAPABILITY.
  - 1. IF FIXTURES OR COMPONENTS ARE TOO HEAVY TO BE SUPPORTED FROM CEILING GRID, THEN THE FIXTURES OR COMPONENTS SHALL BE SUPPORTED DIRECTLY FROM BUILDING STRUCTURE.
- H. DO NOT ECCENTRICALLY LOAD CEILING SYSTEM, OR PRODUCE ROTATION OF RUNNERS.
- I. INSTALL EDGE MOLDING AT INTERSECTION OF CEILING AND VERTICAL SURFACES, USING LONGEST PRACTICAL LENGTHS.
  - 1. MITTER CORNERS.
  - 2. PROVIDE EDGE MOLDING AT JUNCTIONS WITH OTHER INTERRUPTIONS.
- J. INSTALLATION OF CEILING PANELS:
  - 1. INSTALL CEILING PANELS WHICH ARE FREE FROM TWIST, WARP, DENTS, DAMAGED EDGES AND OTHER DEFECTS DETRIMENTAL TO APPEARANCE AND FUNCTION. DAMAGED PANELS SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
  - 2. FIT BORDER PANELS NEATLY AGAINST ABUTTING SURFACES.
  - 3. FOR TEGULAR OR REVEAL EDGE PANELS: CUT AND REVEAL OR RABBIT EDGES OF CEILING TILES AT ALL BORDER AREAS AND VERTICAL SURFACES. 2.03 LAY-IN ACOUSTICAL PANELS

**CCS**  
 ARCHITECTURAL ENTERPRISES, INC.  
 499 East Palmetto Park Rd.  
 Suite 204  
 Boca Raton, FL 33432  
 T 561.479.9884  
 www.ccsarch.com  
 Florida Registration Number  
 AA26001852

CONSULTANTS:

STRUCTURAL ENGINEERING:  
 STRUCTURES INTERNATIONAL, INC.  
 7501 Willes Rd.  
 Coral Springs, FL 33067  
 (954) 227-1512

ELECTRICAL, MECHANICAL, PLUMBING:  
 AMERICAN UNITED ENGINEERS  
 4508 SW 24TH STREET  
 FORT LAUDERDALE, FL 33317  
 PHONE: (954) 471-8657

PROJECT:

BAY 39  
 WESTGATE SHOPPING CENTER  
 100 N STATE ROAD 7  
 PLANTATION, FL 33317

INTERIOR IMPROVEMENTS

FINAL CONTRACT DOCUMENTS

PROJECT NUMBER: 1600-4  
 DATE: JUNE 6, 2016

ADDENDA/REVISION		
No.	Date	Description

SEAL:

CYNTHIA C. SPRAY, AIA AR-94167

DRAWING TITLE:

**PROJECT SPECIFICATIONS**

DRAWING NO:

