





**Legend**

Ditch\_Bottom\_Inlets

**Pipes\_Culverts**

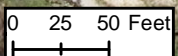
<all other values>

**TYPE**

Collector

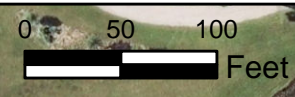
Culvert

Outfall



RPB COMMONS STORM WATER



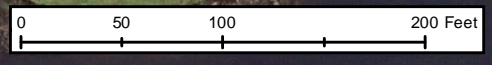


**Legend**

- 1-Manhole
- ssGravityMain
- ssLateralLine**
- SUBTYPE**
- 2-Cleanout Lateral
- 1-Service Line
- wHydrant
- wLateralLines**
- wLateralLines
- wPressurizedMain

RPB COMMONS WATER AND SEWER



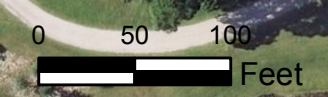


**Legend**

- + FITTING
- VALVE
- ◆ TEE
- IRR\_SAT
- LATERAL\_LINE
- MAIN\_LINE
- ..... SAT\_CONTROL\_LIMITS

RPB COMMONS IRRIGATION





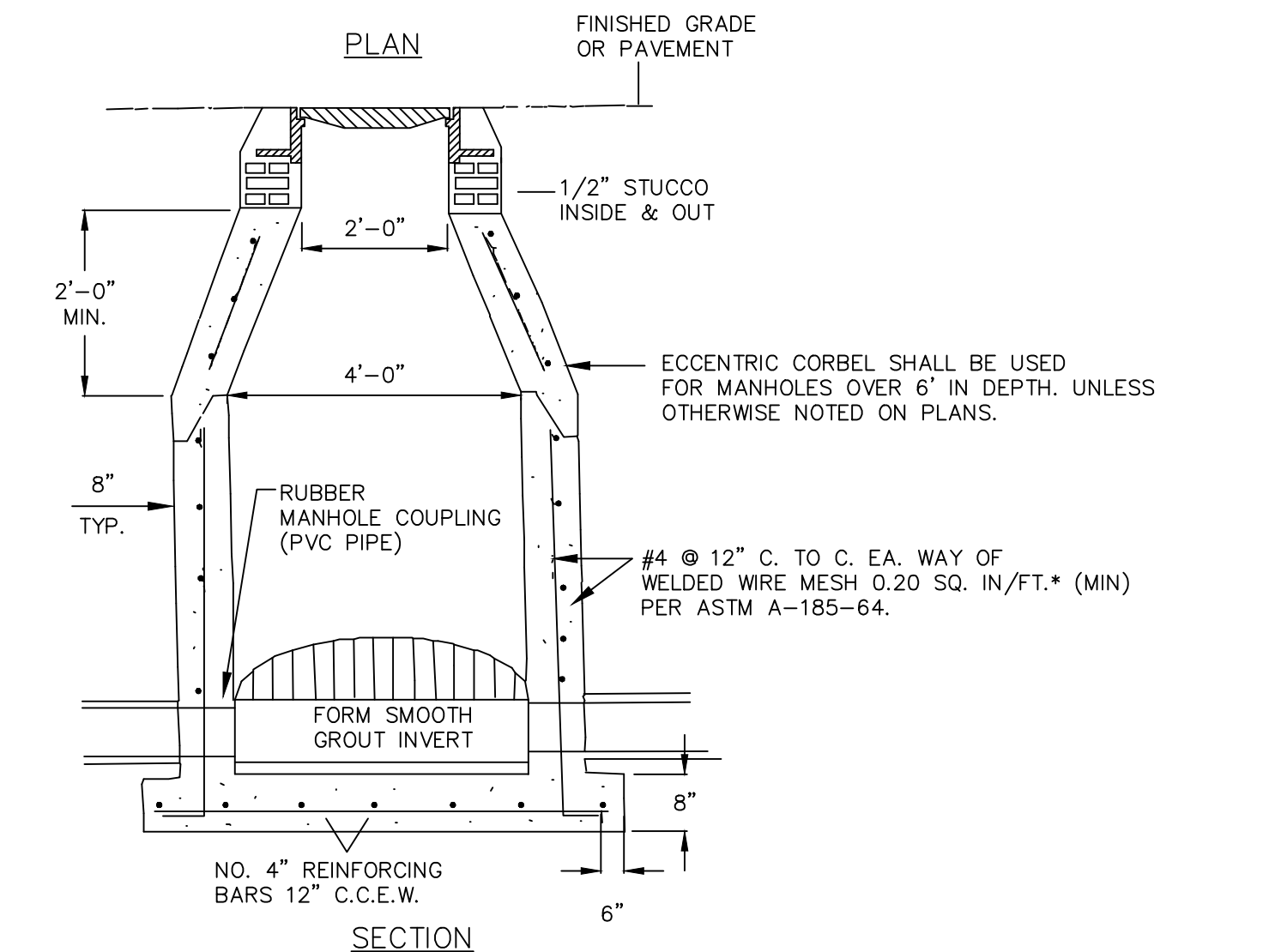
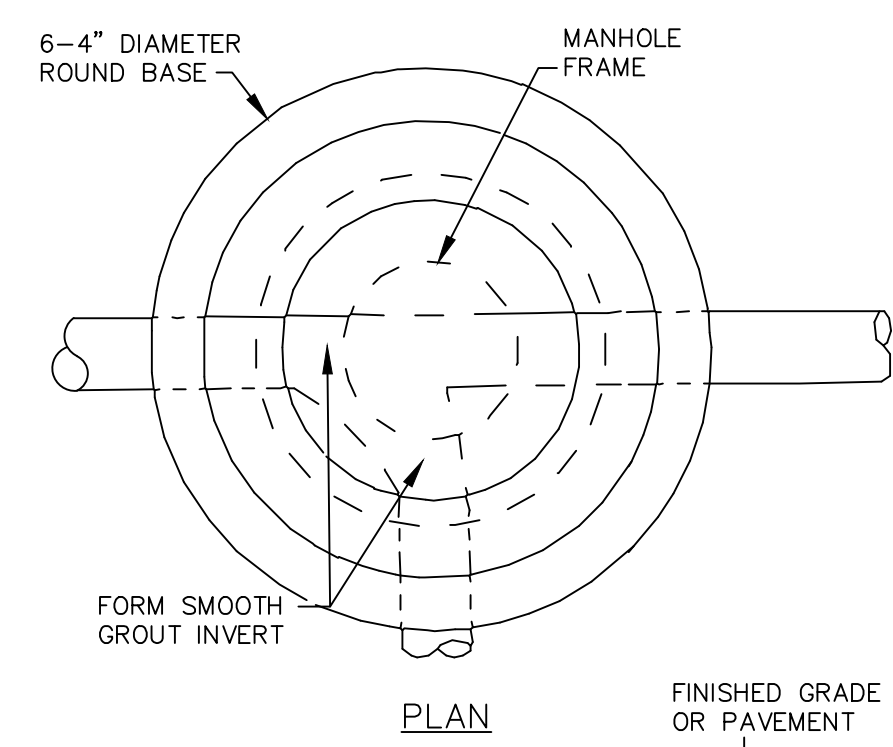
**ELECTRICAL  
DESCRPT**

- ELECT. OUTLET
- SPORTS LIGHT
- ELECT. PANEL
- PARKING LOT LIGHT
- PED. LIGHT
- PULLBOX
- ROADWAY LIGHT
- TRANSFORMER
- CONDUIT

RPB COMMONS ELECTRIC AS-BUILT





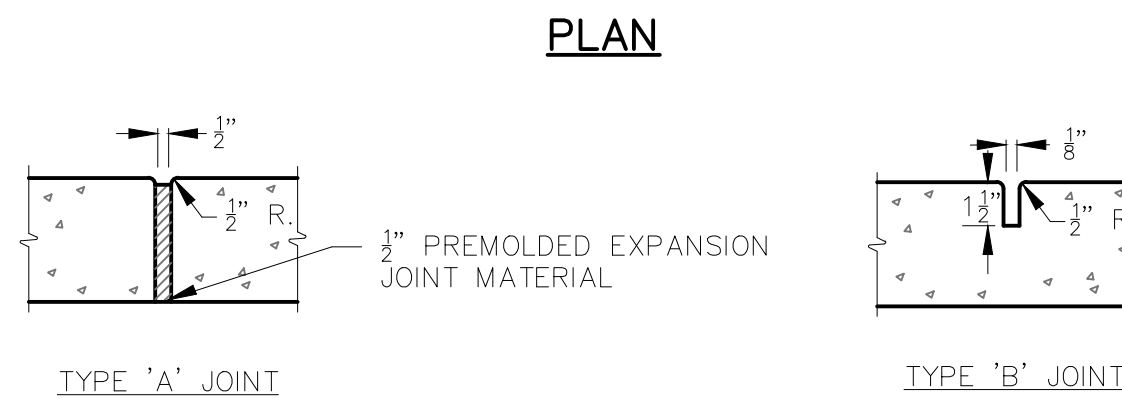
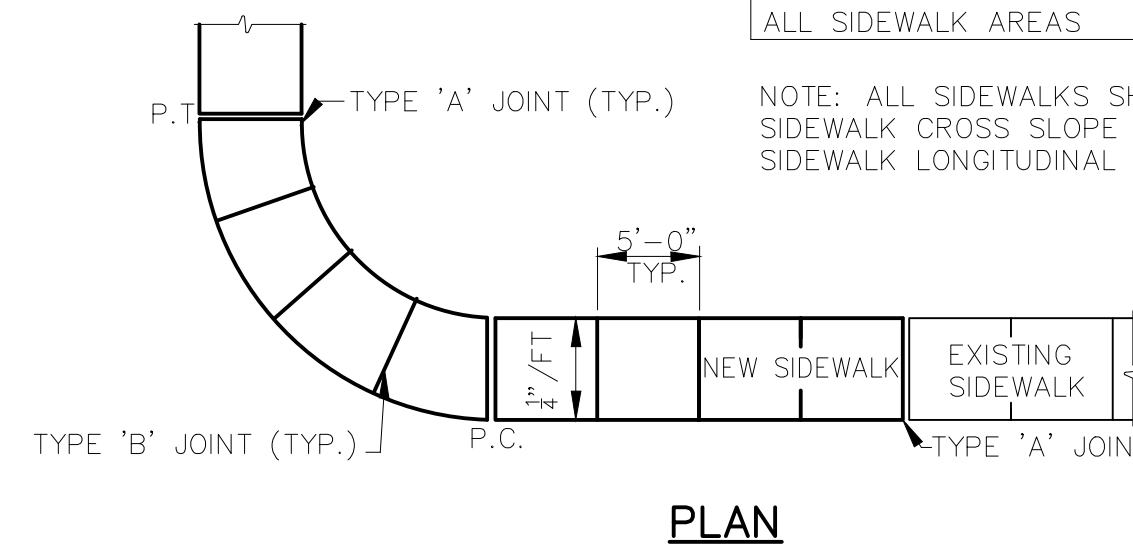


TYPICAL 4'-0" I.D. PRECAST MANHOLE

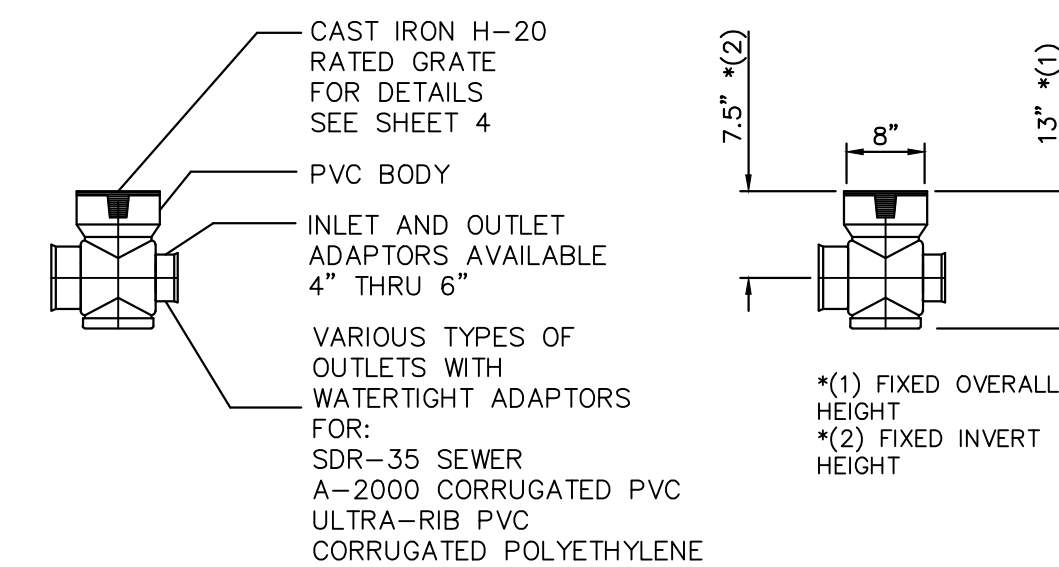
- MANHOLE FRAME AND COVER SHALL BE U.S.F. NO. 280, COVER SHALL HAVE RAISED LETTERS "SANITARY SEWER".
- PRECAST MANHOLE SHALL CONFORM TO ASTM SPEC. C-478, LATEST REVISION.
- MIN. OF 2 OR MAX. OF 5 COURSES OF 8" BRICK TO ADJUST MANHOLE FRAME TO FINISHED GRADE.
- SEE SEWER SYSTEM NOTES THIS PAGE FOR COATING REQUIREMENTS.
- ALL CONCRETE USED IN MANHOLE CONSTRUCTION SHALL HAVE TYPE II 4000 PSI CEMENT.
- STEEL SHALL BE GRADE 40 PER ASTM A-615.
- BASE SHALL BE POURED MONOLITHICALLY WITH MANHOLE WALL.

TABLE OF SIDEWALK THICKNESS	LOCATION	THICKNESS
ALL SIDEWALK AREAS		4"

NOTE: ALL SIDEWALKS SHALL MEET ADA STANDARDS. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%. SIDEWALK LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.

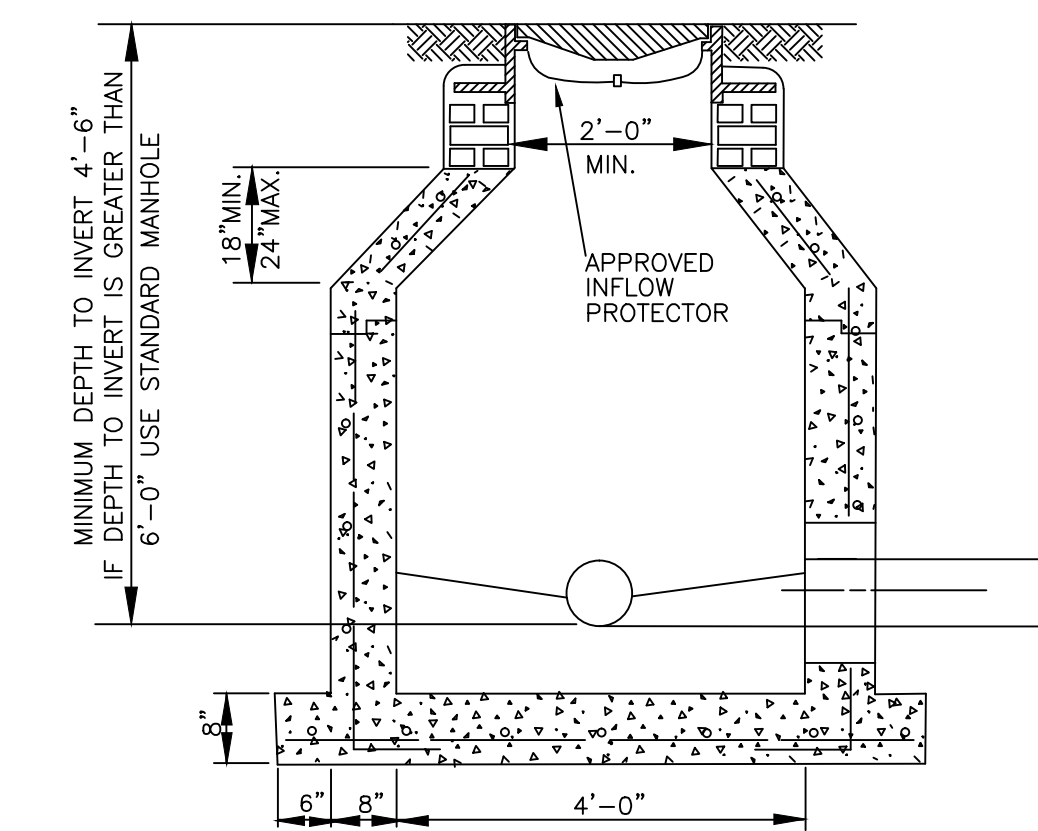


### CONCRETE SIDEWALK



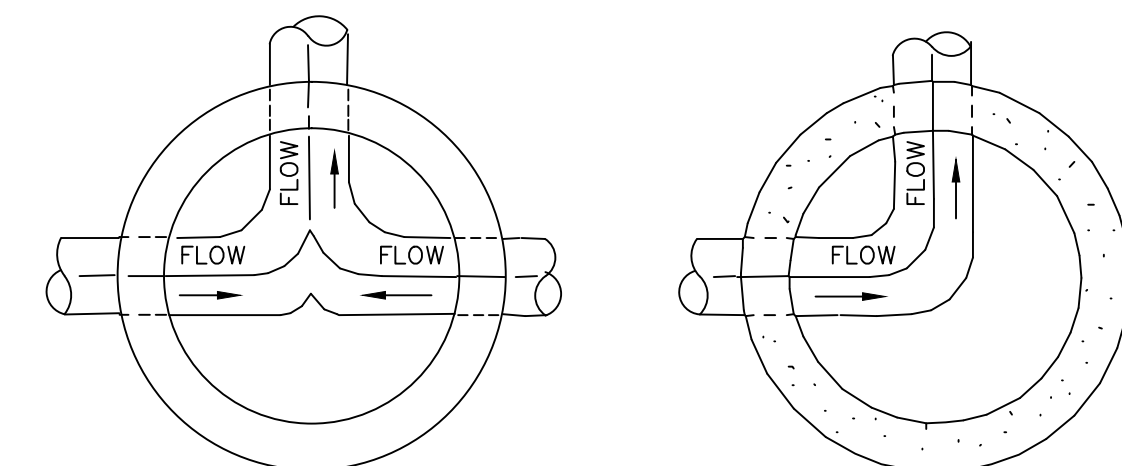
### 8" DRAIN BASIN

### NYLOPLAST DETAILS



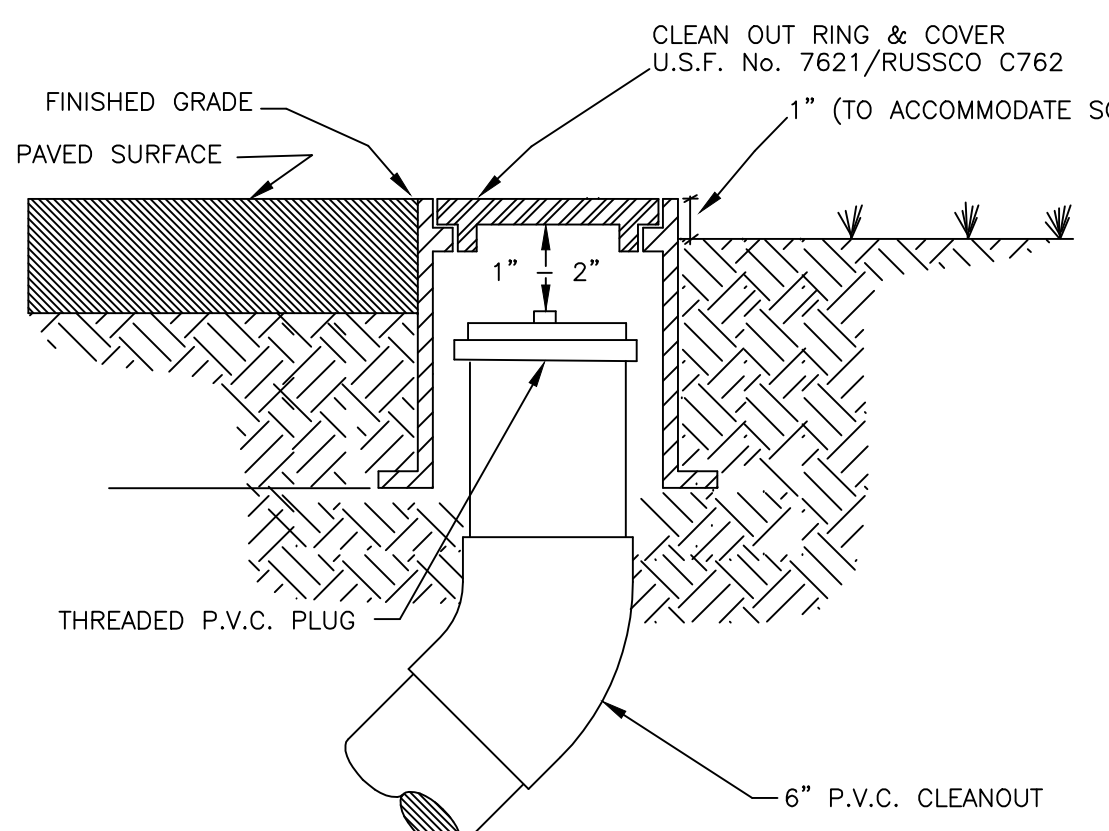
NOTE: ALL TYPICAL MANHOLE NOTES AND DETAILS ARE APPLICABLE.