**A10.3**

SECTION 09 90 00  
PAINTING AND COATING

PART 1 - GENERAL  
1.01 SECTION INCLUDES  
A. Surface preparation.  
B. Field application of paints, stains, varnishes, and other coatings.  
C. Scope: Finish all interior and exterior surfaces exposed to view, unless fully factory-finished and unless otherwise indicated, including the following:  
1. Mechanical and Electrical equipment, and electrical equipment, unless otherwise indicated.  
a. In finished areas, paint all insulated and exposed pipes, conduit, boxes, insulated and exposed ducts, hangers, brackets, collars and supports, mechanical equipment, and electrical equipment, unless otherwise indicated.  
D. Do Not Paint or Finish the Following Items:  
1. Items fully factory-finished unless specifically so indicated; materials and products having factory-applied primers are not considered factory finished.  
2. Items indicated to receive other finishes.  
3. Items indicated to remain unfinished.  
4. Fire rating labels, equipment serial number and capacity labels, and operating parts of equipment.  
5. Floors, unless specifically so indicated.  
6. Glass.  
7. Concealed pipes, ducts, and conduits.  
1.02 RELATED REQUIREMENTS  
A. Section 079005 - Joint Sealers: Removal and replacement of joint sealers, backing and bond breakers; joint sealer for stucco crack repair.  
B. Section 092400 - Portland Cement Plastering: Patching and repair of damaged or defective cement plaster work.  
1.03 REFERENCE STANDARDS  
A. General:  
1. For requirements relating to referenced standards, see Section 014219 - Reference Standards..  
B. American Society for Testing and Materials (ASTM)  
1. ASTM D235 -- Standard Specification for Mineral Spirits (Petroleum Spirits) (Hydrocarbon Dry Cleaning Solvent).  
2. ASTM D522 -- Standard Test Methods for Mandrel Bend Test of Attached Organic Coatings.  
3. ASTM D562 -- Standard Test Method for Consistency of Paints Measuring Krebs Unit (KU) Viscosity Using a Stormer-Type Viscometer.  
4. ASTM D1308 -- Standard Test Method for Effect of Household Chemicals on M.C. Harry and Associates, Inc. PAINTING AND COATING Architecture/Engineering/Planning Rohde Building - Phase 1 PAINTING AND COATING DMS Project No. \_\_\_\_ 099000 - 2 of 12  
Clear and Pigmented Organic Finishes.  
5. ASTM D1475 -- Standard Test Method For Density of Liquid Coatings, Inks, and Related Products.  
6. ASTM D3273 -- Standard Test Method for Resistance to Growth of Mold on the Surface of Interior Coatings in an Environmental Chamber.  
7. ASTM D3359 - Standard Test Methods for Measuring Adhesion by Tape Test.  
8. ASTM D3960 -- Standard Practice for Determining Volatile Organic Compound (VOC) Content of Paints and Related Coatings.  
9. ASTM D4214 -- Standard Test Methods for Evaluating the Degree of Chalking of Exterior Paint Films  
10. ASTM D5201 -- Standard Practice for Calculating Formulation Physical Constants of Paints and Coatings.  
11. ASTM D6904 -- Standard Practice for Resistance to Wind-Driven Rain for Exterior Coatings Applied on Masonry.  
C. Florida Building Code (FBC):  
1. FBC-B -- Florida Building Code, Building.  
D. Master Painters Institute, Master Painters and Decorators Association (MPI):  
1. MPI (APL) -- Master Painters Institute Approved Products List.  
2. MPI (AFSM) -- Master Painters Institute Architectural Painting Specification Manual.  
E. The Society for Protective Coatings (SSPC):  
1. SSPC (PM1) -- Good Painting Practice: SSPC Painting Manual, Vol. 1.  
2. SSPC-SP 1 -- Solvent Cleaning.  
3. SSPC-SP 2 -- Hand Tool Cleaning.  
4. SSPC-SP 3 -- Power Tool Cleaning.  
F. U.S. Code of Federal Regulations (CFR):  
1. U.S. Environmental Protection Agency:  
a. 40 CFR 59, Subpart D - National Volatile Organic Compound Emission Standards for Architectural Coatings.  
1.04 SUBMITTALS  
A. General:  
1. For submittal procedures, see General Conditions, Supplementary Conditions, and Section 013000 - Administrative Requirements.  
B. Product Data: Provide complete list of all products to be used, with the following information for each:  
1. Manufacturer's name, product name and/or catalog number, and general product category (e.g. "alkyd enamel").  
2. MPI product number (e.g. MPI #47).  
3. Cross-reference to specified paint system(s) product to be used in; include description of each system.  
4. Manufacturer's Instructions: Indicate special surface preparation procedures and substrate conditions requiring special attention.M.C. Harry and Associates, Inc. PAINTING AND COATING Architecture/Engineering/Planning Rohde Building - Phase 1 PAINTING AND COATING DMS Project No. \_\_\_\_ 099000 - 3 of 12  
C. Samples:  
1. Selection Samples: Submit three sets of paper "draw down" samples, illustrating range of colors available for each top coat product specified.  
a. Where sheen is specified, submit samples in only that sheen.  
2. Verification Samples: Submit two painted samples, illustrating selected colors and textures for each color and system selected with specified coats cascaded.  
a. Submit on aluminum sheet, 12 x 12 inch (300 x 300 mm) in size.  
D. Maintenance Materials: Furnish the following for Owner's use in maintenance of project.  
1. Extra Paint and Coatings: 1 gallon (4 L) of each color, store where directed.  
2. Label each container with color in addition to the manufacturer's label.  
1.05 QUALITY ASSURANCE  