### SHALLOW MANHOLE



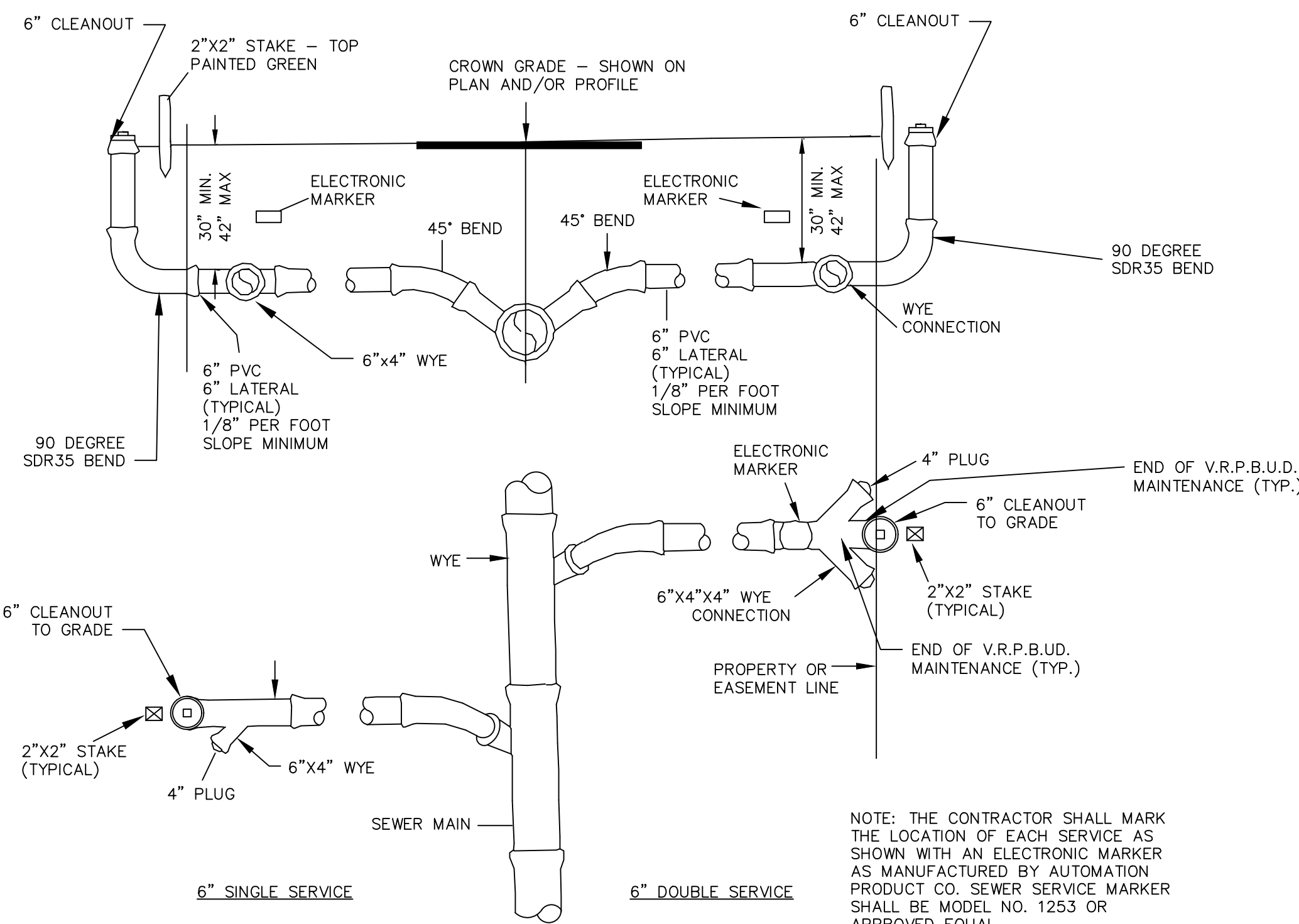
- NOTES:
- INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
  - SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOWS.
  - CHANNELS FOR FUTURE CONNECTIONS (STUB-OUTS) SHALL BE CONSTRUCTED, FILLED WITH SAND AND COVERED WITH 1" (ONE INCH) OF MORTAR.

### FLOW PATTERNS FOR INVERT CHANNELS



- CLEANOUTS TO BE LOCATED IN GRASS AREA WHENEVER POSSIBLE.
- CLEANOUTS SHALL NOT BE INSTALLED IN TRAFFIC LANES OR AREAS UNDER HEAVY TRAFFIC LOADS. CLEANOUTS SHALL NOT BE LOCATED IN DRIVEWAYS.
- THE COVER TO BE MARKED "S".
- CLEANOUTS TO BE INSTALLED PRIOR TO WATER METER RELEASE.
- NO 90° BENDS SHALL BE USED FOR CLEANOUT INSTALLATION.
- THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR CLEANOUT INSTALLATION PRIOR TO WATER METER INSTALLATION AS SPECIFIED BY THE DEPARTMENT.
- A CONCRETE COLLAR MAY BE REQUIRED IF CLEANOUT IS LOCATED BETWEEN DRIVEWAYS. SPECIAL CONSTRUCTION DETAIL WILL BE REQUIRED.

### TYPICAL CLEANOUT INSTALLATION



NOTE: THE CONTRACTOR SHALL MARK THE LOCATION OF EACH SERVICE AS SHOWN WITH AN ELECTRONIC MARKER AS MANUFACTURED BY AUTOMATION PRODUCT CO. SEWER SERVICE MARKER SHALL BE MODEL NO. 1253 OR APPROVED EQUAL.

### TYPICAL SERVICE CONNECTION

- #### SEWER SYSTEM NOTES
- PRECAST CONCRETE MANHOLES SHALL CONFORM TO THE REQUIREMENTS OF ASTM C478 AND 641. MANHOLES MUST BE INSPECTED BY THE UTILITY BEFORE UNLOADING.
  - CONCRETE FOR PRECAST MANHOLES OR CAST-IN-PLACE MANHOLES SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  - REINFORCING STEEL FOR MANHOLES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 AND A305, LATEST REVISION. SPLICES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
  - ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT THE TIME OF MANUFACTURE.
  - PRECAST MANHOLE SHOP DRAWINGS SHALL BE SUBMITTED TO THE UTILITY FOR APPROVAL PRIOR TO FABRICATION.
  - ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE AND SHALL REST ON A FIRM, CAREFULLY GRADED SUBGRADE WHICH SHALL PROVIDE UNIFORM BEARING UNDER BASE.
  - MANHOLE SECTIONS SHALL BE JOINED WITH A MASTIC COMPOUND PRODUCING A WATERTIGHT BOND. THE REMAINING SPACE SHALL BE FILLED WITH CEMENT MORTAR AND FINISHED SO AS TO PRODUCE A SMOOTH CONTINUOUS SURFACE INSIDE AND OUTSIDE THE WALL SECTIONS.
  - ALL SPACES AROUND PIPES ENTERING OR LEAVING MANHOLES SHALL BE COMPLETELY FILLED WITH EMBECCO MORTAR (NON-METALLIC) OR BONSAL (NON-SHRINKING).
  - COATING: SURFACE PREPARATION, PRIMING, AND APPLICATION OF ALL COATING SHALL BE IN STRICT CONFORMANCE TO ALL COATING MANUFACTURER'S RECOMMENDATIONS. THE FOLLOWING COATING SYSTEMS APPLY TO ALL CONCRETE STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, WET WELLS, AND VALVE PITS. ALL COATINGS TO BE INSTALLED BY A CONTRACTOR CERTIFIED BY THE MANUFACTURER.
    - PIPES, VALVES & HARDWARE INSIDE THE WET WELL AND VALVE PIT SHALL BE COATED WITH ALUMINUM PLY MASTIC EPOXY FROM NAB BRUDER & SONS, INC. (5 MILS MIN)
    - THE INSIDE AND OUTSIDE OF THE MANHOLE, WET WELL, AND VALVE PIT AND ASSOCIATED STRUCTURES, INCLUDING THE CONCRETE FILLETS SHALL BE COATED WITH ONE OF THE FOLLOWING:
      - FOSROC EPOXY LINER HBS; 25 MILS ON THE OUTSIDE SURFACE AND 50 MILS ON THE INSIDE SURFACE.
      - MAINSTAY DS-5 EPOXY COATING AS MANUFACTURED BY MADEWELL; 75 MILS ON INSIDE SURFACE, JOINTS ARE TO BE GROUTED WITH MAINSTAY ML-72 MICROSILICA CEMENT MORTAR. CONCRETE SURFACES SHALL BE PRIMED WITH MADE WELL 927 EPOXY PRIMER/SEALER. NO COATING IS REQUIRED ON OUTSIDE SURFACES WHEN INSIDE SURFACE IS COATED WITH MAINSTAY DS-5.
      - AGRU-LINER "SURE-GRIP" HDPE THERMO-PLASTIC LINER AS MANUFACTURED BY U.S. ENVIRONMENTAL SERVICES, INC. THE INSIDE SURFACE OF THE STRUCTURE SHALL BE LINED WITH AGRU-LINER AT THE TIME OF CASTING OF THE STRUCTURE. THE BENCH OF THE WET WELL OR MANHOLE SHALL BE COATED WITH EITHER 50 MILS OF FOSROC EPOXY LINER OR 75 MILS OF MAINSTAY DS-5 EPOXY COATING.
  - ALL GRAVITY SEWER SHALL BE PVC NON-PRESSURE PIPE AND SHALL CONFORM TO ASTM D3034, SDR 35, LATEST REVISION. MAXIMUM 13' LENGTHS WITH PUSH-ON RUBBER GASKET JOINTS. MINIMUM COVER SHALL BE 36" DIP USED IN GRAVITY SEWER SHALL BE C150 EPOXY LINED CONFORMING TO THE REQUIREMENTS OF AWWA-C151, LATEST REVISION.
  - THE MINIMUM ACCEPTED SLOPES FOR PVC OR EPOXY LINED DIP GRAVITY SEWER ARE AS FOLLOWS: 8" - 0.40%, 10" - 0.26%, 12" - 0.22%.
  - PVC LINES ENTERING OR LEAVING MANHOLES SHALL HAVE RUBBER MANHOLE COUPLINGS.
  - CONNECTING TO THE EXISTING SYSTEM: ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE UTILITIES DEPARTMENT. FORCE MAIN VALVES SEPARATING THE MAINS BEING INSTALLED FROM THE EXISTING MAINS SHALL BE OPERATED BY OR UNDER THE DIRECTION OF THE UTILITIES DEPARTMENT REPRESENTATIVE ONLY.
  - THE CONTRACTOR SHALL TEST THE COMPLETED SEWER TO DETERMINE ALIGNMENT AND TIGHTNESS OF THE JOINTS. TESTING SHALL BE OBSERVED BY THE VILLAGE INSPECTOR. ALL SEWERS SHALL BE LAMPED AND MUST SHOW A FULL CIRCLE OF LIGHT. INFILTRATION AND EXFILTRATION TESTING SHALL BE CONDUCTED. LEAKAGE SHALL NOT EXCEED 76 GALLONS PER INCH DIAMETER PER MILE PER DAY.
  - MARKER TAPE SHALL BE INSTALLED WITH NEW FORCE MAINS CONTINUOUSLY, FOR THE ENTIRE LENGTH OF THE LINE. THE TAPE SHALL BE METALLIZED AND SHALL BE IMPRINTED WITH THE CONTINUOUS MESSAGE "CAUTION-SEWER MAIN BURIED BELOW". THE TAPE MUST CONFORM TO ALLEN SYSTEMS, INC. DETECTATAPE OR AN APPROVED EQUAL. MINIMUM WIDTH SHALL BE 3" AND MAXIMUM DEPTH OF BURIAL SHALL BE 18".

- #### WATER SYSTEM NOTES
- WATER SERVICE PIPING SHALL BE POLYETHYLENE (P.E. 3406), WATER SERVICE TUBING (C.T.S.) CONFORMING TO ASTM D1248 AND D2737 WITH SDR OF 9.
  - ALL WATER METER SERVICE CONNECTIONS SHALL BE BRONZE FROM PLUG VALVE TO PLUG VALVE. NO GATE VALVES ARE TO BE USED (2" OR LESS).
  - PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
  - ALL TRENCHING, PIPE LAYING, BACKFILLING, PRESSURE TESTING AND DISINFECTING MUST COMPLY WITH THE TECHNICAL SPECIFICATIONS OF THE UTILITY DEPARTMENT OF THE VILLAGE OF ROYAL PALM BEACH.
  - ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE UTILITY DEPARTMENT.
  - ALL PIPE, ETC. SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 PSI FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS PER AWWA SPECIFICATIONS OF C800-82 LEAKAGE FORMULA:
 
$$Q = SD \frac{P}{133,200}$$

Q = ALLOWABLE LEAKAGE IN GALLONS PER HOUR  
S = TOTAL LENGTH OF PIPE TESTED IN FEET  
D = DIAMETER OF THE PIPE TESTED IN INCHES  
P = AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH
  - THE MINIMUM DEPTH OF COVER FOR WATER MAINS IS 30" EXCEPT IN THE CASE OF PVC PIPE WHICH REQUIRES A MINIMUM DEPTH OF COVER OF 36".
  - DISINFECTING OF MAINS SHALL COMPLY WITH AWWA C801-81 STANDARD. BACTERIOLOGICAL SAMPLING POINTS SHALL BE DESIGNATED ON THE ENGINEERING PLANS.
  - MARKER TAPE:  
MARKER TAPE SHALL BE INSTALLED WITH ALL NEW WATER MAINS CONTINUOUSLY, FOR THE ENTIRE LENGTH OF THE LINE. THE TAPE SHALL BE METALLIZED AND SHALL BE IMPRINTED WITH THE CONTINUOUS MESSAGE "CAUTION-WATER MAIN BURIED BELOW". THE TAPE MUST CONFORM TO ALLEN SYSTEMS, INC. DETECTATAPE OR AN APPROVED EQUAL. MINIMUM WIDTH SHALL BE 3" AND MAXIMUM DEPTH OF BURIAL SHALL BE 18".

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ROYAL PALM BEACH AMPHITHEATRE  
ROYAL PALM BEACH COMMONS PARK  
ENGINEERING DETAILS

A Higher Standard of Excellence.

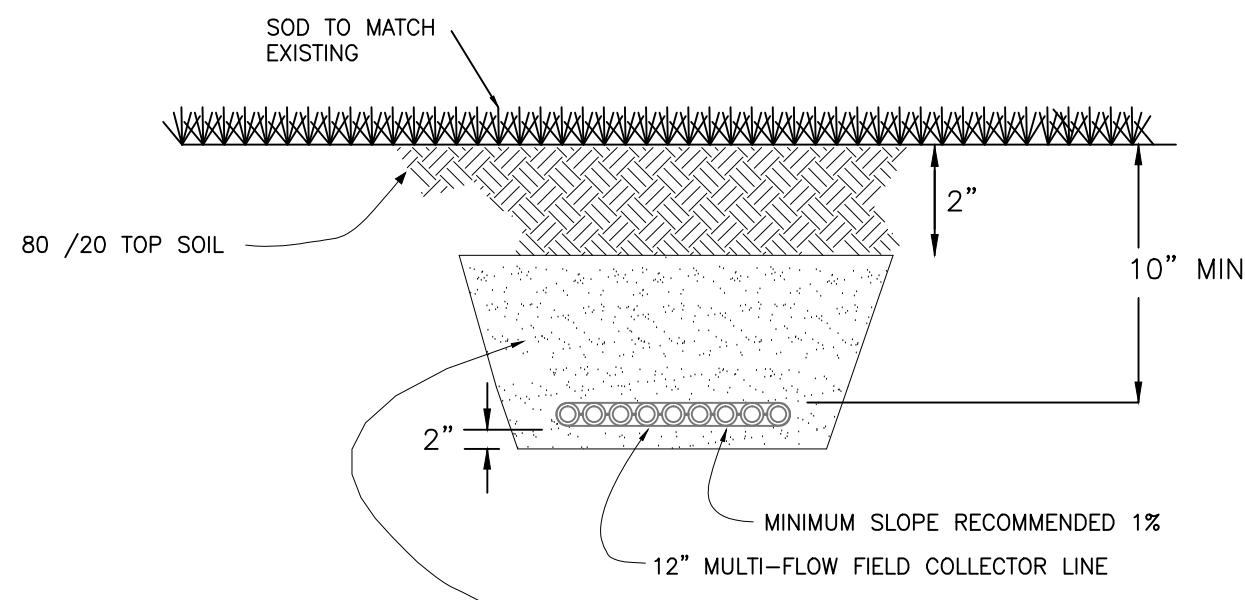
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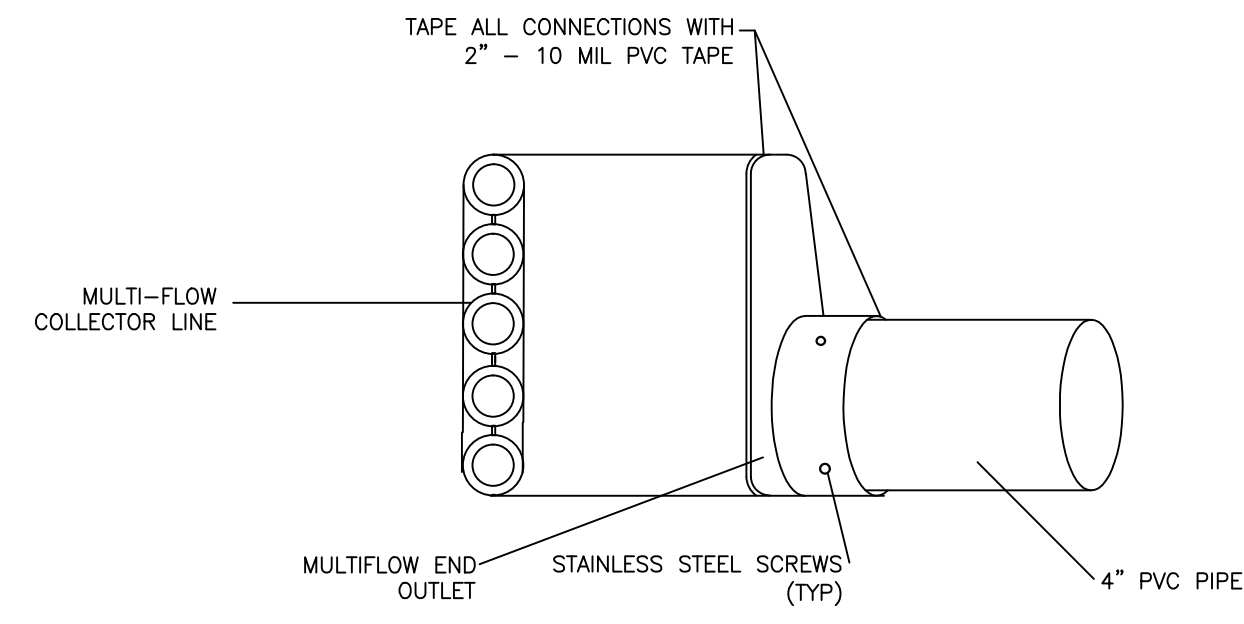




NOTE:  
 1. THE MULTI-FLOW WILL JOIN TOGETHER, USING THE APPROPRIATE COUPLER. AT EACH OF THE COUPLED LOCATIONS, 2" PVC TAPE SHALL BE USED TO SECURE THE GEOTEXTILE, TO THE CONNECTION.  
 2. 6" MULTI-FLOW MODEL #06001 AS MANUFACTURED BY VARICORE TECHNOLOGIES, OR APPROVED EQUAL.

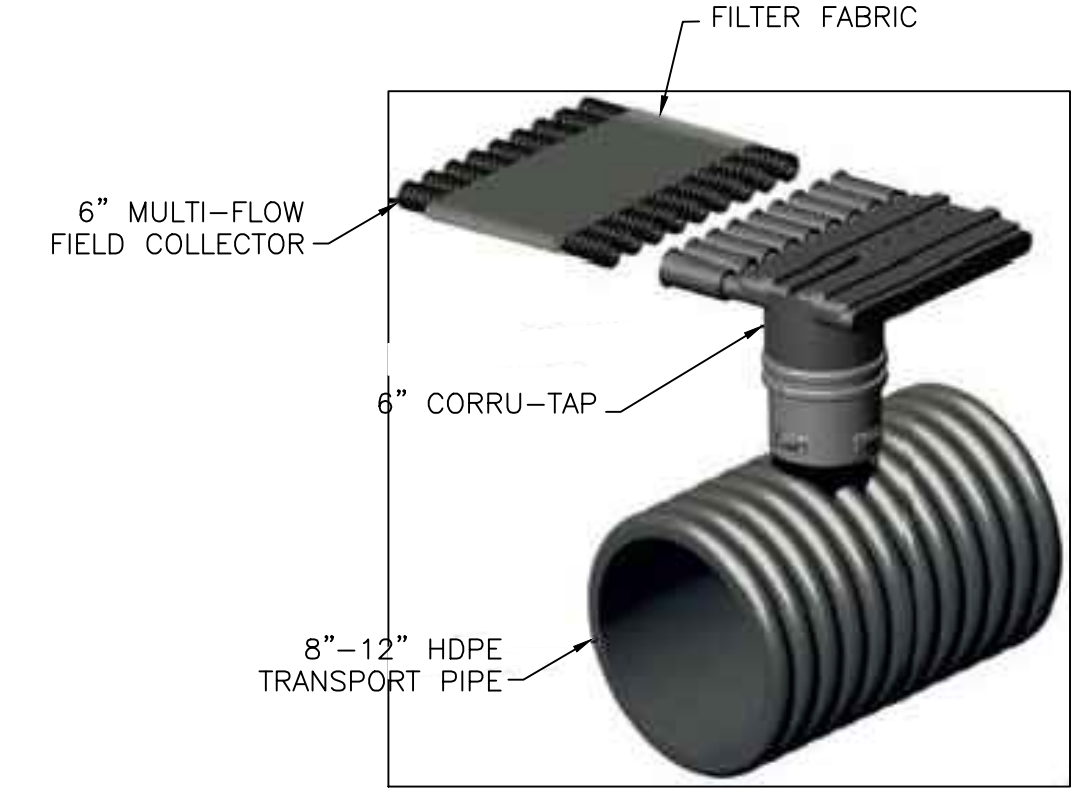
USDA "VERY COURSE" SAND BACKFILL, LESS THAN 5% RETAINED ON A #10 US STANDARD SIEVE, LESS THAN 5% PASSING A #30 US STANDARD SIEVE. NO MORE THAN 1% SHOULD PASS THROUGH A #50 US STANDARD SIEVE.

**MULTI-FLOW TRENCH DETAILS**



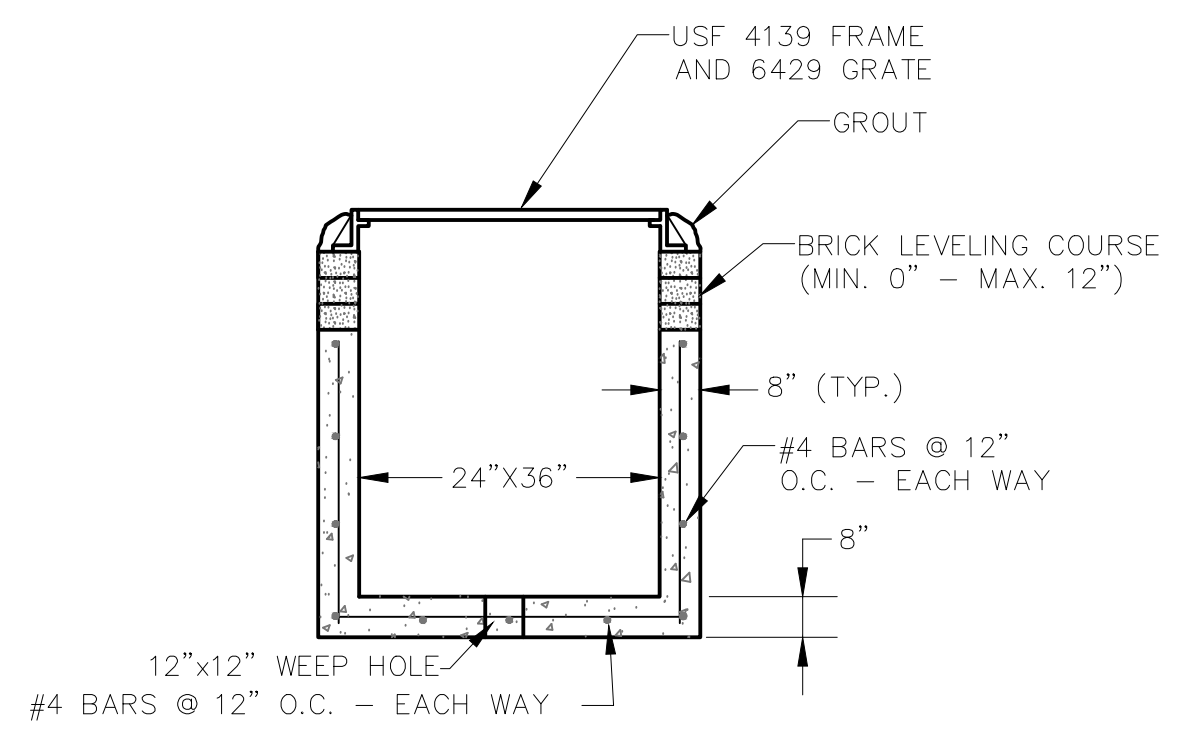
**MULTI-FLOW OUTLET CONNECTION**  
 OR APPROVED EQUAL

NOTE: THE CONNECTORS USED WITH THE COLLECTION SYSTEM SHALL BE OF A SNAP TOGETHER DESIGN. IN NO CASE SHALL ANY PRODUCT BE JOINED WITHOUT THE USE OF THE MANUFACTURER'S CONNECTOR DESIGNED SPECIFICALLY FOR THE PURPOSE.