A. Applicator Qualifications: Company specializing in performing the type of work specified with minimum five years experience and approved by manufacturer.  
1.06 DELIVERY, STORAGE, AND HANDLING  
A. Deliver products to site in sealed and labeled containers; inspect to verify acceptability.  
B. Container Label: Include manufacturer's name, type of paint, brand name, lot number, brand code, coverage, surface preparation, drying time, cleanup requirements, color designation, and instructions for mixing and reducing.  
C. Paint Materials: Store at minimum ambient temperature of 45 degrees F (7 degrees C) and a maximum of 90 degrees F (32 degrees C), in ventilated area, and as required by manufacturer's instructions.  
1.07 FIELD CONDITIONS  
A. Do not apply materials when surface and ambient temperatures are outside the temperature ranges required by the paint product manufacturer.  
B. Follow manufacturer's recommended procedures for producing best results, including testing of substrates, moisture in substrates, and humidity and temperature limitations.  
C. Do not apply exterior coatings during rain or when relative humidity is outside the humidity ranges required by the paint product manufacturer.  
D. Provide lighting level of 80 ft candles (860 lux) measured mid-height at substrate surface.  
1.09 WARRANTY  
A. Labor and Material Warranty: Submit manufacturer's ten (10) year labor and material warranty for specified systems. Approval of warranty period and confirmation of system compatibility with substrates and joint sealants is required prior to system application.  
PART 2 - PRODUCTS  
2.01 MANUFACTURERSM.C. Harry and Associates, Inc. PAINTING AND COATING Architecture/Engineering/Planning Rohde Building - Phase 1 PAINTING AND COATING DMS Project No. \_\_\_\_ 099000 - 4 of 12  
A. Provide all paint and coating products used in any individual system from the same manufacturer; no exceptions.  
B. Provide all paint and coating products from the same manufacturer.  
C. Primers: Where the manufacturer offers options on primers for a particular substrate, use primer categorized as "best" by the manufacturer.  
D. Volatile Organic Compound (VOC) Content:  
1. Provide coatings that comply with the most stringent requirements specified in the following:  
a. 40 CFR 59, Subpart D-National Volatile Organic Compound Emission Standards for Architectural Coatings.M.C. Harry and Associates, Inc. PAINTING AND COATING Architecture/Engineering/Planning Rohde Building - Phase 1 PAINTING AND COATING DMS Project No. \_\_\_\_ 099000 - 5 of 12  
2. Determination of VOC Content: Testing and calculation in accordance with 40 CFR 59, Subpart D (EPA Method 24), exclusive of colorants added to a tint base and water added at project site, or other method acceptable to authorities having jurisdiction.  
E. Flammability: Comply with applicable code for surface burning characteristics.  
F. Sheens: Provide the sheens specified; where sheen is not specified, sheen will be selected later by Architect from the manufacturer's full line.  
G. Colors: To be selected from manufacturer's full range of available colors.  
1. Selection to be made by Architect after award of contract.  
2. Extend colors to surface edges; colors may change at any edge as directed by Architect.  
3. In finished areas, finish pipes, ducts, conduit, and equipment the same color as the wall/ceiling they are mounted on/under.  
2.03 PAINT SYSTEMS - EXTERIOR  
A. Paint CE-OP-3L - Concrete / Cement Plaster (Stucco), Opaque, Latex, 3 Coat:  
1. Preparation as specified by paint manufacturer.  
2. Two top coats and one coat primer.  
3. Top Coat(s): MPI #10 (Latex, Exterior, Flat, MPI Gloss Level 1) or MPI #15 (Latex, Exterior, Low Sheen, MPI Gloss Level 3-4), as required to match sheen level of existing coating to remain, and meeting the following criteria:  
a. Vehicle Type: 100-percent acrylic latex.  
b. Product: Benjamin Moore ben® Premium Waterborne Exterior Paint, or equal.  
4. Primer(s): As recommended by manufacturer of top coat product.  
B. Paint ME-OP-3L - Ferrous Metals, Latex, 3 Coat:  
1. Preparation as specified by paint manufacturer.  
2. Two top coats and one coat primer.  
3. Top Coat(s): MPI #311 (Latex, Exterior, High Performance Architectural, Semi-Gloss, MPI Gloss Level 5), meeting the following criteria:  
a. Vehicle Type: 100-percent acrylic latex.  
b. Midew Resistance (ASTM D3273): Pass; no growth.  
c. Flexibility (ASTM D522): Pass; no cracking.  
d. Alkali Resistance (ASTM D1308): Pass.  
e. Wind Driven Rain Resistance (ASTM D6904): Pass.  
f. Product: Benjamin Moore Regal® Select Exterior High Build, or equal.  
4. Primer(s): As recommended by manufacturer of top coat product.  
C. Paint MgE-OP-3L - Galvanized Metals, Latex, 3 Coat:  
1. Preparation as specified by paint manufacturer.  
2. Two top coats and one coat primer.  
3. Top Coat(s): MPI #311 (Latex, Exterior, Gloss, MPI Gloss Level 6), meeting the following criteria:  
a. Vehicle Type: 100-percent acrylic latex.  
b. Midew Resistance (ASTM D3273): Pass; no growth.M.C. Harry and Associates, Inc. PAINTING AND COATING Architecture/Engineering/Planning Rohde Building - Phase 1 PAINTING AND COATING DMS Project No. \_\_\_\_ 099000 - 6 of 12  
c. Flexibility (ASTM D522): Pass; no cracking.  
d. Alkali Resistance (ASTM D1308): Pass.  
e. Wind Driven Rain Resistance (ASTM D6904): Pass.  
f. Product: Benjamin Moore Regal® Select Exterior High Build, or equal.  
4. Primer(s): As recommended by manufacturer of top coat product.