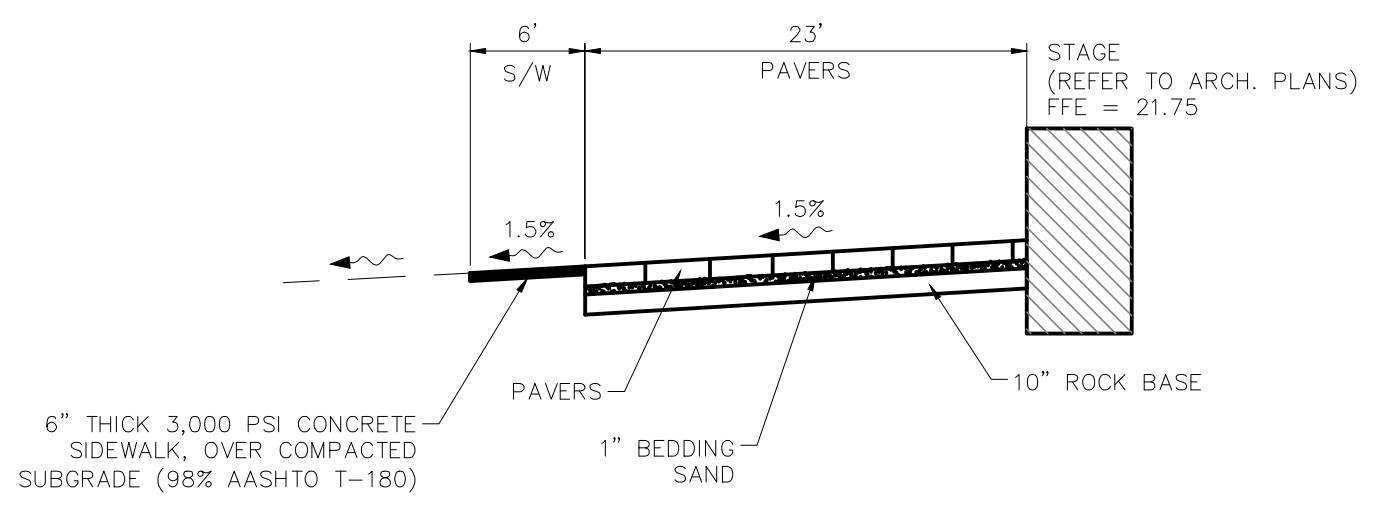


**MULTI-FLOW CONNECTION DETAILS**

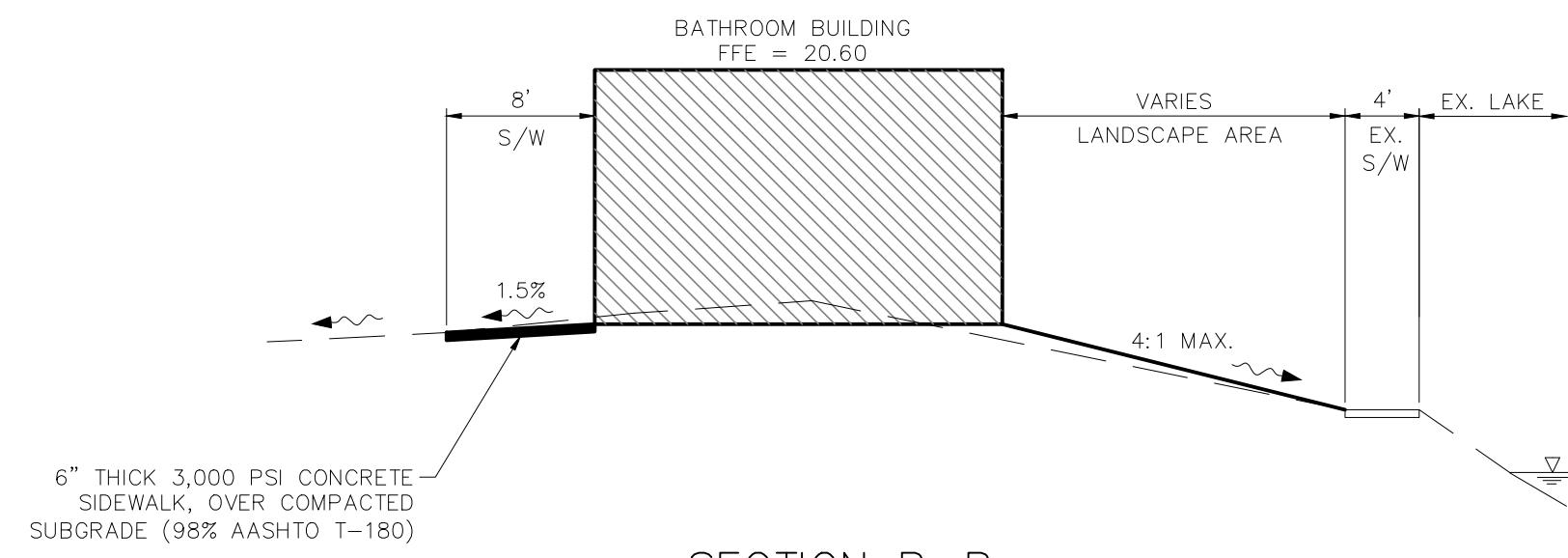
NOTES:  
 1. SYSTEM WILL BE COMPRISED OF 6" LINES ON PLAYING SURFACE, SPACED 20 FT. (FITTING-TO-FITTING).  
 2. THE MULTI-FLOW WILL JOIN TOGETHER, USING THE APPROPRIATE COUPLER. AT EACH OF THE COUPLED LOCATIONS, 2" PVC TAPE SHALL BE USED TO SECURE THE GEOTEXTILE, TO THE CONNECTION.



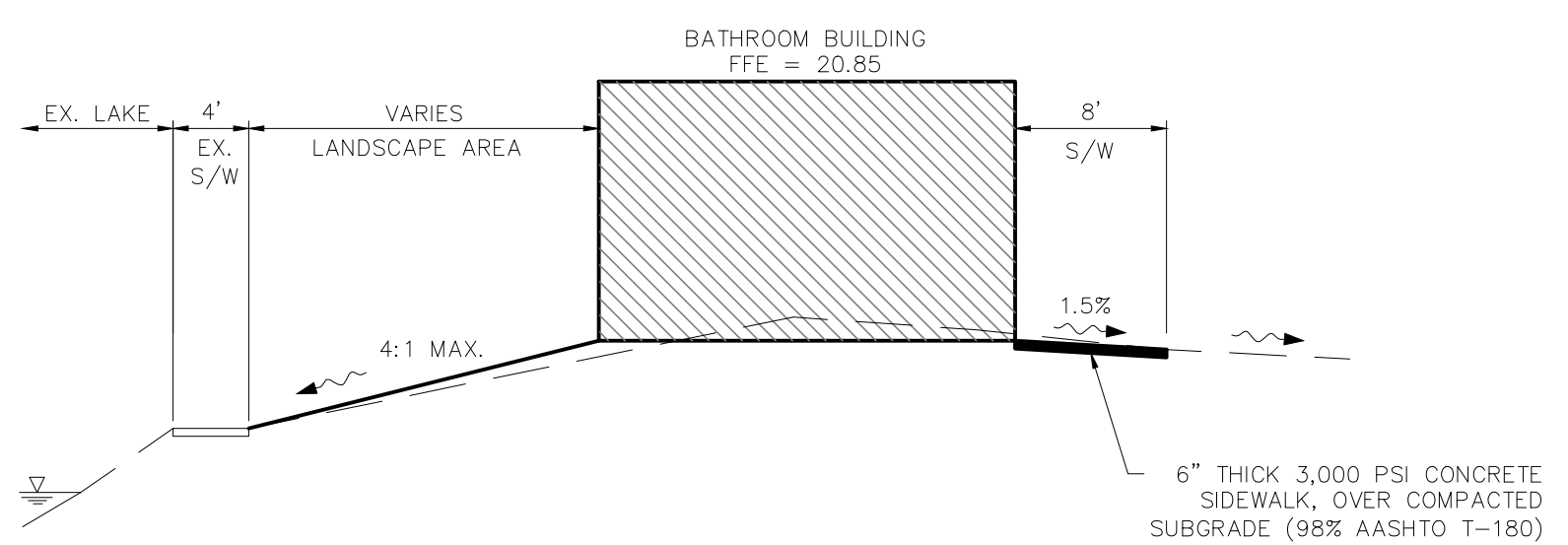
**DRAINAGE INLET - TYPE C1**



**SECTION A-A**



**SECTION B-B**



**SECTION C-C**

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**ROYAL PALM BEACH AMPHITHEATRE  
 ROYAL PALM BEACH COMMONS PARK  
 ENGINEERING DETAILS**

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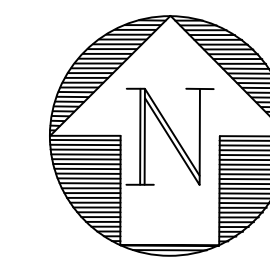
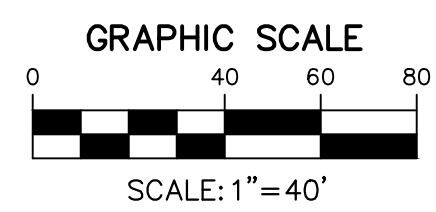
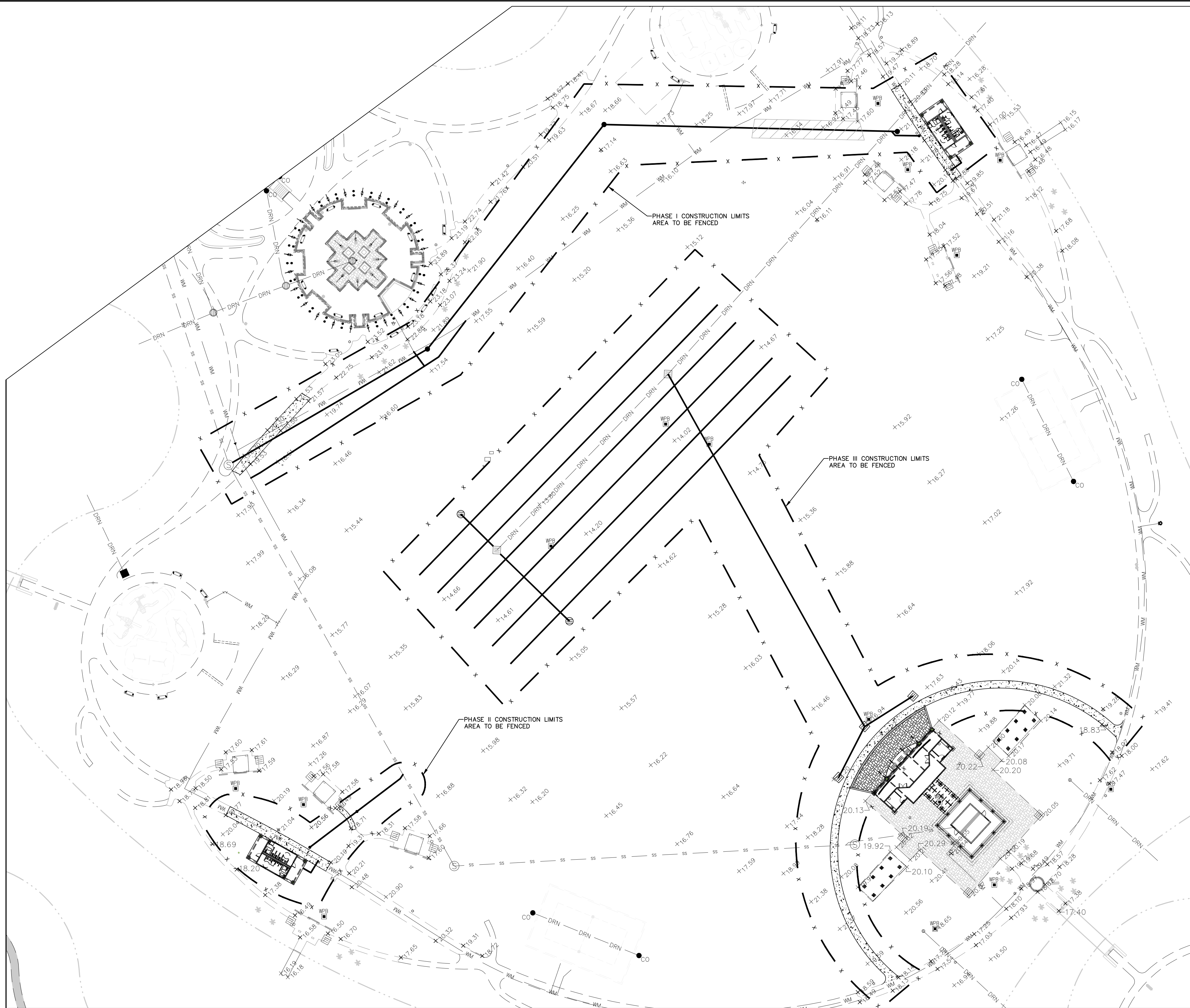
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LOCATION MAP  
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ROYAL PALM BEACH COMMONS PARK  
PHASING AND SAFETY PLAN

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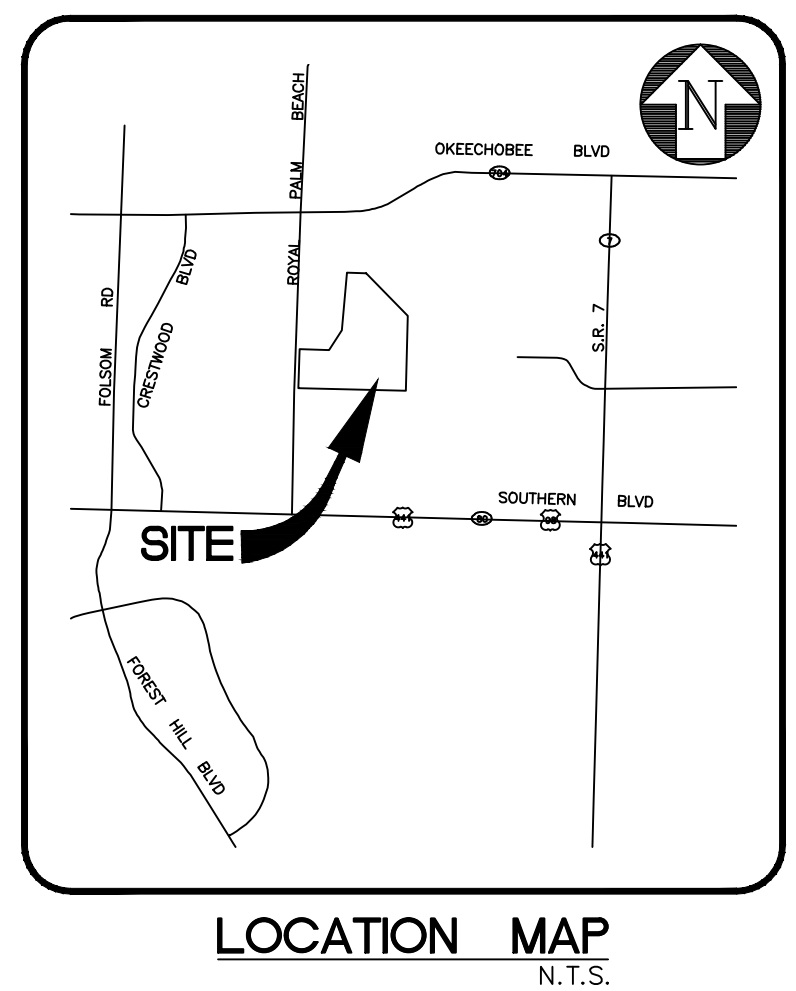
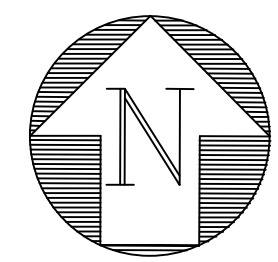
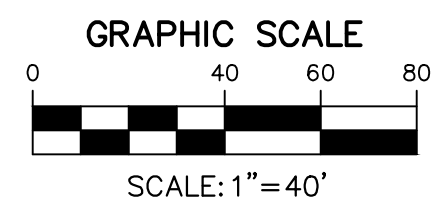
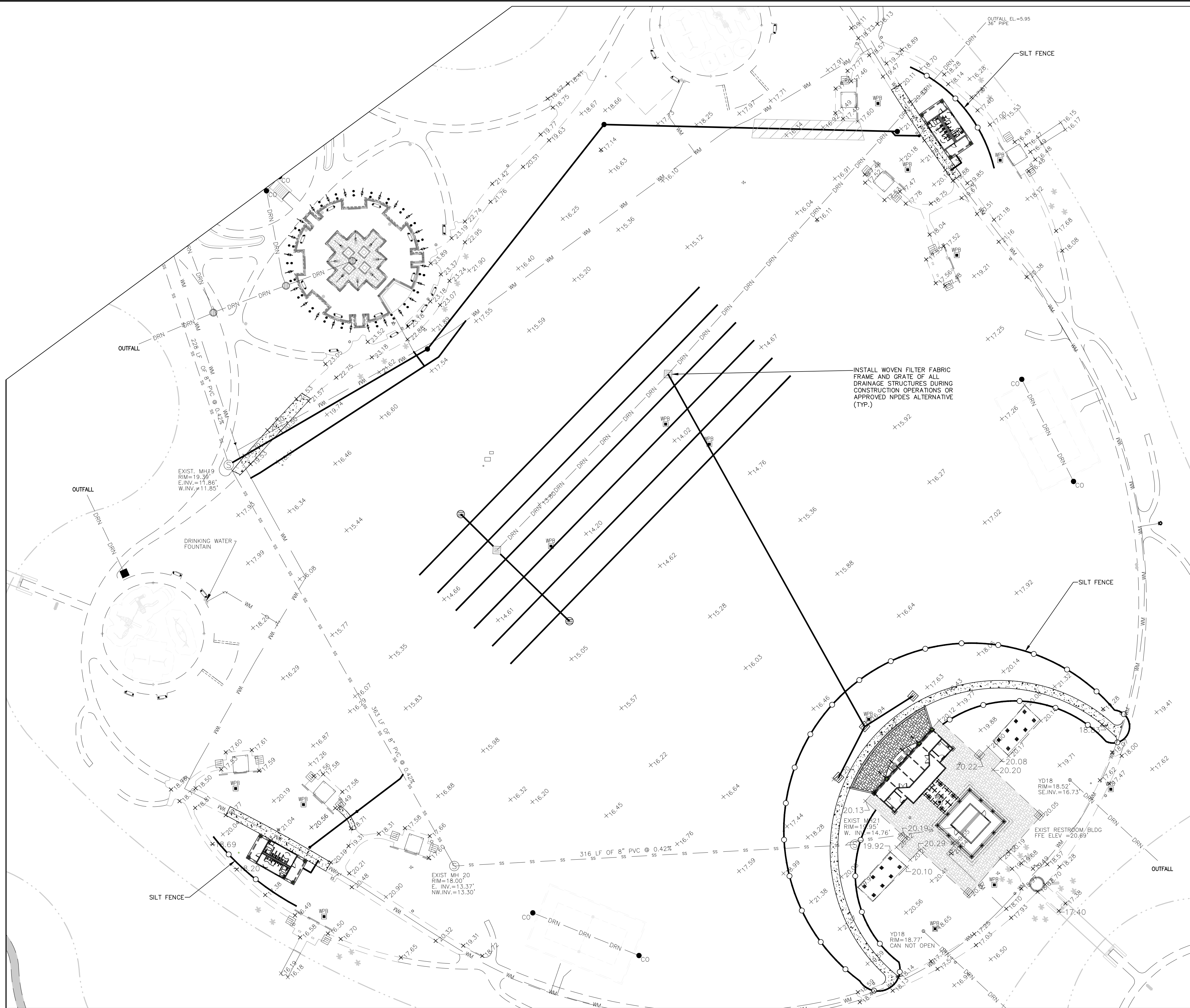
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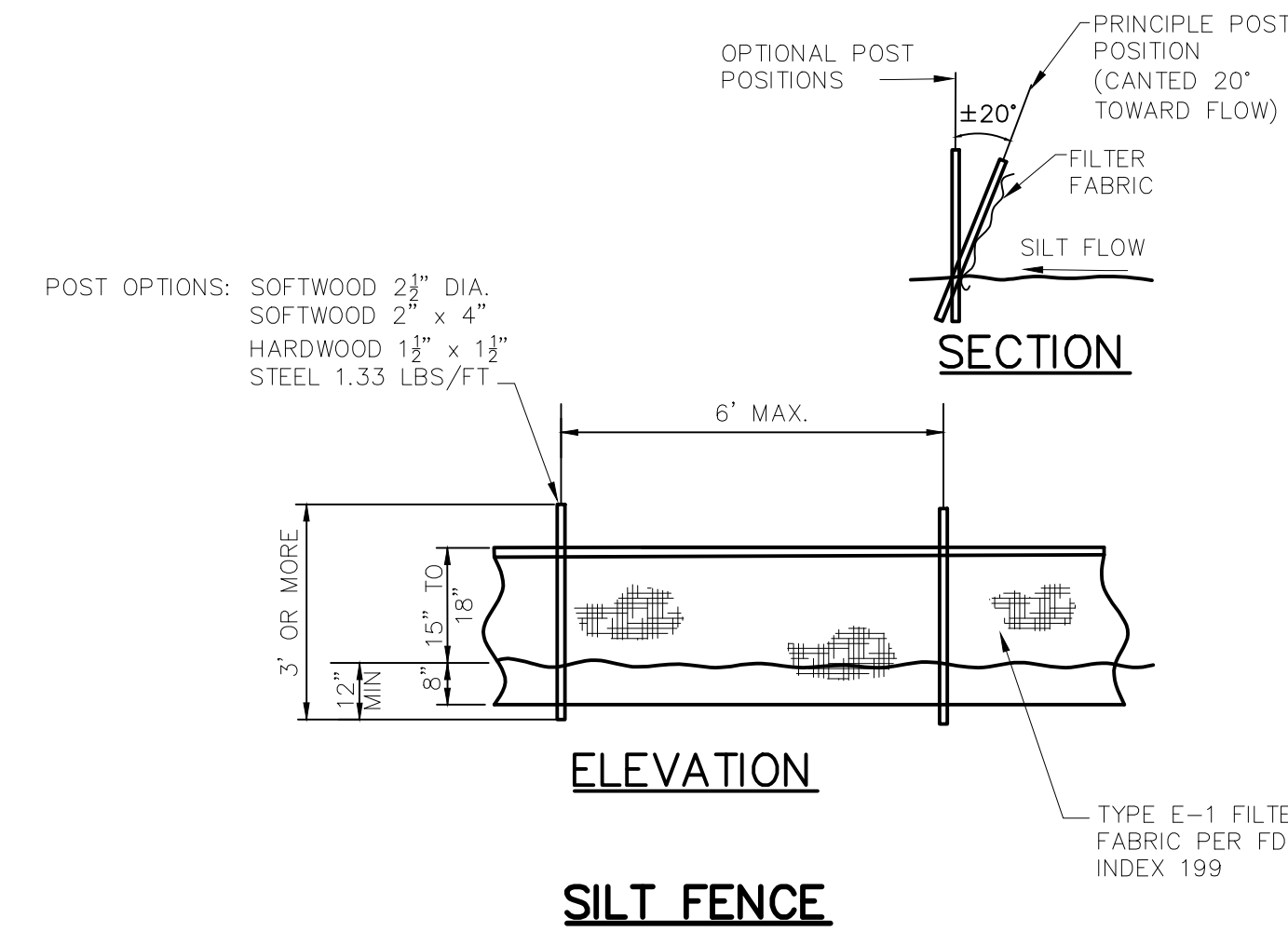
JOB NO. 16035.01



J:\LAND PROJECTS\R2\16035.01\RPB AMPHITHEATER\16035.01\_ENG\_2.DWG 8/18/2016



- NOTES:
- PROVISIONS FOR CONTROL OF POLLUTION
    - SUFFICIENT PRECAUTIONS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT THE RUN-OFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMENS OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO THE SUPPLIES AND SURFACE WATERS OF THE STATE OF FLORIDA. CONTROL MEASURES MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED MORE THAN 20 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND UNLESS OTHERWISE PERMITTED. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION. EROSION EVIDENT WITHIN THE LIMITS OF CONSTRUCTION OR OTHER AREAS AFFECTED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
    - FILL OUT A NOTICE OF INTENT FORM (FDEP FORM 62-621.300(4)(B)) AND SUBMIT IT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
    - EXCAVATION OF WATER MANAGEMENT FACILITIES SHOULD OCCUR IMMEDIATELY AFTER CLEARING AND GRUBBING TO SERVE AS A SEDIMENT TRAP OR CATCHMENT FOR STORMWATER RUNOFF FROM EXPOSED SOILS.
    - CONSTRUCT PERIMETER BERM OR GRADE SITE TO PREVENT OFF-SITE DISCHARGE OF STORMWATER RUNOFF.
    - PLACE SILT FENCES OR HAY BALES TO CONTAIN EROSION IN AREAS PRONE TO STORMWATER RUNOFF EROSION VELOCITIES.
    - PROTECT EACH INLET THAT MAY RECEIVE RUNOFF FROM THE CONSTRUCTION SITE WITH SILT FENCE/FILTER FABRIC STAKED IN PLACE.
    - INSTALL TURBIDITY SCREENS WITHIN THE RECEIVING BODY BEFORE COMMENCEMENT OF BANK IMPROVEMENTS AND OUTFALL INSTALLATIONS.
    - TAKE ALL REASONABLE PRECAUTIONS TO CONTROL DUST AND UNCONFINED PARTICULATE MATTER. THE APPLICATION OF WATER IS AN ACCEPTABLE DUST SUPPRESSANT ON ROADWAYS, STOCKPILES, AND ANY OTHER AREAS WITHIN THE PROJECT BOUNDARIES. DUST SUPPRESSANT WATER SHALL BE APPLIED IN SUCH A MANNER SO AS NOT TO PRODUCE EXCESS RUNOFF AND EROSION.
    - TURBIDITY IN RECEIVING WATER SHALL NOT BE INCREASED MORE THAN 20 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND.
    - TAKE PRECAUTIONS IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.
  - OTHER CONTROLS AND MATERIAL MANAGEMENT PRACTICES
    - FERTILIZERS - APPLY FERTILIZERS ONLY IN THE MINIMUM AMOUNT RECOMMENDED BY THE MANUFACTURER. IF STORED ON-SITE, PROVIDE COVERED STORAGE. TRANSFER THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER TO A SEALABLE CONTAINER TO AVOID SPILLS.
    - HAZARDOUS WASTE - DISPOSE OF IN A MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS.
    - NOISE - MINIMIZE NOISE CAUSED BY THE OPERATION OF EQUIPMENT. ABIDE BY ALL LOCAL REGULATIONS COVERING NOISE CONTROL.
    - ODORS - DO NOT CAUSE OBJECTIONABLE ODORS TO BE GENERATED.
    - OFFSITE VEHICLE TRACKING - PROVIDE A ROCK CONSTRUCTION ENTRANCE TO REDUCE VEHICLE TRACKING OF SEDIMENTS. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARP/AULIN.
    - OPEN BURNING - NO OPEN FIRES OR BURNING OF MATERIALS OTHER THAN VEGETATIVE LAND CLEARING DEBRIS. OBTAIN PRIOR APPROVAL TO BURN FROM THE LOCAL AUTHORITY AND APPLICABLE FIRE MARSHALL.
    - PAINTS - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO THE PAINT MANUFACTURER'S INSTRUCTIONS AND STATE OR LOCAL REGULATIONS.
    - PESTICIDES AND HERBICIDES - ANY PESTICIDE AND HERBICIDE USAGE WILL BE BY STATE LICENSED APPLICATORS.
    - PETROLEUM PRODUCTS - MONITOR ONSITE VEHICLES AND TANKS FOR LEAKS. THEY SHALL RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. STORE PETROLEUM PRODUCTS IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. USE ASPHALT SUBSTANCES ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
    - PROVIDE SECONDARY CONTAINMENT FOR ALL ABOVE GROUND FUEL TANKS.
    - SANITARY WASTE - COLLECT ALL SANITARY WASTE FROM THE PORTABLE UNITS AT LEAST TWICE PER WEEK.
    - WASTE MATERIALS - COLLECT AND STORE ALL WASTE MATERIALS IN A SECURELY COVERED METAL DUMPSTER PROVIDED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. DEPOSIT ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE IN THE DUMPSTER. THE DUMPSTER IS TO BE EMPTIED AS NEEDED SO THERE IS NO OVERFLOW. HAUL TRASH TO A STATE APPROVED LANDFILL FACILITY.
  - MAINTENANCE / INSPECTION PROCEDURES
    - INSPECT ALL CONTROL MEASURES AT LEAST ONCE PER WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
    - MAINTAIN ALL MEASURES IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT MUST BE INITIATED WITHIN 24 HOURS OF THE ONSITE INSPECTION REPORT.
    - REMOVE BUILT UP SEDIMENT FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
    - INSPECT SILT FENCE FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
    - PREPARE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS FOUND AT THE END OF THIS SECTION.
    - THE CONTRACTOR SHALL DESIGNATE A QUALIFIED PERSON TO BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND COMPLETING THE INSPECTION AND MAINTENANCE REPORTS.
    - NON-STORMWATER DISCHARGES ARE PERMISSIBLE PROVIDED THAT DISCHARGE DOES NOT CAUSE EROSION OR CREATE TURBIDITY WITHIN THE RECEIVING BODY AND ARE IN COMPLIANCE WITH REGULATORY REQUIREMENTS. THESE DISCHARGES MAY INCLUDE WATER LINE FLUSHING, FIRE FIGHTING ACTIVITIES, FIRE HYDRANT FLUSHING, DUST CONTROL, IRRIGATION DRAINAGE, AIR CONDITIONING CONDENSATION, AND WATER USED TO SPRAY OFF LOOSE SOLIDS FROM VEHICLES.



ROYAL PALM BEACH AMPHITHEATRE  
ROYAL PALM BEACH COMMONS PARK  
EROSION CONTROL PLAN

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ADAM SWANEY, P.E.  
FLORIDA LICENSE NO. 72235

NO. DATE REMARKS

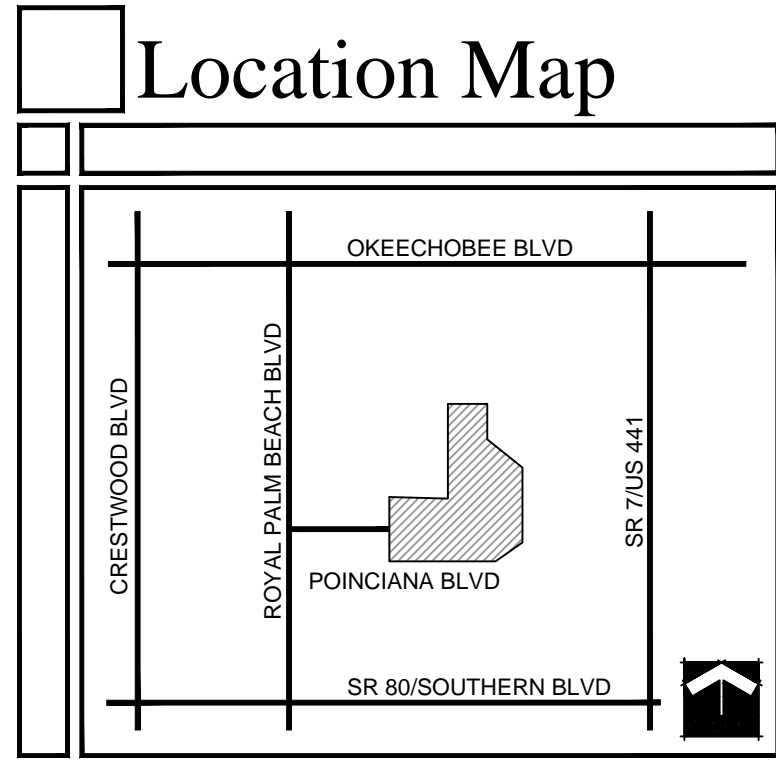
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DATE 06/17/2016  
DRAWN ETLB  
PROJECT ENGINEER ACS  
PROJECT MANAGER ACS  
CHECKED

JOB NO. 16035.01

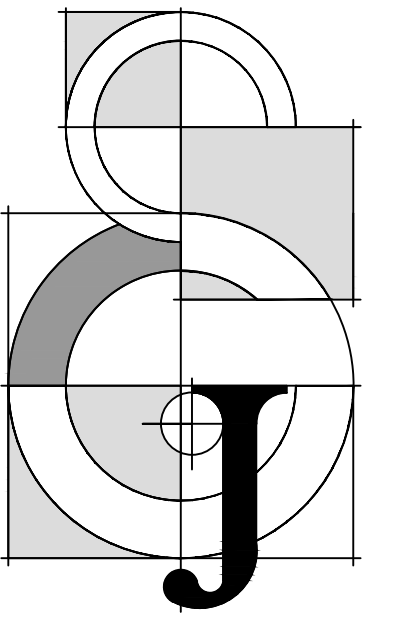
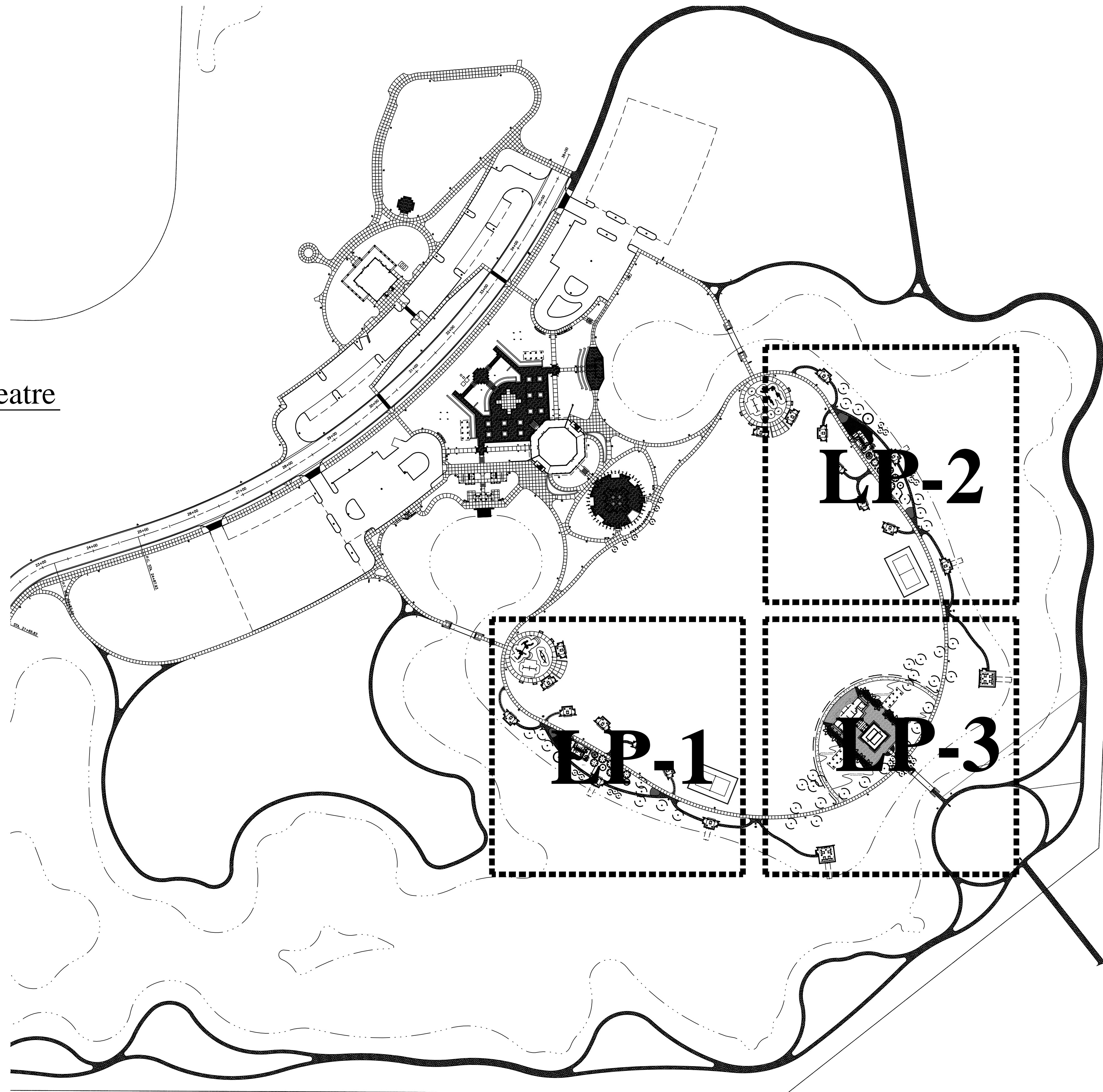
WWW.ENGENUITYGROUP.COM CERTIFICATE OF AUTHORIZATION #7095

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**Royal Palm Beach Amphitheatre**

- LI-1 Landscape Plan Index
- LP-1 South Restroom Landscape Plan
- LP-2 North Restroom Landscape Plan
- LP-3 Amphitheatre Landscape Plan
- LP-4 Landscape Specifications



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 License No.: LC26000232

# Royal Palm Beach Amphitheatre

The Village of Royal Palm Beach, Florida

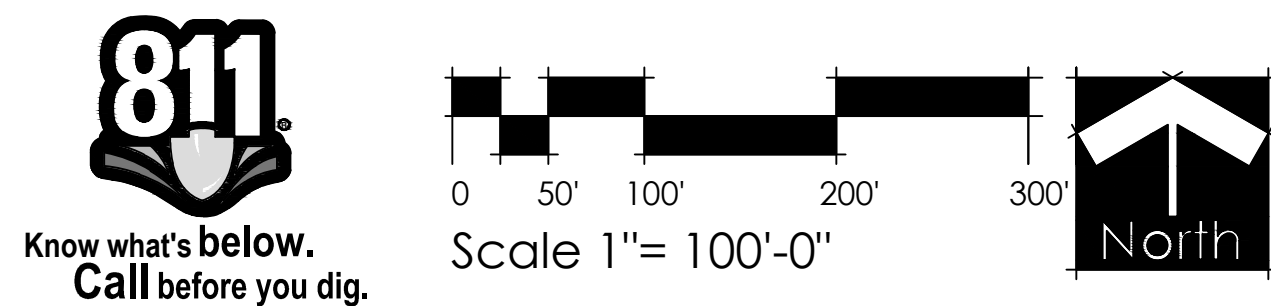
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 Design By: MLD  
 Drawn By: MLD  
 Checked By: Jes  
 File No. 119.33  
 Job No. 16-51

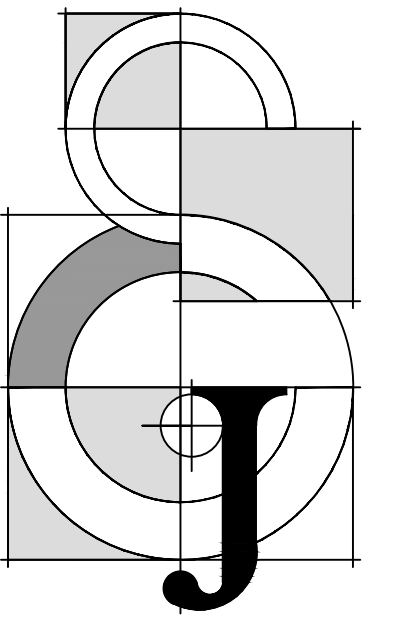
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Printed name  
 FLORIDA REGISTRATION NO. LA 0001638

## Landscape Index



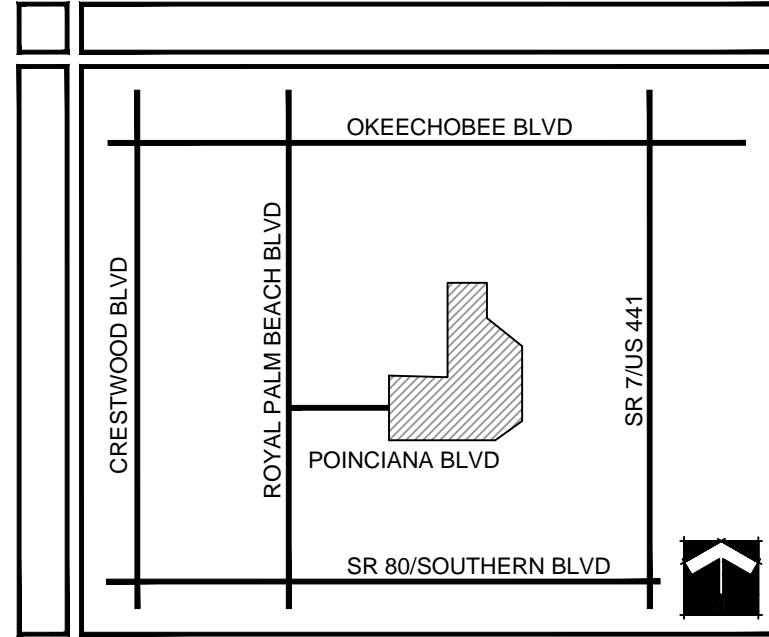


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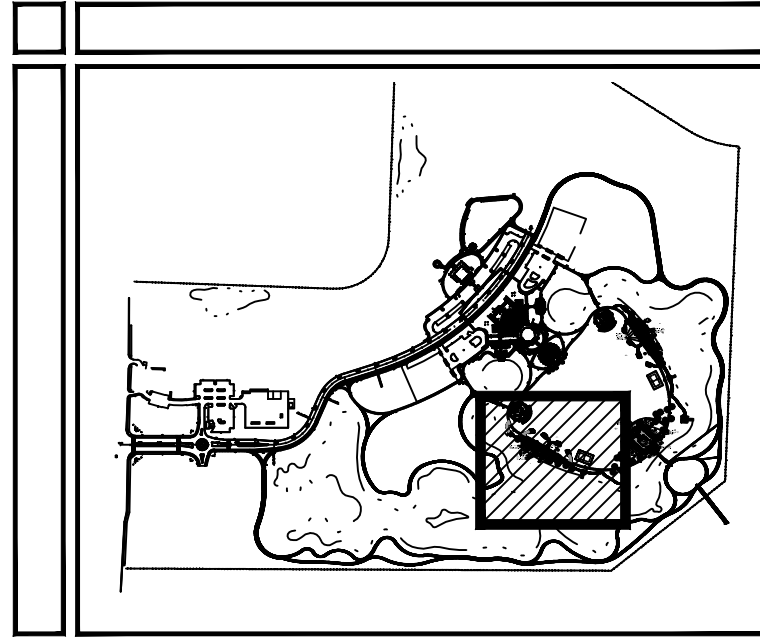
# Royal Palm Beach Amphitheatre

The Village of Royal Palm Beach, Florida

## Location Map



## Site Map



## Plant List

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK
	PI	6	Pinus elliotti var. densa / South Florida Slash Pine* Single Straight Trunk	2.5" Cal.	16'	6'	5' Min.
	QT	2	Quercus virginiana / Southern Live Oak* Transplanted From On-Site, Contractor to Root Prune Tree a Min. of 6 Months prior to Moving	EX.	EX.	EX.	EX.
	RR	16	Roystonea regia / Royal Palm* Matched, No Scarred Trunks, Full Heads	N/A	14' GW	15'	14' GW
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	
	CHI	211	Chrysobalanus icaco / Coco Plum* Full To Base	3 gal. min.	24"	24" O.C.	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	
	TRF	191	Tripsacum floridanum / Dwarf Fakahatchee Grass* Full	24"	24"	36" O.C.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	
	SOD B	19,585 sf	Cynodon dactylon 'Celebration' / Celebration Bermuda Sod/ Sod, Stagger Seams, Field Verily Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	
	HPC	318	Hamelia patens 'Compacta' / Dwarf Fire Bush* Full	12"	12"	18" O.C.	
	SOD A	2,097 sf	Stenotaphrum secundatum / St. Augustine Grass Sod/ Sod, Stagger Seams, Field Verily Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	