2.04 PAINT SYSTEMS - INTERIOR  
A. Paint CI-OP-3L - Concrete / Concrete Masonry / Cement Plaster (Stucco), Latex, 3 Coat:  
1. Preparation as specified by paint manufacturer.  
2. Two top coats and one coat primer.  
3. Top Coat(s): MPI #140 (Latex, Interior, High Performance Architectural, MPI Gloss Level 4), meeting the following criteria:  
a. Vehicle Type: 100-percent acrylic latex.  
b. Product: Benjamin Moore Regal® Select Premium Interior Paint & Primer Pearl Finish, or equal.  
4. Primer(s): As recommended by manufacturer of top coat product.  
B. Paint MI-OP-3L - Ferrous Metals, Latex, 3 Coat:  
1. Preparation as specified by paint manufacturer.  
2. Two top coats and one coat primer.  
3. Top Coat(s): MPI #140 (Latex, Interior, High Performance Architectural, MPI Gloss Level 4), meeting the following criteria:  
a. Vehicle Type: 100-percent acrylic latex.  
b. Product: Benjamin Moore Regal® Select Premium Interior Paint & Primer Pearl Finish, or equal.  
4. Primer(s): As recommended by manufacturer of top coat product.  
C. Paint Mgl-OP-3L - Galvanized Metals, Latex, 3 Coat:  
1. Preparation as specified by paint manufacturer.  
2. Two top coats and one coat primer.  
3. Top Coat(s): MPI #140 (Latex, Interior, High Performance Architectural, MPI Gloss Level 4), meeting the following criteria:  
a. Vehicle Type: 100-percent acrylic latex.  
b. Product: Benjamin Moore Regal® Select Premium Interior Paint & Primer Pearl Finish, or equal.  
4. Primer(s): As recommended by manufacturer of top coat product.  
D. Paint L-OP-FL - Opaque Finish on Concrete Floors.  
1. Preparation as specified by paint manufacturer.  
2. Two top coats and one coat primer, or if self-priming, then two top coats only.  
3. Top Coat(s): MPI #60 (Floor Paint, Latex, Low Gloss), meeting the following criteria:  
a. Vehicle Type: Epoxy-modified acrylic latex.  
b. Product: Benjamin Moore Floor & Patio® Latex Floor & Patio Low Sheen Enamel, or equal.  
4. Primer(s): As recommended by manufacturer of top coats.M.C. Harry and Associates, Inc. PAINTING AND COATING Architecture/Engineering/Planning Rohde Building - Phase 1 PAINTING AND COATING DMS Project No. \_\_\_\_ 099000 - 7 of 12  
2.05 ACCESSORY MATERIALS  
A. Accessory Materials: Provide all primers, sealers, cleaning agents, cleaning cloths, sanding materials, and clean-up materials required to achieve the finishes specified whether specifically indicated or not; commercial quality.  
B. Patching Materials (for repairing cracks and other defects in exterior cement plaster/stucco):  
1. Patching Material Type 1 (for static hairline cracks caused by plastic or drying shrinkage): Type suitable for application, as recommended by coating manufacturer.  
2. Patching Material Type 2 (for static cracks hairline to 1/4-inch in width): Water-based, acrylic elastomeric crack filler for repairing cracks.  
a. Performance Characteristics:  
(1) Tensile Strength (ASTM D412): 100 psi (0.7 MPa).  
(2) Ultimate Elongation at Break (ASTM D412): 275 percent.  
b. Product:  
(1) Smooth: "Sonocoat Acrylic Patching Compound 748" by BASF.  
(2) Textured: "Sonocoat Acrylic Patching Compound 746T" by BASF.  
3. Patching Material Type 3 (for patching dynamic cracks more than 1/4-inch in width): Joint Sealant Type S-5; for additional requirements, refer to Section 079005.  
4. Patching Material Type 4 (for repair/replacement of small areas of damaged cement plaster/stucco): Repair Mortar; for additional requirements, refer to Section 092400 - Portland Cement Plastering.  
5. Patching Material Type 5 (for repair/replacement of large areas of damaged or delaminated cement plaster/stucco): Cement plaster (stucco); for additional requirements, refer to Section 092400 - Portland Cement Plastering.  
6. Primer / Surface Conditioner: As recommended by Patching Material manufacturer.  
B. Fastener Head Cover Material: Use Patching Material Type 2.  
PART 3 - EXECUTION  
3.01 EXAMINATION  
A. Verify that surfaces are ready to receive work as instructed by the product manufacturer.  