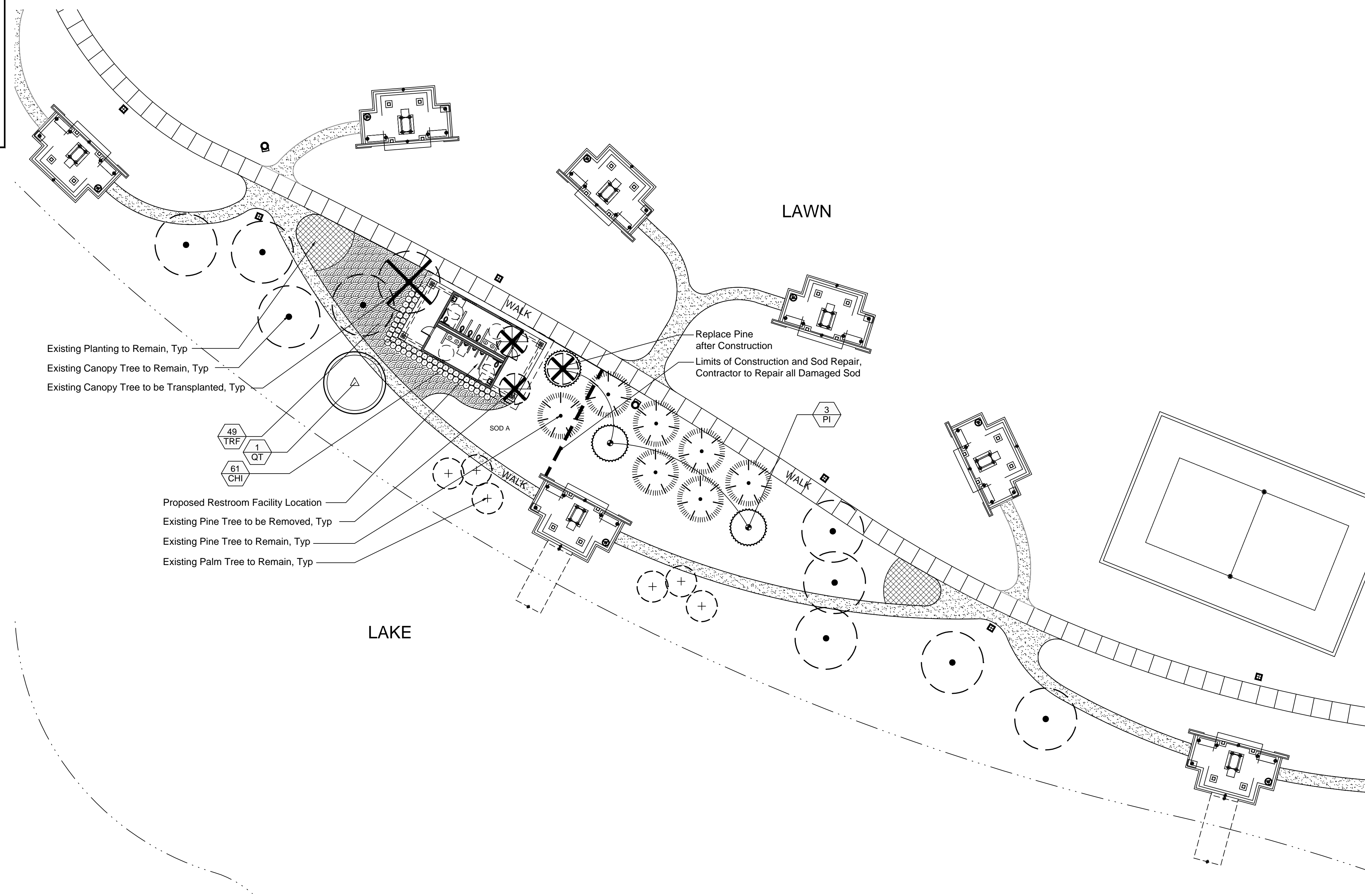
\* = Florida Native / + = Drought Tolerant

## Sod Repair Notes

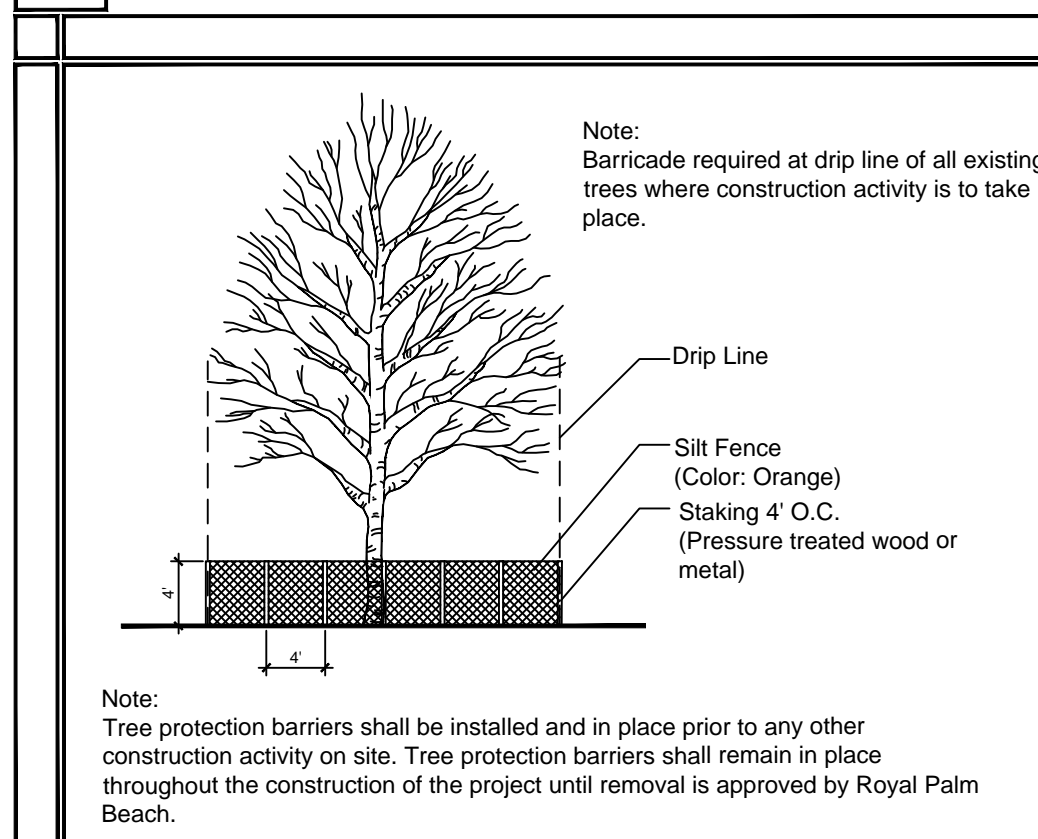
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## Landscape Notes

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## Tree Protection Detail



## Tree Summary

Category	Quantity
Removed Pine Trees	6
Transplanted Oak Trees	2

## Tree Protection Notes

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Date: 06/27/16  
Scale: 1" = 20'-0"  
Design By: MLD  
Drawn By: MLD  
Checked By: Jes  
File No. 119.33  
Job No. 16-51

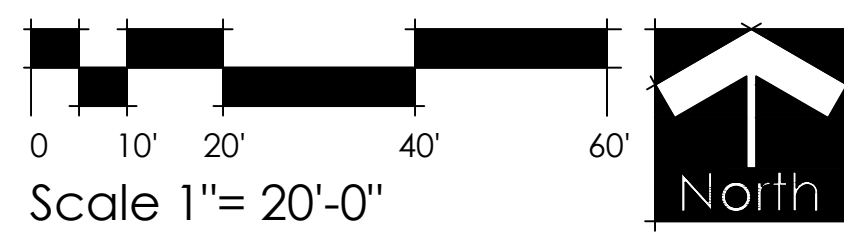
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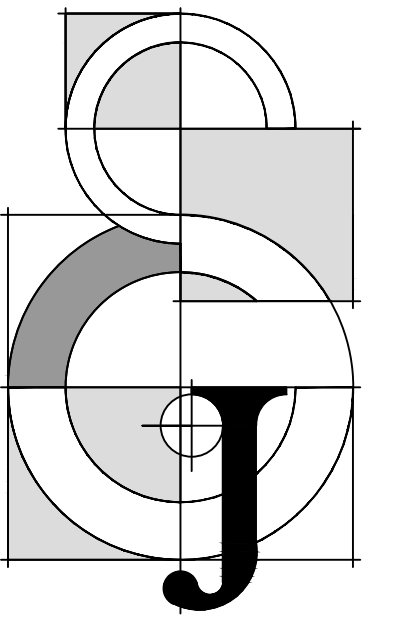
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## Landscape Plan



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# Royal Palm Beach Amphitheatre

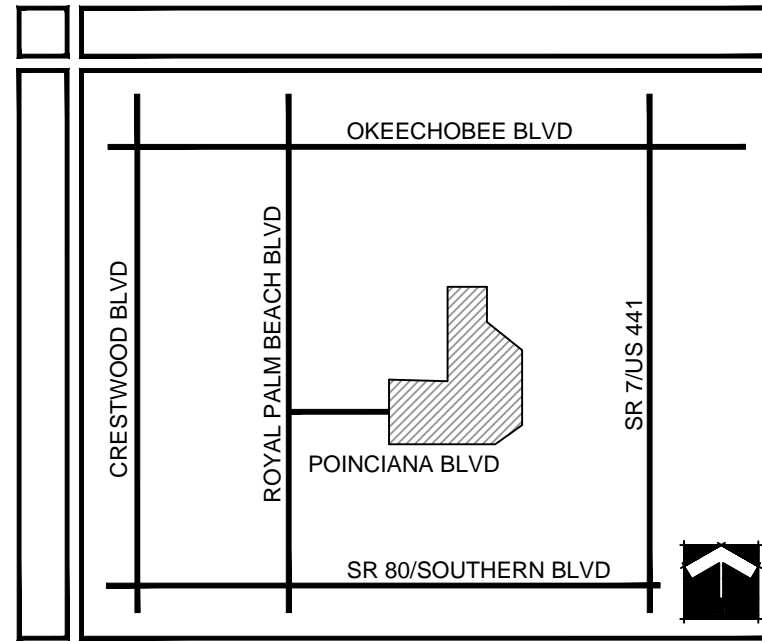
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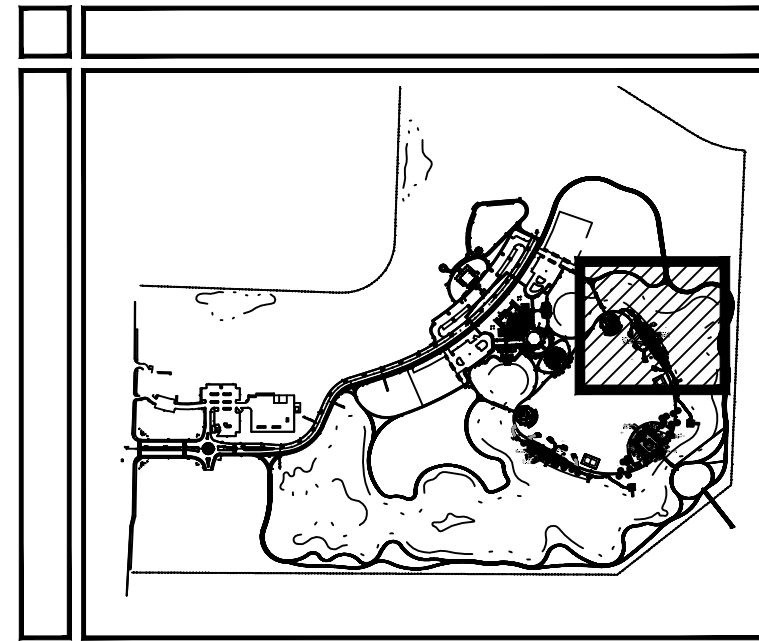
REVISIONS / SUBMISSIONS  
 06/30/16 DD Submittal

Landscape  
 Plan  
 LP-2 of 4

## Location Map



## Site Map



## Plant List

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRUNK
	PI	6	Pinus ellioti var. Densa / South Florida Slash Pine+ Single Straight Trunk	2.5" Cal.	16'	6'	5' Min.
	QT	2	Quercus virginiana / Southern Live Oak+ Transplanted From On-Site, Contractor to Root Prune Tree a Min. of 6 Months prior to Moving	EX.	EX.	EX.	EX.
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SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	
	TRF	191	Tripsacum floridanum / Dwarf Fakahatchee Grass+ Full	24"	24"	36" O.C.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	
	SOD B	19,585 sf	Cynodon dactylon 'Celebration' / Celebration Bermuda Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bld, Sod All Disturbed Areas	N/A	N/A	N/A	
	HPC	318	Hamelia patens 'Compacta' / Dwarf Fire Bush+ Full	12"	12"	18" O.C.	
	SOD A	2,097 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bld, Sod All Disturbed Areas	N/A	N/A	N/A	

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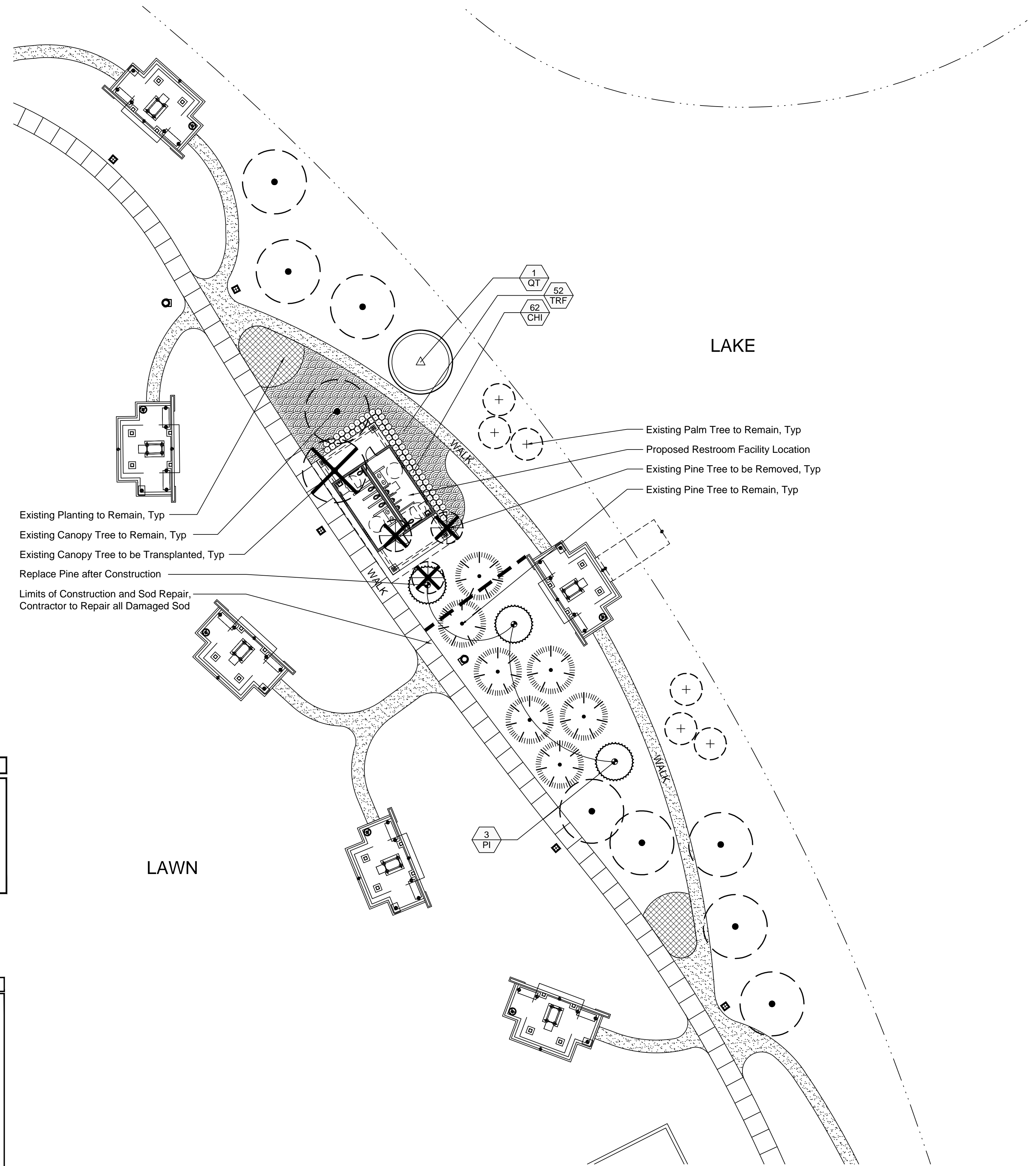
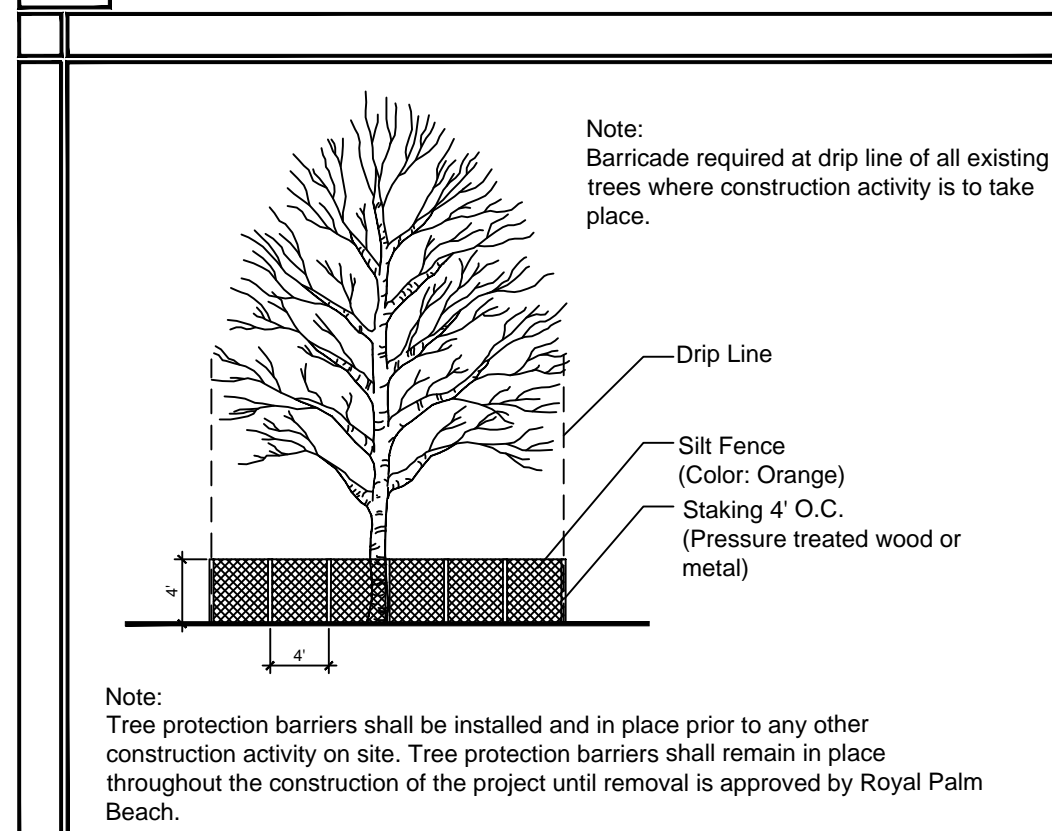
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## Tree Protection Detail



## Sod Repair Notes

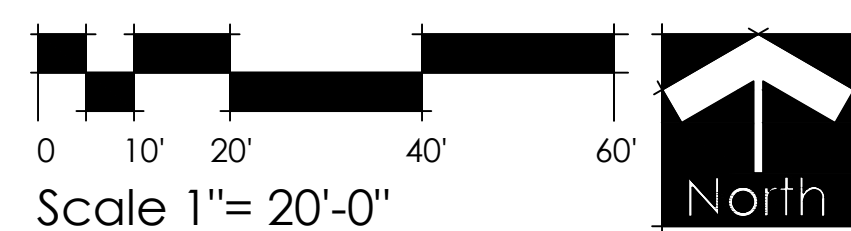
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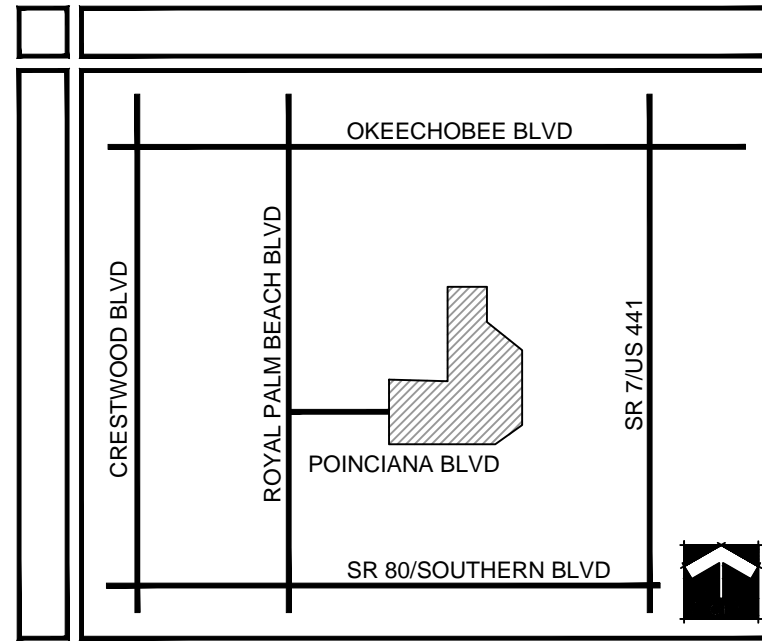
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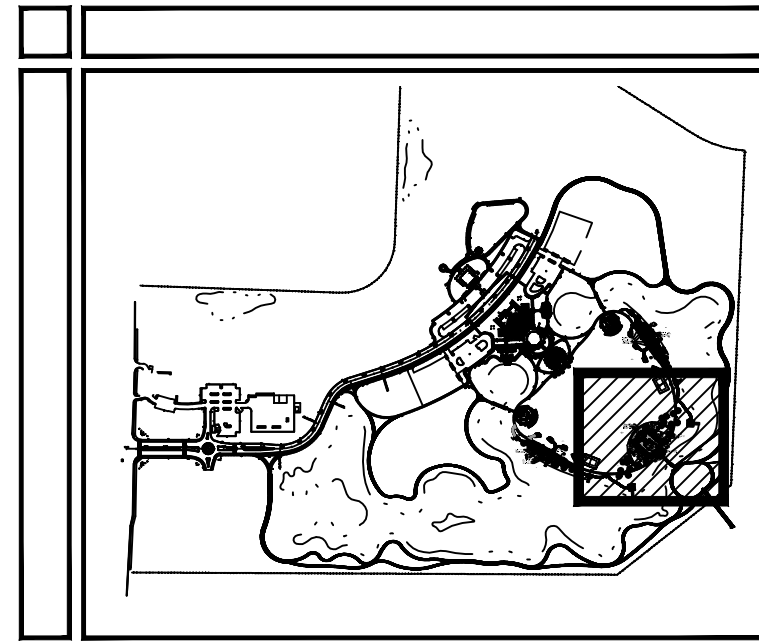
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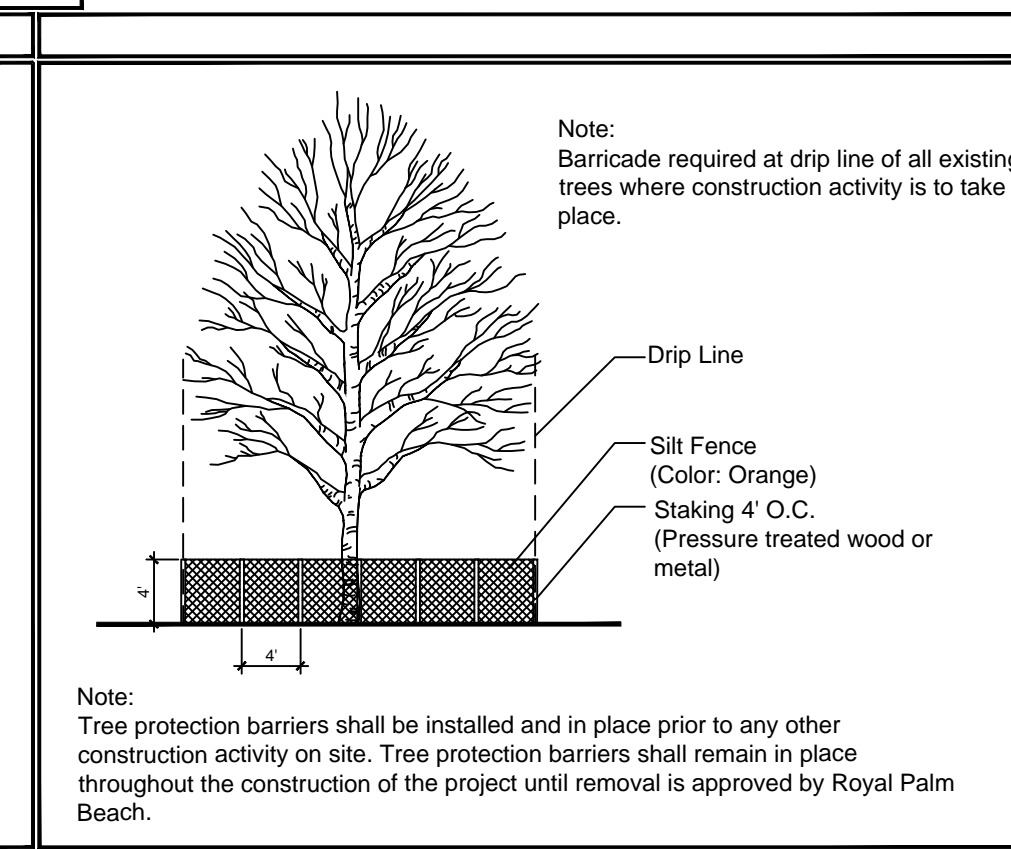
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### Site Map



### Tree Protection Detail



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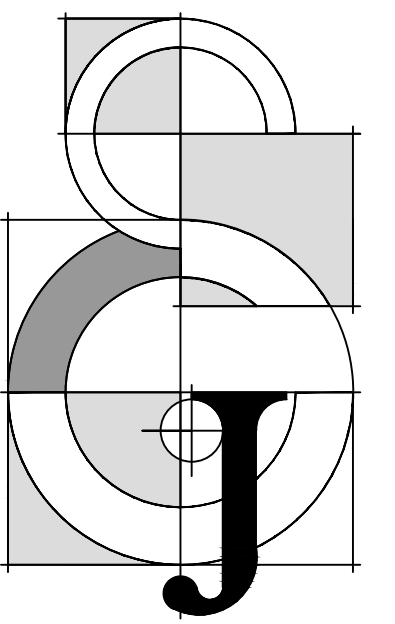
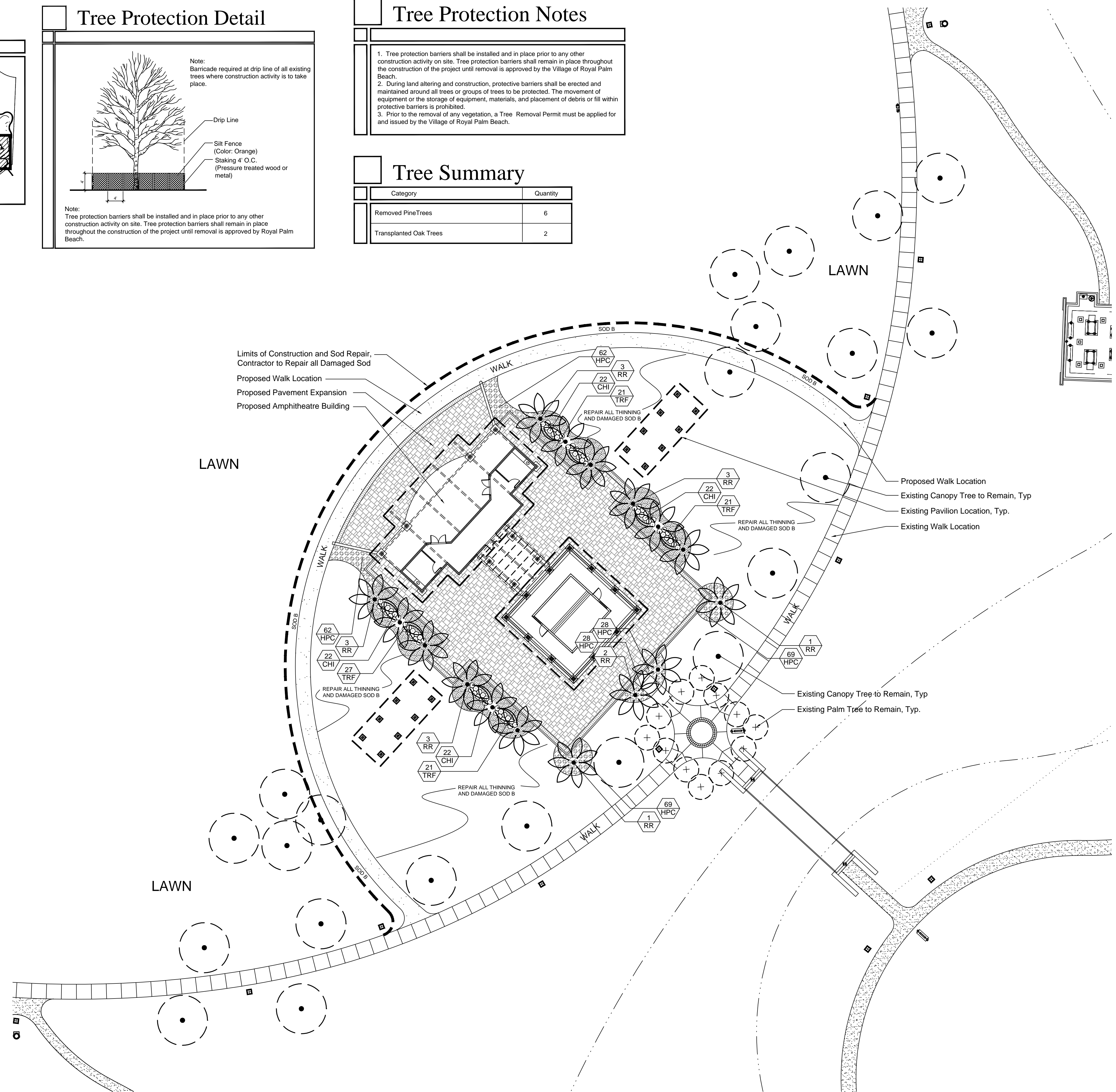
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Limits of Construction and Sod Repair,  
Contractor to Repair all Damaged Sod

Proposed Walk Location

Proposed Pavement Expansion

Proposed Amphitheatre Building



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# Royal Palm Beach Amphitheatre

The Village of Royal Palm Beach, Florida

Date: 06/27/16  
Scale: 1" = 20'-0"  
Design By: MLD  
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### REVISIONS / SUBMISSIONS

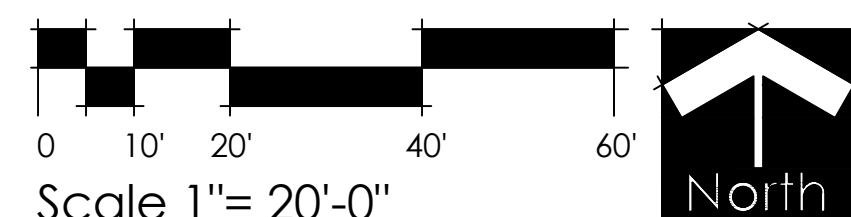
06/30/16 DD Submittal

### Landscape Plan

LP-3 of 4

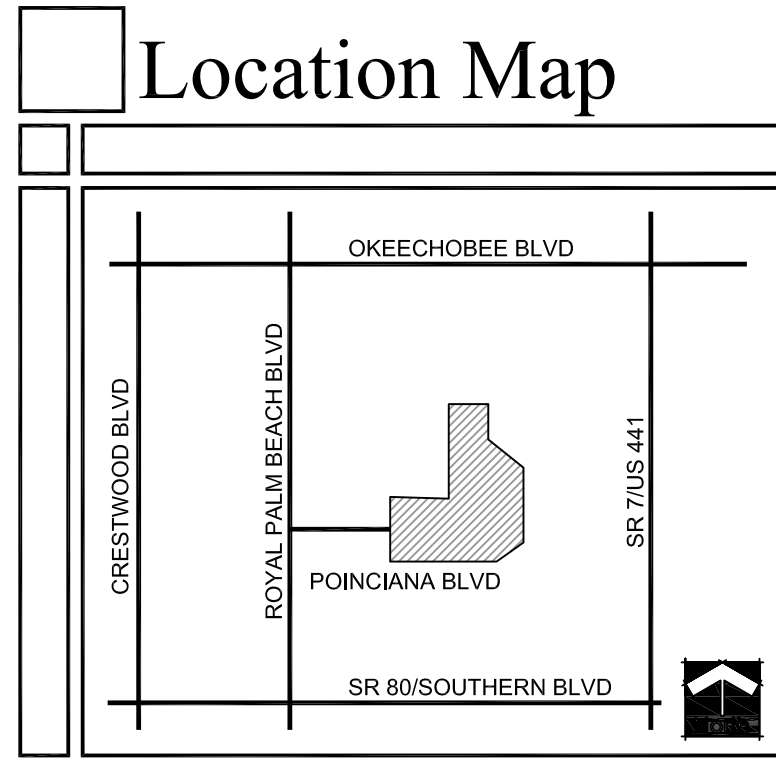


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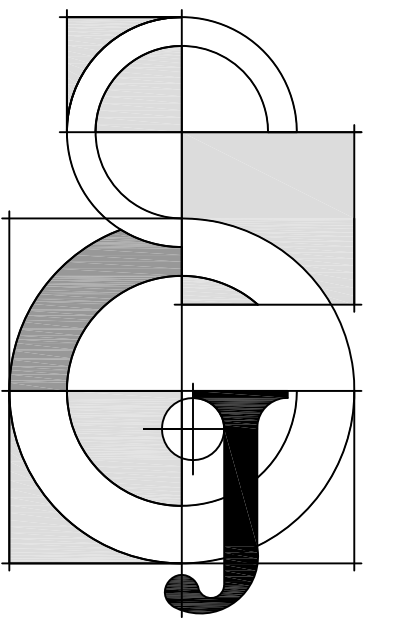
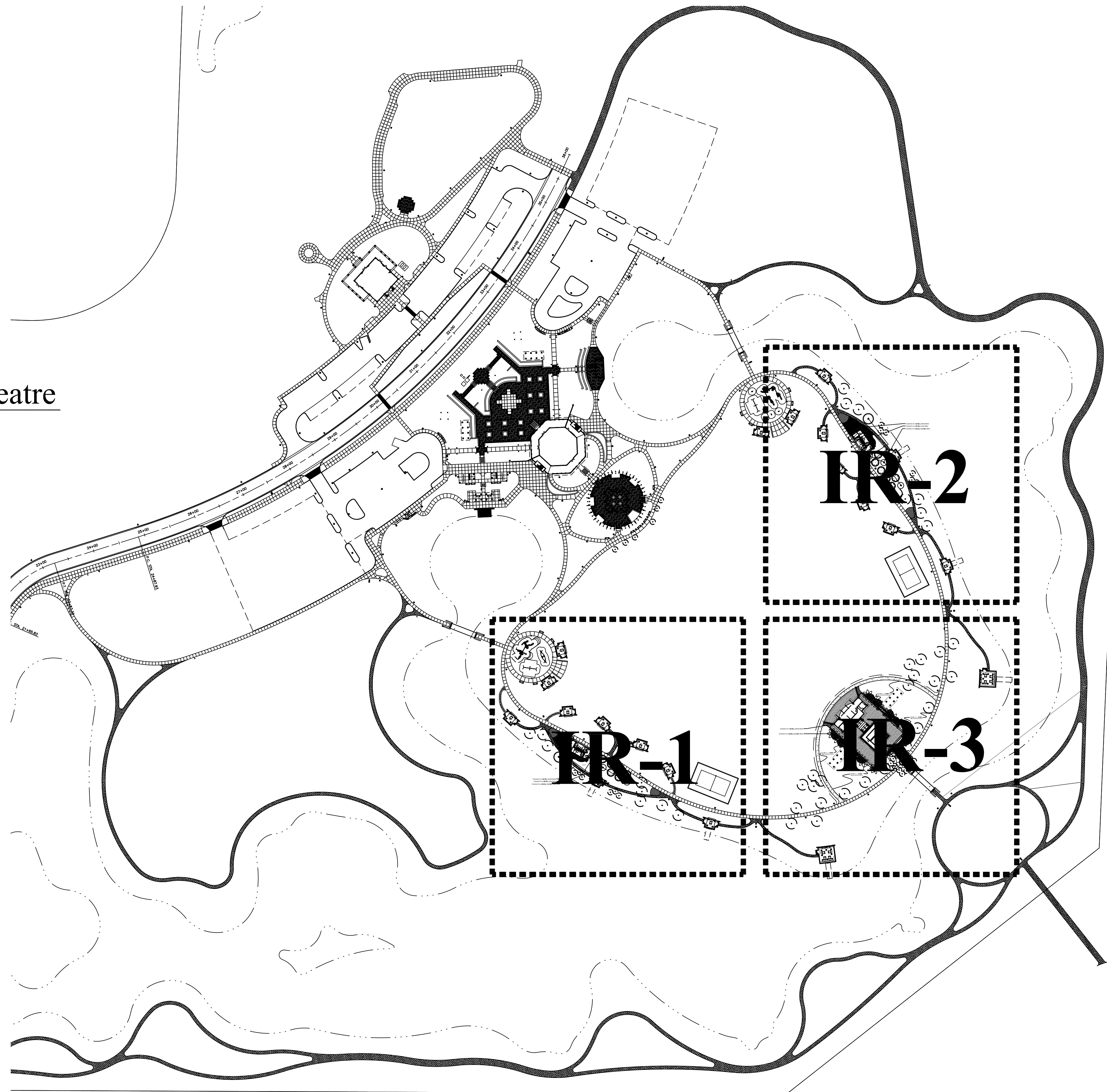






**Royal Palm Beach Amphitheatre**

- II-1 Irrigation Plan Index
- IR-1 South Restroom Irrigation Plan
- IR-2 North Restroom Irrigation Plan
- IR-3 Amphitheatre Irrigation Plan



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 Website: www.jesla.com  
 License No.: LC26000232

# Royal Palm Beach Amphitheatre

The Village of Royal Palm Beach, Florida

Date: 08/18/16  
 Scale: 1" = 100'-0"  
 Design By: CWP  
 Drawn By: CWP  
 Checked By: Jes  
 File No. 119.33  
 Job No. 16-51

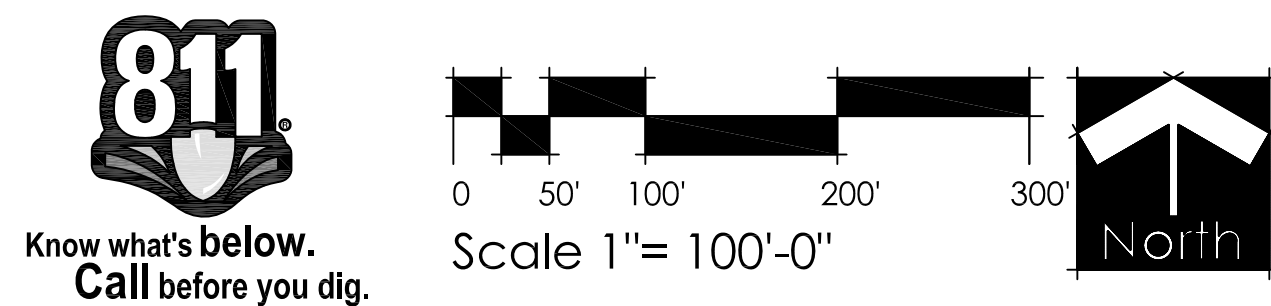
REVISIONS / SUBMISSIONS

No.	Description

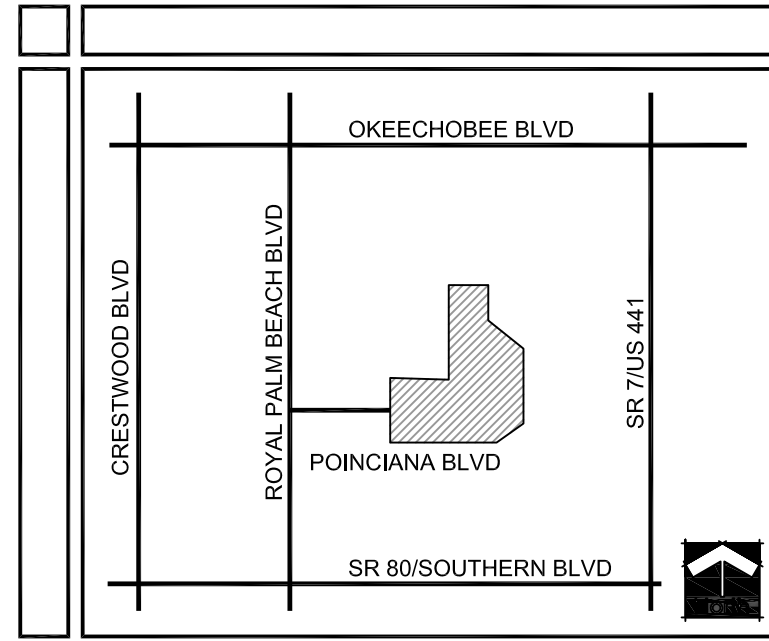
NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED IRRIGATION ARCHITECT.

Printed name  
 FLORIDA REGISTRATION NO. LA 0001638

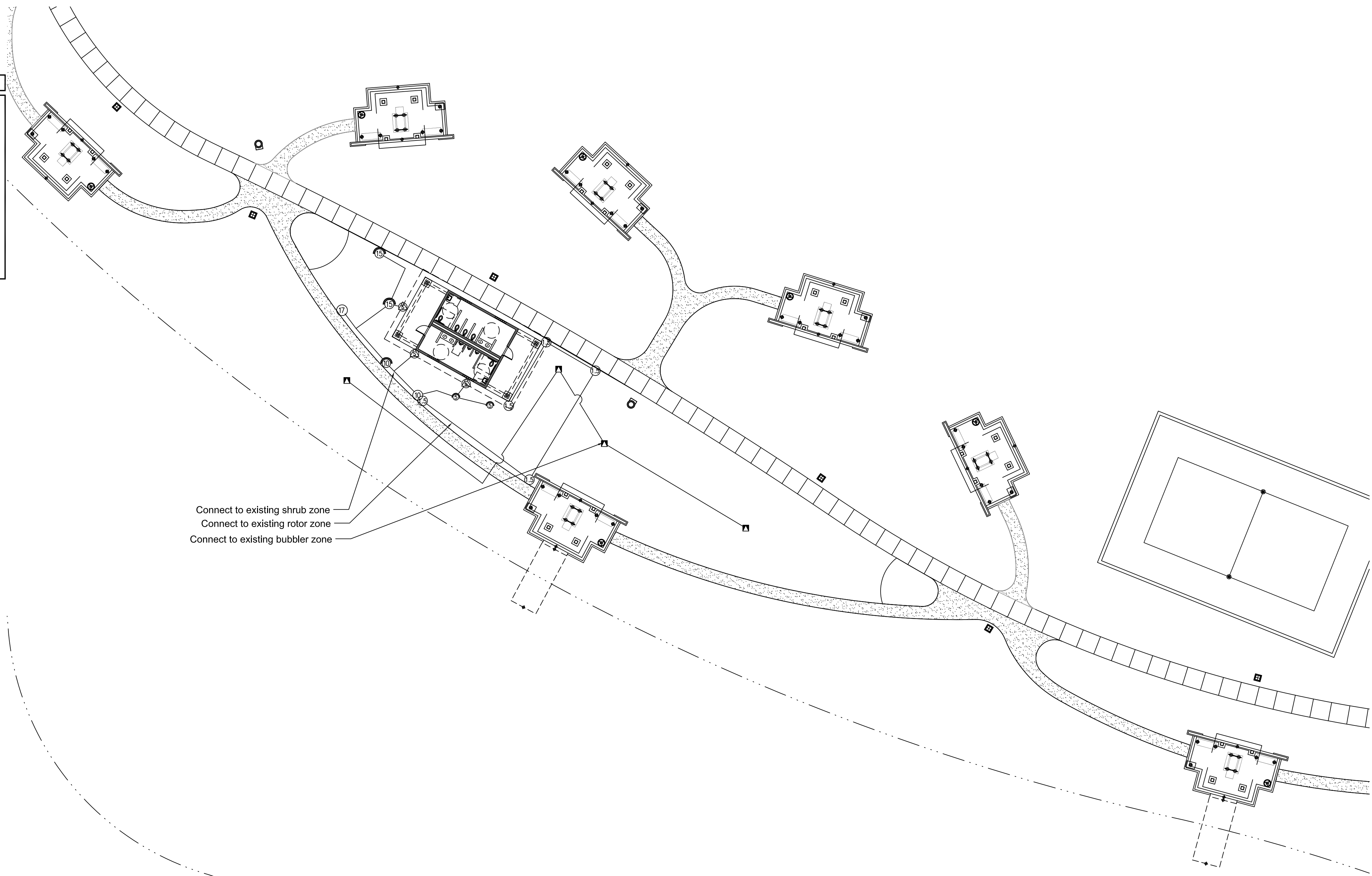
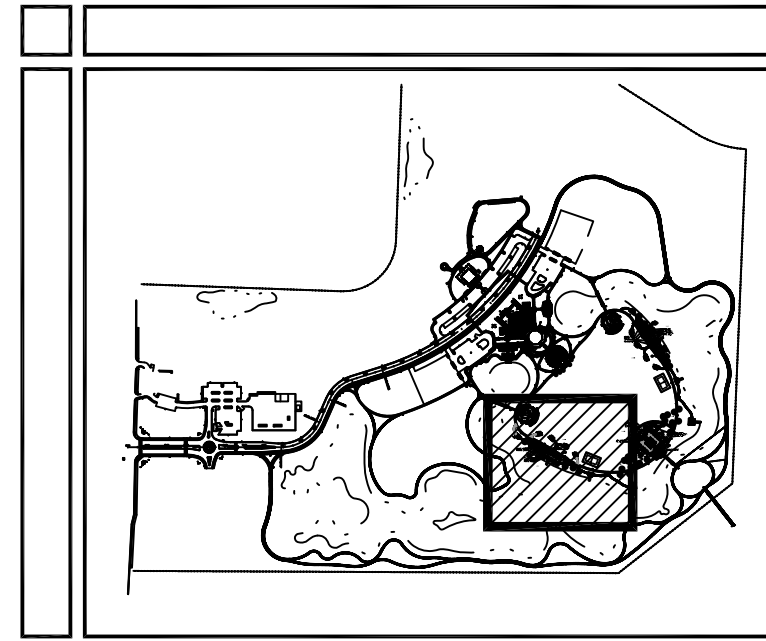
## Irrigation Index



### Location Map



### Site Map



### IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Toro 570S-PC 5 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
	Toro 570S-PC 8 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
	Toro 570S-PC 10 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	4	30
	Toro 570S-PC 12 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	1	30
	Toro 570S-PC 15 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
	Toro 570S-PC ADJ Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	22	30
	Toro 570S-PC Shrub Strip Spray Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	6	30
	Hunter AFB Adjustable Flow Bubbler, 1/2" FIPT, stainless steel screw adjustment.	24	30

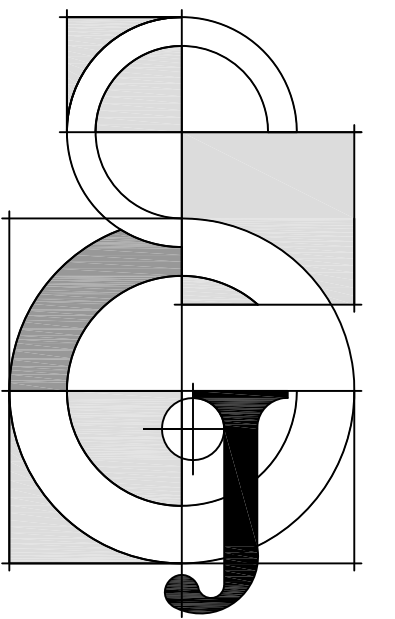
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	10	35

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Irrigation Lateral Line: PVC Schedule 40	1,575 l.f.
	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	70.6 l.f.