B. Examine surfaces scheduled to be finished prior to commencement of work. Report any condition that may potentially affect proper application.  
1. Patched/repared cement plaster/stucco substrates must be fully cured in accordance with recommendations of paint/coating manufacturer.  
C. Test shop-applied primer for compatibility with subsequent cover materials.  
D. Measure moisture content of surfaces using an electronic moisture meter.  
1. Do not apply finishes unless moisture content of surfaces is within acceptable tolerances recommended by the coating manufacturer.  
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E. Check adhesion of old paint using ASTM D3359, measuring adhesion by Tape Method A.  
3.02 PREPARATION  
A. General:  
1. Clean surfaces thoroughly and correct defects prior to coating application.  
2. Prepare surfaces using the methods recommended by the coating manufacturer for achieving the best result for the substrate under the project conditions.  
3. Remove or repair existing coatings that exhibit surface defects.  
4. Remove or mask surface appurtenances, including electrical plates, hardware, light fixture trim, escutcheons, and fittings, prior to preparing surfaces or finishing.  
5. Seal surfaces that might cause bleed through or staining of topcoat.  
6. Remove mildew from impervious surfaces by scrubbing with solution of tetra-sodium phosphate and bleach. Rinse with clean water and allow surface to dry.  
7. Concrete and Unit Masonry Surfaces to be Painted:  
a. Remove dirt, loose mortar, scale, salt or alkali powder, and other foreign matter.  
b. Remove oil and grease with a solution of tri-sodium phosphate; rinse well and allow to dry.  
c. Remove stains caused by weathering of corroding metals with a solution of sodium metasilicate after thoroughly wetting with water. Allow to dry.  
8. Cement Plaster (Stucco) Surfaces to be Painted:  
a. Fill hairline cracks, small holes, and imperfections with latex patching plaster. Make smooth and flush with adjacent surfaces.  
b. Wash and neutralize high alkali surfaces.  
9. Asphalt, Creosote, or Bituminous Surfaces to be Painted:  
a. Remove foreign particles to permit adhesion of finishing materials.  
b. Apply latex based sealer or primer.  
10. Insulated Coverings to be Painted: Remove dirt, grease, and oil from canvas and cotton.  
11. Concrete Floors to be Painted: Remove contamination, acid etch, and rinse floors with clear water. Verify required acid-alkali balance is achieved. Allow to dry.  
12. Galvanized Surfaces to be Painted: Remove surface contamination and oils and wash with solvent. Apply coat of wash with solvent.  
13. Corroded Steel and Iron Surfaces to be Painted: Prepare using at least SSPC-SP 2 or SSPC-SP 3, followed by SSPC-SP 1.  
14. Uncoated Uncoated Steel and Iron Surfaces to be Painted:  
a. Remove grease, mill scale, weld spatter, dirt, and rust.  
b. Where heavy coatings of scale are evident, remove by hand or power tool wire brushing or sandblasting; clean by washing with solvent.  
c. Apply a treatment of phosphoric acid solution, ensuring weld joints, bolts, and nuts are similarly cleaned.  
4. Prime paint entire surface; spot prime after repairs.  
15. Shop-Primed Steel Surfaces to be Finish Painted:  
a. Sand and scrape to remove loose primer and rust.  
b. Feather edges to make touch-up coatings inconspicuous. M.C. Harry and Associates, Inc. PAINTING AND COATING Architecture/Engineering/Planning Rohde Building - Phase 1 PAINTING AND COATING DMS Project No. \_\_\_\_ 099000 - 9 of 12  
c. Clean surfaces with solvent.  
d. Prime bare steel surfaces.  
e. Re-prime entire shop-primed item.  
B. Additional Requirements for Surfaces with Existing Coatings:  
1. Before application of new coatings, perform the following on surfaces covered by soundly-adhered coatings, defined as those which cannot be removed with a putty knife:  
a. Sand existing glossy surfaces to be painted to reduce gloss.  
(1) Brush, and wipe clean with a damp cloth to remove dust.  
b. Previously painted surfaces specified to be repainted or damaged during construction shall be thoroughly cleaned of all grease, dirt, dust or other foreign matter.  