Connect to existing shrub zone  
Connect to existing rotor zone  
Connect to existing bubbler zone

### Irrigation Notes

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- EXISTING IRRIGATION SHALL REMAIN FULLY FUNCTIONAL THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IRRIGATION SYSTEM.
- ALL SLEEVING TO BE DONE BY IRRIGATION CONTRACTOR.
- LANDSCAPED AREAS MAY UTILIZE 1/2" P.V.C. RISERS TO INSURE 100% COVERAGE. ALL RISERS INSTALLED ARE TO BE PAINTED BLACK.
- MAIN LINE SHALL BE LOCATED IN SAME TRENCH AS MIST HEADS WHERE POSSIBLE.
- ALL WIRE SPLICES ARE TO UTILIZE WATERTIGHT CONNECTIONS AND SHALL BE LOCATED AT THE VALVE.
- THE CONTRACTOR SHALL RUN ADDITIONAL SPARE WIRES IN EACH DIRECTION TO EACH END OF THE MAIN FOR FUTURE USE.
- CONTROL WIRING: 24 VOLT SOLID SINGLE STRAND COPPER UL APPROVED FOR DIRECT BURIAL. MINIMUM WIRE SIZE: 14 GAUGE CONTROL WIRES & 12 GAUGE FOR COMMON WIRES.
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- DO NOT SCALE PLAN FOR EXACT HEAD LOCATION.
- ALL MATERIALS SPECIFIED ON THIS PLAN CAN BE REPLACED WITH EQUAL MATERIAL UPON OWNERS APPROVAL.



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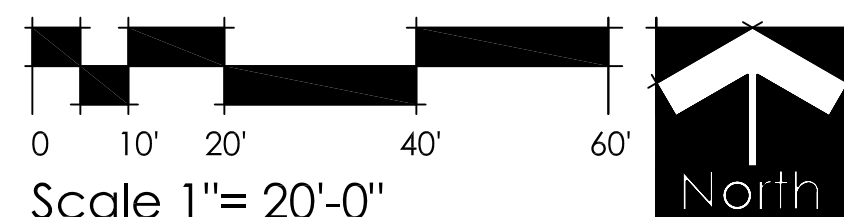
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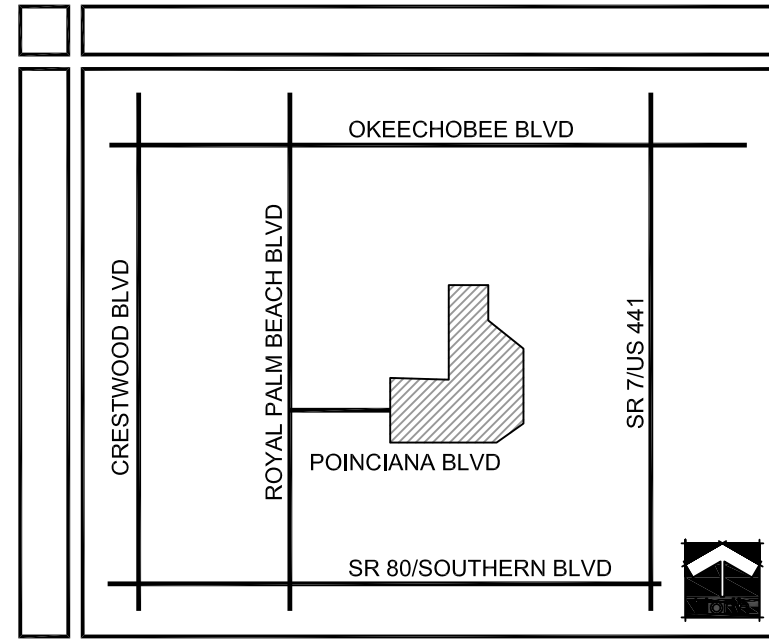
### Irrigation Plan



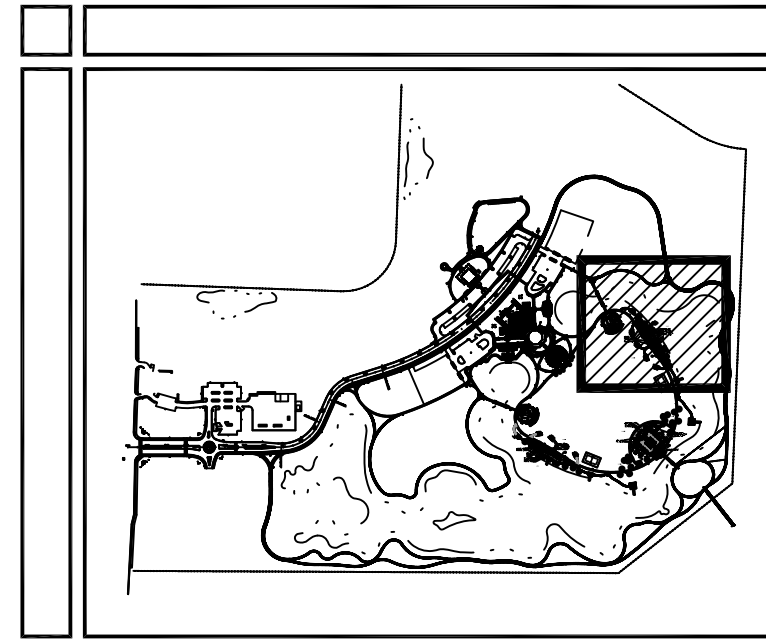
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### Location Map



### Site Map

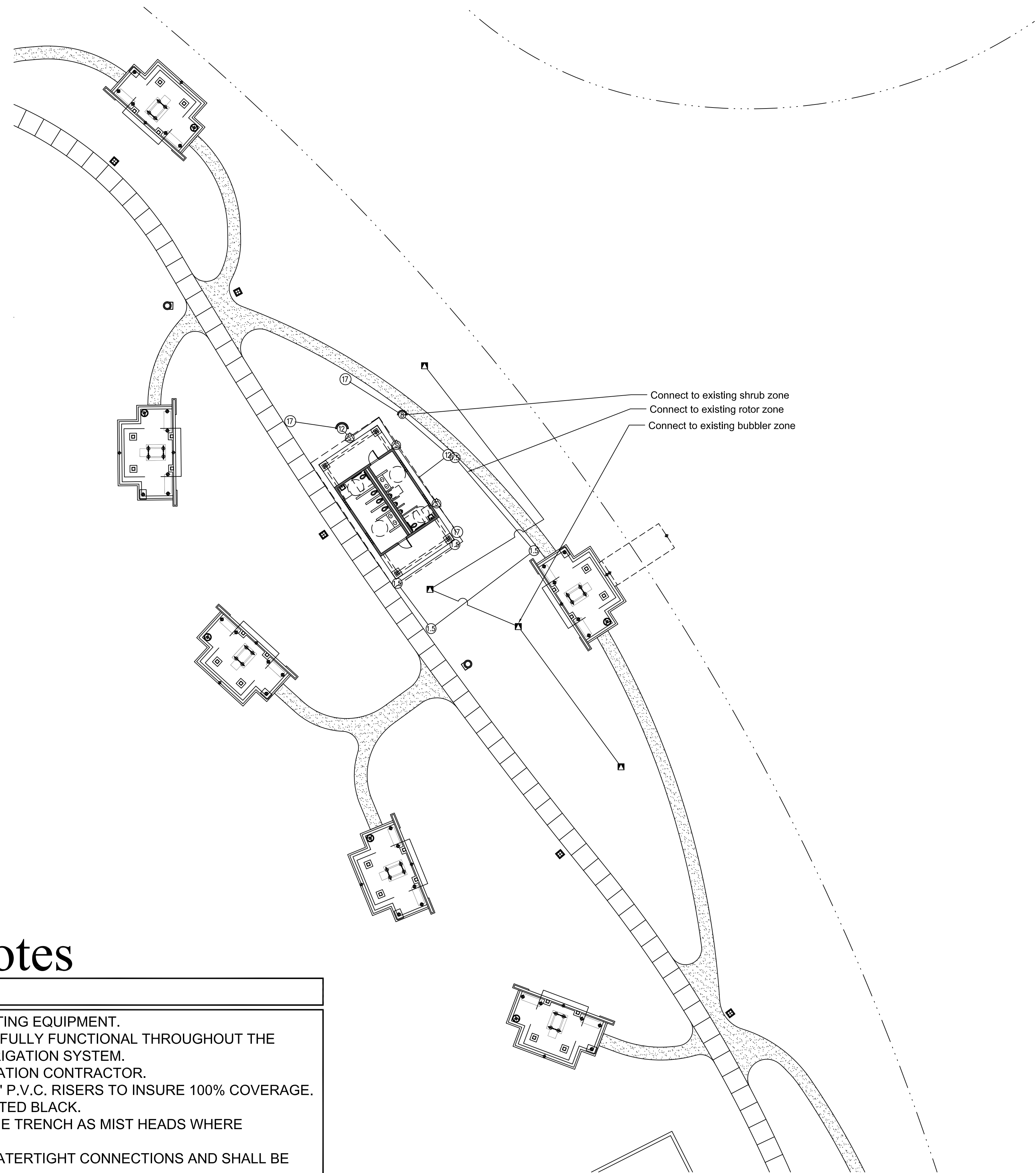


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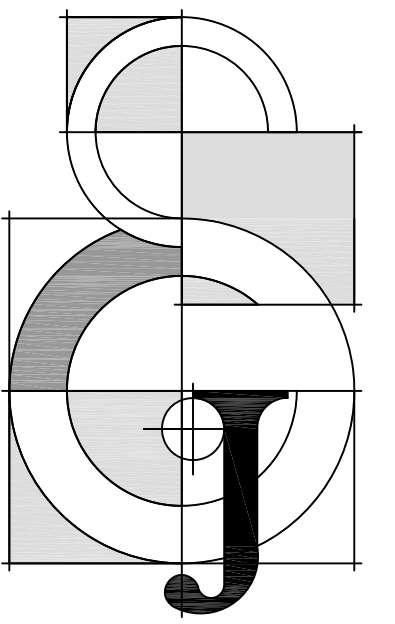
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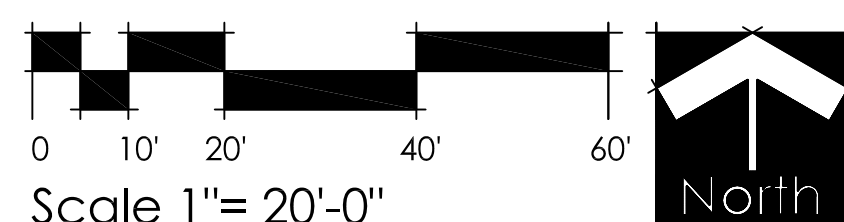
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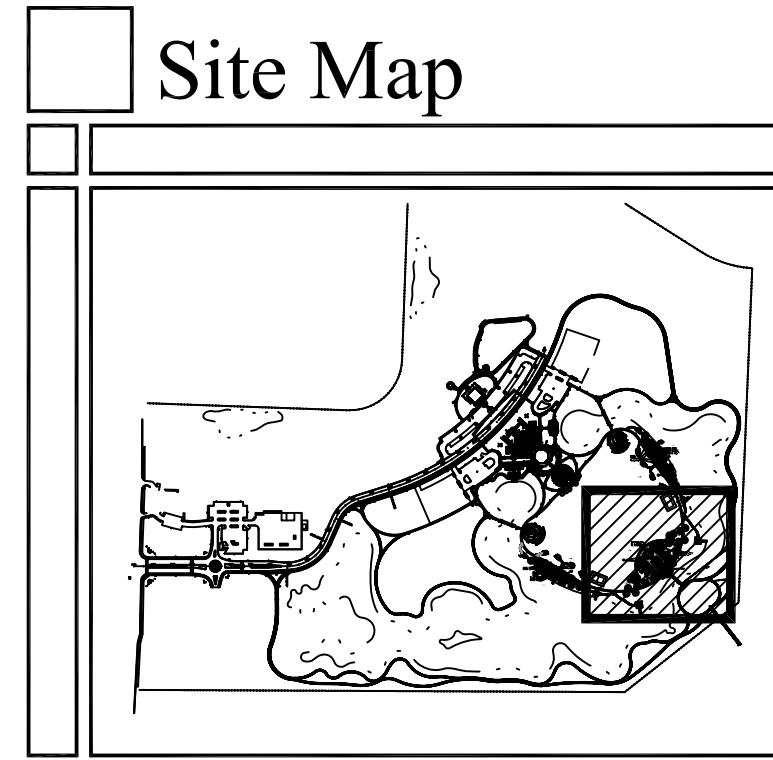
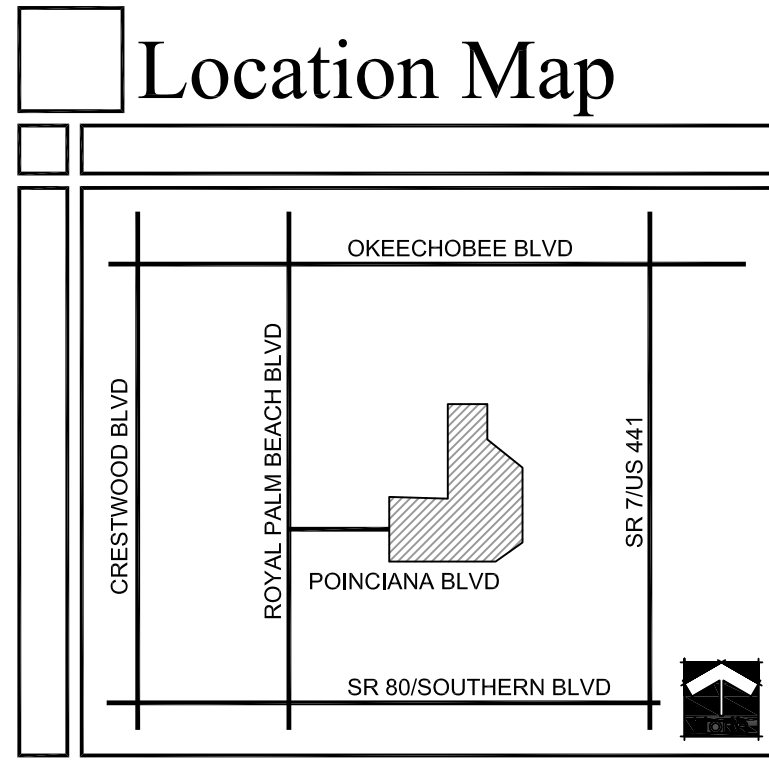
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### Irrigation Plan



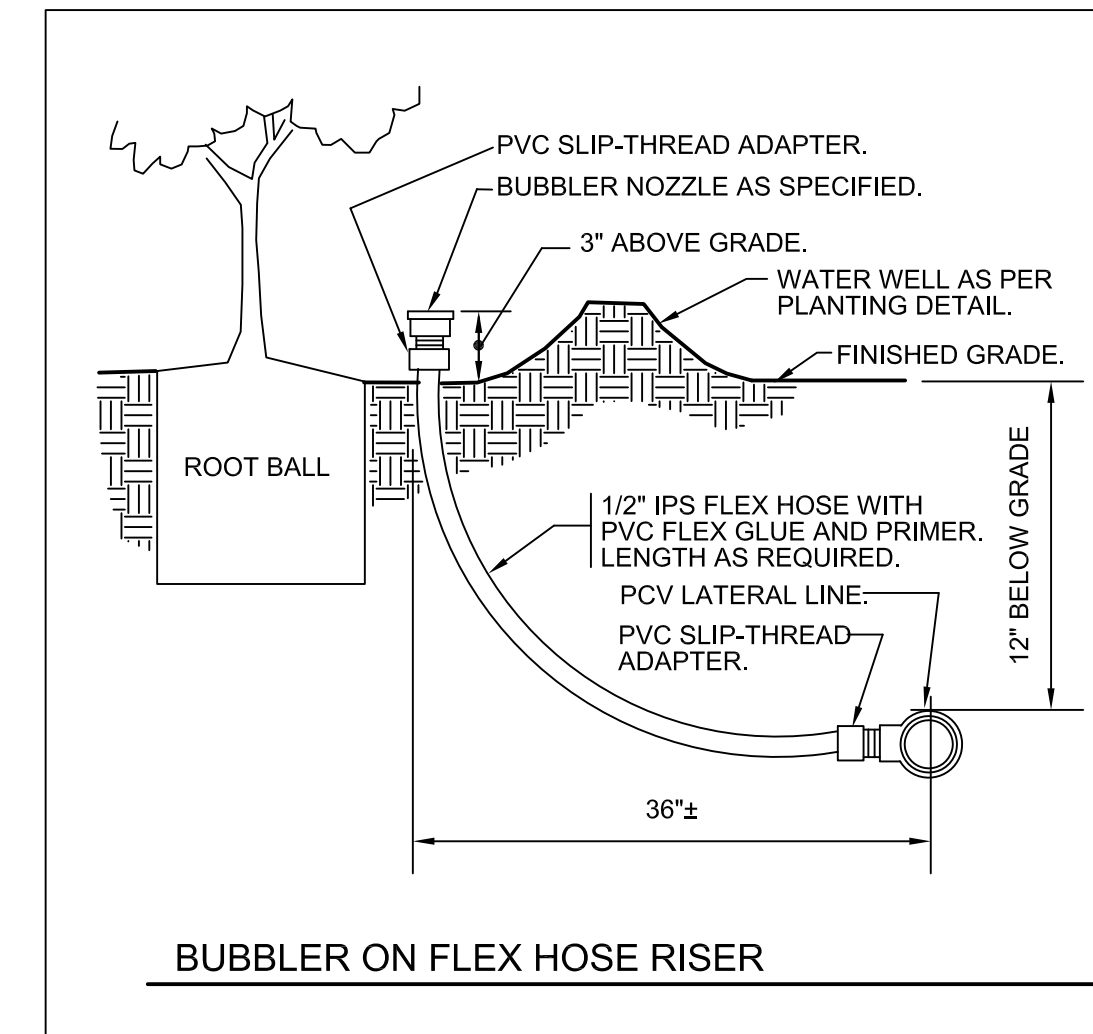
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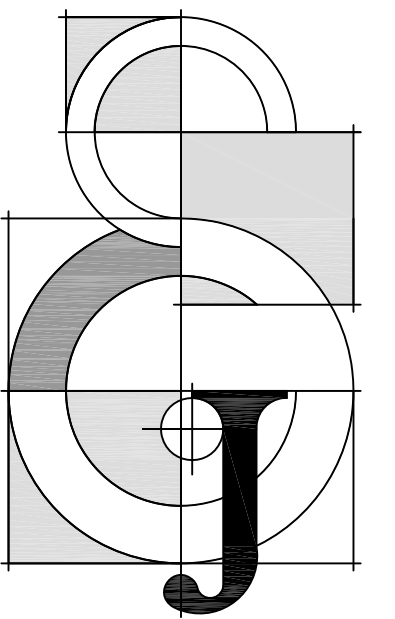
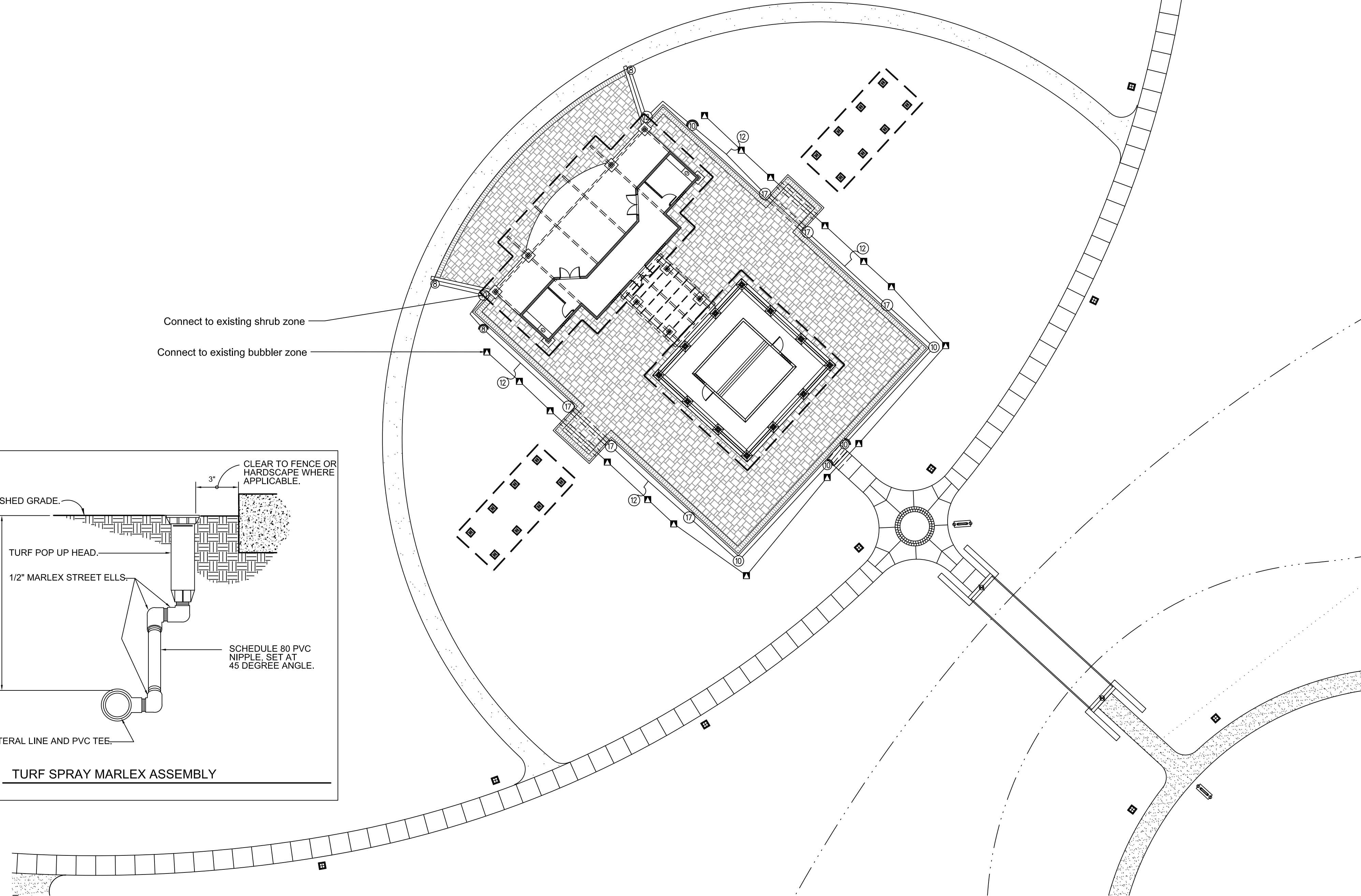
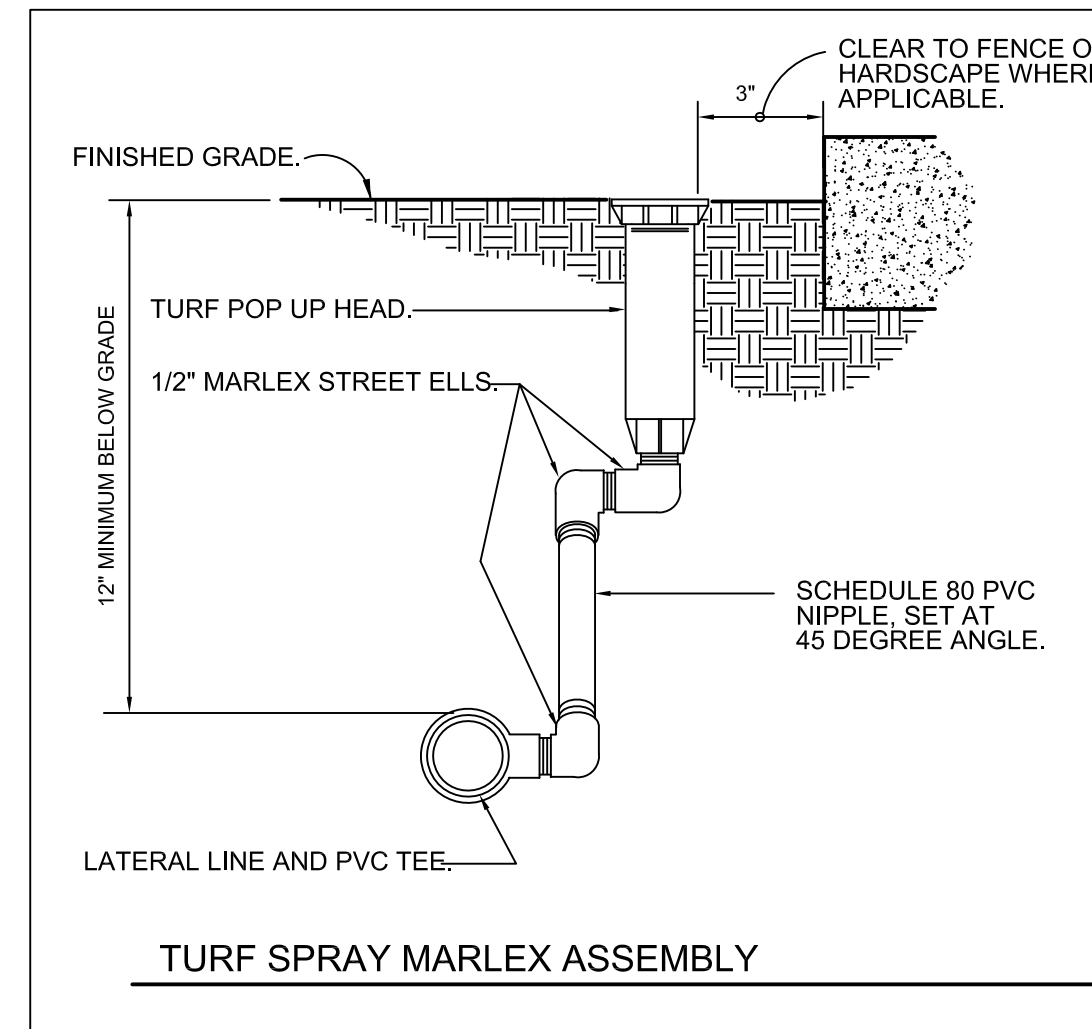