c. Blistering, cracking, flaking and peeling or other deteriorated coatings shall be removed.  
d. Chalk shall be removed so that when tested in accordance with ASTM D4214, the chalk resistance rating is no less than 8.  
e. Sick surfaces shall be roughened. Damaged areas such as, but not limited to, nail holes, cracks, chips, and spalls shall be repaired with suitable material to match adjacent undamaged areas.  
f. Edges of chipped paint shall be feather edged and sanded smooth.  
g. Rusty metal surfaces shall be cleaned in accordance with SSPC requirements.  
(1) Solvent, mechanical, or chemical cleaning methods shall be used to provide surfaces suitable for painting.  
h. New, proposed coatings shall be compatible with existing coatings.  
2. Existing Coated Surfaces with Minor Defects:  
a. Sand, spackle, and treat surfaces with minor defects (i.e., scratches, nicks, cracks, gouges, spalls, alligating, chalking, or irregularities due to partial peeling of previous coating) as necessary to render such surfaces to a uniform smooth finish.  
b. Remove chalking by sanding or blasting so that when tested in accordance with ASTM D4214, the chalk rating is not less than 8.  
3. Removal of Existing Coatings: Remove existing coatings from the following:  
a. Surfaces containing large areas of minor defects.  
b. Surfaces containing more than 20 percent peeling area.  
c. Surfaces where rust is visible/apparent through existing coating.  
4. Cement Plaster (Stucco) Substrate Repairs:  
a. Repair cracks, holes, spalled/delaminated areas, and other defects in existing cement plaster/stucco surfaces using appropriate repair materials; verify compatibility of repair materials with coating system prior to use.  
b. Remove any protruding concrete accessories and patch to smooth out any irregularities.  
c. For additional requirements, refer to Section 092400 - Portland Cement Plastering.  
5. Other Substrate Repairs:  
a. Repair substrate surface damaged during coating removal.M.C. Harry and Associates, Inc. PAINTING AND COATING Architecture/Engineering/Planning Rohde Building - Phase 1 PAINTING AND COATING DMS Project No. \_\_\_\_ 099000 - 10 of 12  
b. Sand edges of adjacent soundly-adhered existing coatings so they are tapered as smooth as practical to areas involved with coating removal.  
c. Clean and prime the substrate as specified.  
C. Additional Requirements for New (Previously Uncoated) Surfaces:  
1. Surface Appurtenances: Remove electrical plates, hardware, light fixture trim, escutcheons, and fittings prior to preparing surfaces or finishing.  
2. Surfaces:  
a. Correct defects and clean surfaces that affect work of this section.  
b. Remove or repair existing coatings that exhibit surface defects.  
c. Mask surfaces that are not to be finished, or that are to be finished at a later time.  
3. Marks: Seal with shellac that which may bleed through surface finishes.  
4. Impervious Surfaces:  
a. Remove mildew by scrubbing with solution of tetra-sodium phosphate and bleach.  
b. Rinse with clean water and allow surface to dry.  
5. New Cement Plaster (Stucco) Surfaces to be Painted:  
a. Fill hairline cracks, small holes, and imperfections with same patching materials used for similar repairs to existing plaster; for additional requirements, refer to Section 092400 - Portland Cement Plastering.  
b. Make smooth and flush with adjacent surfaces.  
c. Wash and neutralize high alkali surfaces.  
6. Galvanized Surfaces to be Painted:  
a. Remove surface contamination and oils and wash with solvent.  
b. Apply coat of etching primer.

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**PROJECT:**  
**BAY 39**  
**WESTGATE SHOPPING CENTER**  
**100 N STATE ROAD 7**  
**PLANTATION, FL 33317**

**INTERIOR IMPROVEMENTS**

**FINAL CONTRACT DOCUMENTS**

**PROJECT NUMBER:** 1600-4  
**DATE:** JUNE 6, 2016

ADDENDA/REVISION		
No.	Date	Description

**SEAL:**

**CYNTHIA C. SPRAY, AIA AR-94167**  
**DRAWING TITLE:**

**PROJECT SPECIFICATIONS**

**DRAWING NO:**  
**A10.4**