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8 18 12 15 17	Toro 570S-PC ADJ Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	22	30
25ST 45ST 45-SST	Toro 570S-PC Shrub Strip Spray Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	6	30
25 50 10 20	Hunter AFB Adjustable Flow Bubbler, 1/2" FIPT, stainless steel screw adjustment.	24	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
LS	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	10	35

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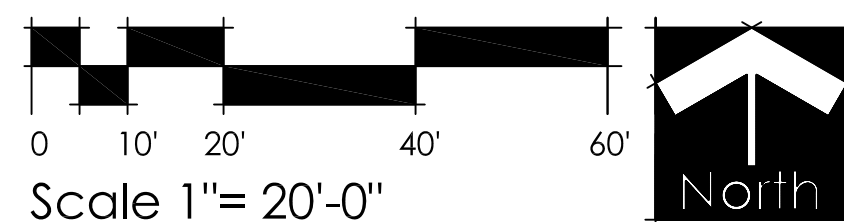
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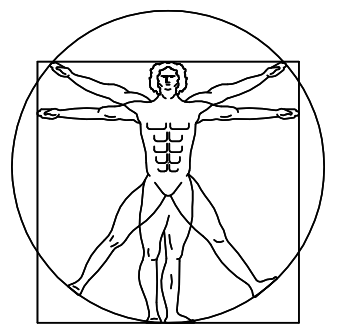
No.	Description

## Irrigation Plan



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PRESIDENT AR - 0014172  
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WEST PALM BEACH  
FLORIDA 33401  
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FAX: (561) - 659 - 5546  
www.regarchitects.com

CORPORATION NUMBER  
AA-0002447

**AMPHITHEATRE  
at  
COMMONS  
PARK**

11600 POINCIANA BLVD.  
ROYAL PALM BEACH, FL 33411

REVISIONS	NO.
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DATE 06-30-16

SCALE

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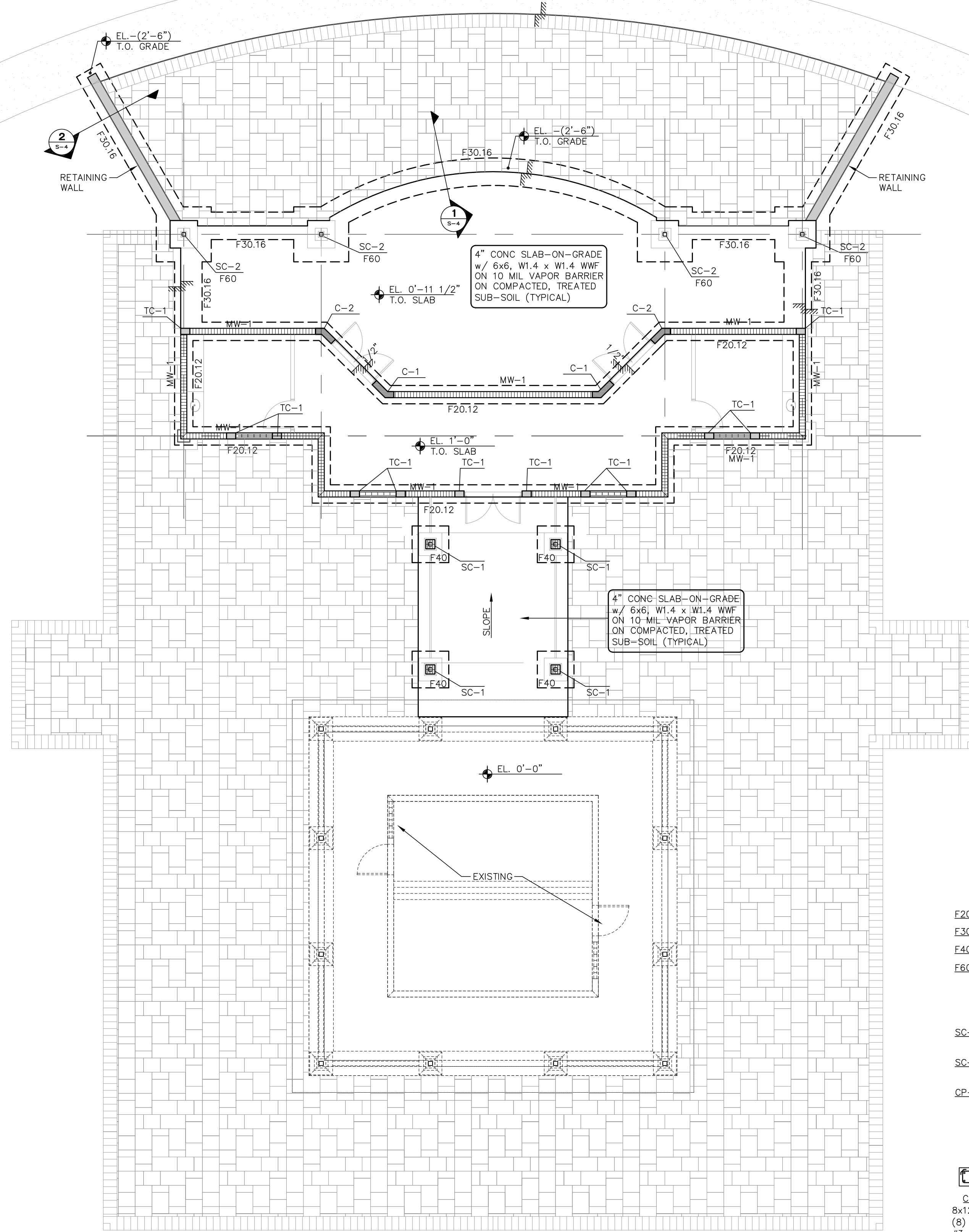
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**ONM&J**  
O'Donnell, Naccarato, Mignogna Jackson  
STRUCTURAL ENGINEERS

221 15TH STREET, SUITE 200  
WEST PALM BEACH, FLORIDA 33401  
(561) 835-9994 FAX (561) 835-8255

UC. #0004386  
JOB # 341.110

**S-1**

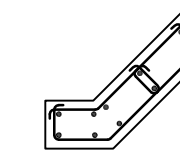


**FOOTING SCHEDULE**

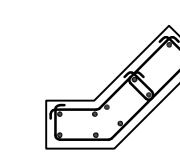
F20.12	2'-0" x CONT. x 12"	3 #5 CONT. TOP & BOTTOM
F30.16	3'-0" x CONT. x 16"	4 #5 CONT. E.W. TOP & BOTTOM
F40	4'-0" x 4'-0" x 16"	5 #5 E.W. TOP & BOTTOM
F60	6'-0" x 6'-0" x 20"	7 #6 E.W. TOP & BOTTOM

**COLUMN SCHEDULE**

SC-1	HSS 5x5x1/4 w/ 3/4"x10"x0'-10" BASE PLATE w/ (4) 3/4" ANCHOR BOLTS
SC-2	HSS 10x10x5/8" w/ 3/4" x 15" x 0'-15" BASE PLATE W/ (8) 3/4" ANCHOR BOLTS
CP-1	12"x12" CONCRETE PIER w/ (4) #5 VERT. #3 @ 12" o.c.



C-1  
8x12x24  
(8) #6  
#3 @ 8" o.c.



C-2  
8x12x20 3/4"  
(8) #6  
#3 @ 8" o.c.

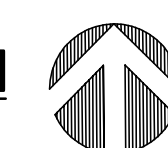


TC-1  
8x12  
(4) #6  
#3 @ 8" o.c.

**MASONRY WALL NOTES:**

1. WALL SEGMENTS SHALL BE REINFORCED WITH 9 GA. GALVANIZED LATERAL REINFORCING @ 16" O.C. HORIZ. EXTEND REINFORCING 6" INTO POURED ELEMENTS AND AROUND ENCASED STEEL.
2. ADJACENT TO ANY EXTERIOR/INTERIOR WALL OPENING, PLACE (1) MATCHING VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT.
3. ALL MASONRY REINFORCED CELLS SHALL BE FILLED WITH 3000 PSI GROUT MIX.
4. AT END, CORNERS, AND INTERSECTION OF WALLS PLACE (1) MATCHING VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT.
5. ALL CMU MUST HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI.

**FOUNDATION PLAN**



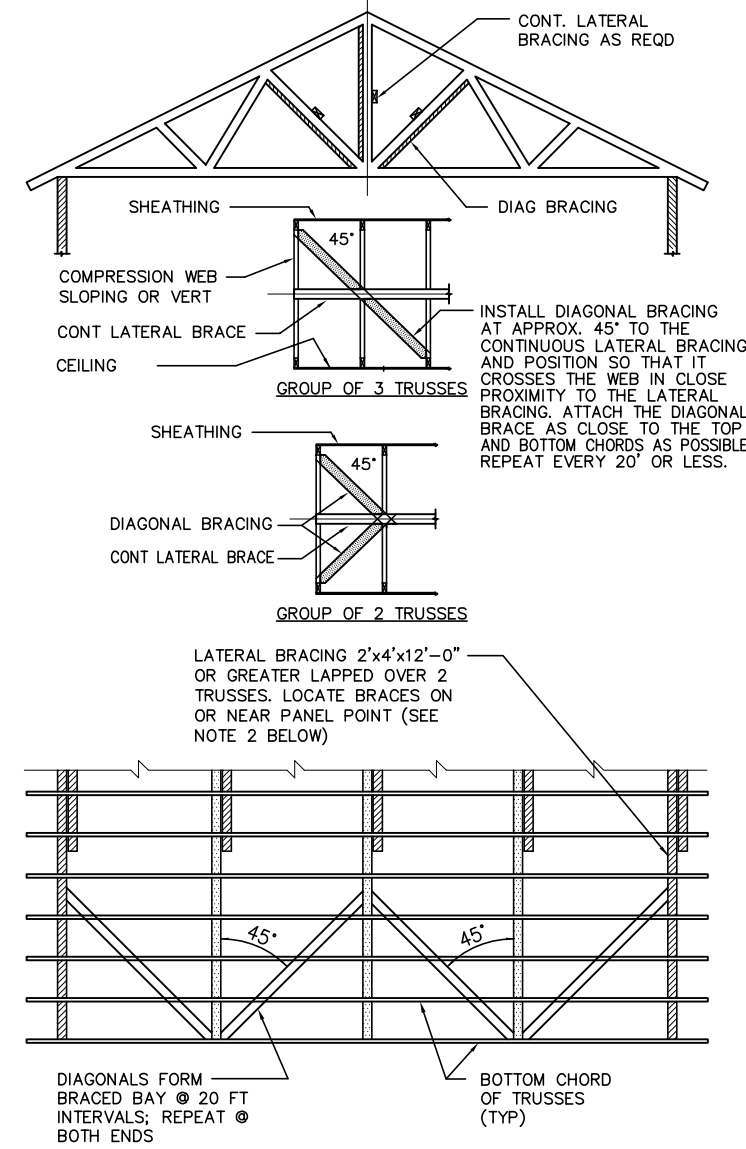
1/8"=1'-0"

**FOUNDATION NOTES:**

1. MW-1 MASONRY WALLS SHALL BE 8" CMU w/ #6 @ 16" o.c. U.N.O.
2. ● DENOTES ADDITIONAL #6 VERTICAL BAR.
3. PROVIDE #6 VERTICAL @ ALL JAMBS, CORNERS AND WALL INTERSECTIONS.
4. TOP OF ALL ISOLATED FOOTINGS SHALL BE A MINIMUM OF 16" BELOW GRADE.

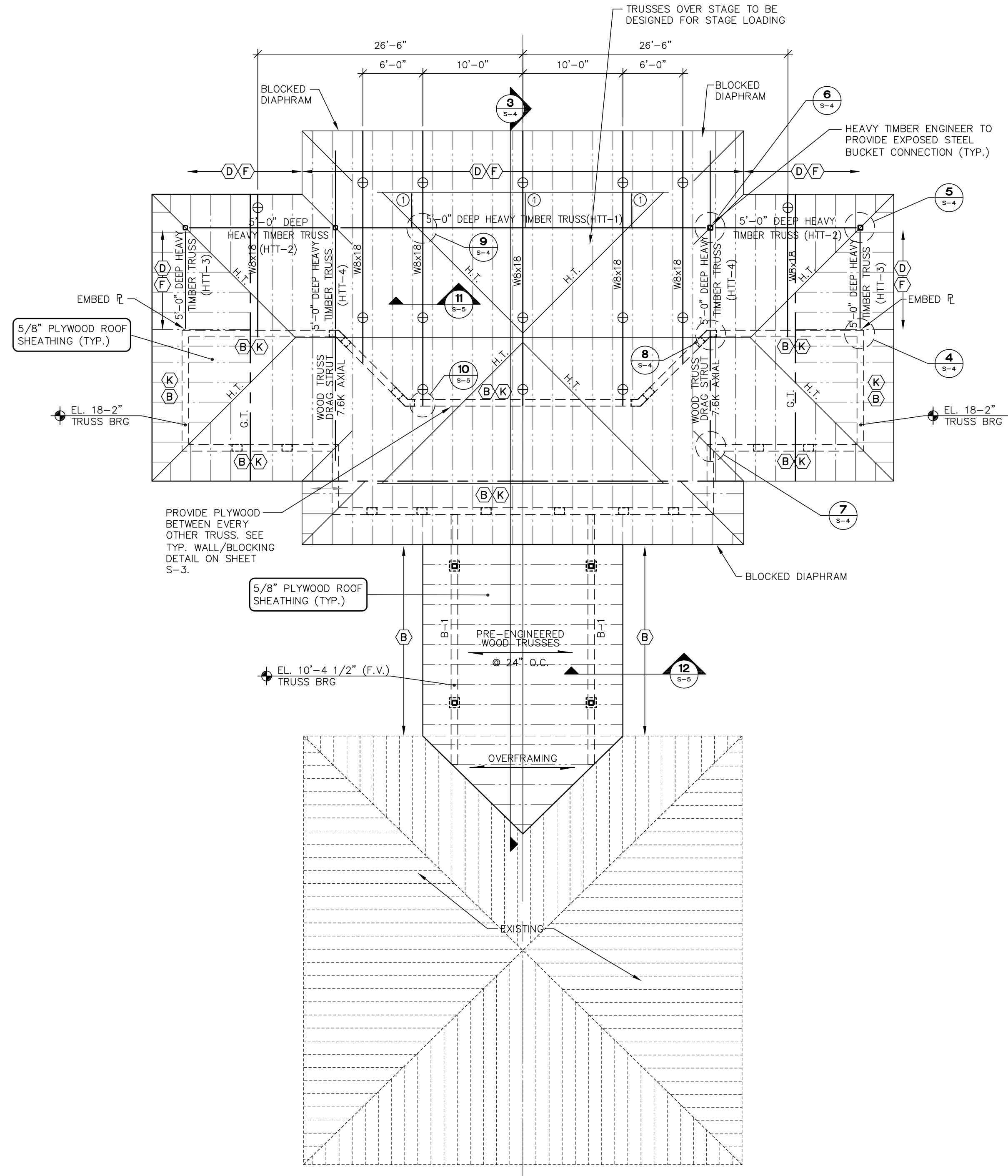
Structural Drawing Updated  
Based on Architectural Backgrounds Dated 7-20-16

PHILIP J. RIZZO  
P.E. FLORIDA  
REG. #60998



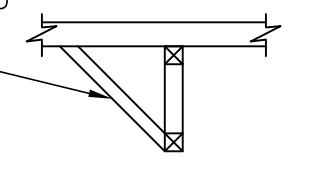
- WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE "TRUSS PLATE INSTITUTE" AND DCSI. GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES. BRACING TO BE INSTALLED IN THE PLAN OF THE WEB MEMBERS.
- THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
- LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.
- A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.
- THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" O. C. WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES BRACING SHALL BE MIN. 2 x 4 @ 36" O.C. NAILED TO THE TOP OF THE BOTTOM CHORD. SECURE BRACING TO BOTTOM CHORD W/ (2) 10d x 3" NAILS IF USING 2x4'S AND (3) 10d x 3" NAILS IF USING 2x6'S (TYP.). DIAGONALS PLACED AT 45° TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END AND AT 20 FOOT INTERVALS IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.
- TOP CHORD BRACING :
  - IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPHRAGM ACTION, BRACING IS NOT REQUIRED.
  - IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 80 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

**WOOD TRUSS BRACING DETAIL**



**ROOF PLAN**  
1/8"=1'-0"

- NOTES:**
- PROVIDE PLYWOOD BETWEEN EVERY OTHER TRUSS. SEE TYP. WALL/BLOCKING DETAIL ON SHEET S-3.
  - HEAVY TIMBER TRUSSES TO BE DESIGNED BY HEAVY TIMBER ENGINEER.
- ⊕ - INDICATES 2,000 LB POINT LOAD
- ① - INDICATES 6x6 TIMBER BRACE TO BOT. CHORD OF TRUSS
- B-1 8x12" w/ (4)#6 #3 STIRRUPS @ 5" o.c.

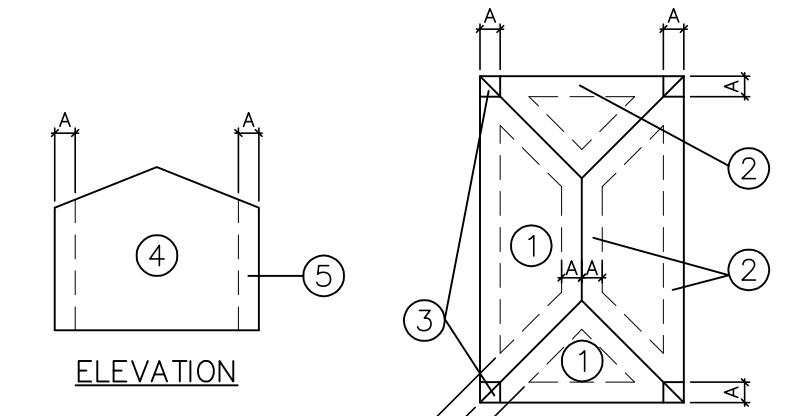


ULTIMATE					
COMPONENT & CLADDING WIND DESIGN PRESSURES					
PRESSURES BASED ON V <sub>w</sub>	ROOF WIND LOADS			WALL WIND LOADS	
	ROOF AREA (10 SF)			WALL AREA (10 SF)	
Kd IS INCLUDED	1	2	3	4	5
PRESSURE (PSF)	40.1	40.1	40.1	69.5	69.5
SUCTION (PSF)	-63.6	-110.8	-110.8	-74.5	-93.1

- EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH FLORIDA BUILDING CODE 5TH EDITION (2014) BY EITHER BEING DESIGNED FOR IMPACT RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS.
- WIND DESIGN PRESSURES NOTED MAY BE MULTIPLIED BY (6) FOR COMPARISON TO ALLOWABLE (NOMINAL) WIND PRESSURES OF TESTED ASSEMBLIES. PER SECTION 1609.1.5 OF FBC 5TH EDITION (2014).
- REFER TO STRUCTURAL NOTES FOR ALL WIND LOAD PARAMETERS.
- CORNER DISTANCE, A = 6 FEET

ALLOWABLE					
COMPONENT & CLADDING WIND DESIGN PRESSURES					
PRESSURES BASED ON V <sub>w</sub>	ROOF WIND LOADS			WALL WIND LOADS	
	ROOF AREA (10 SF)			WALL AREA (10 SF)	
Kd IS INCLUDED	1	2	3	4	5
PRESSURE (PSF)	24	24	24	41.7	41.7
SUCTION (PSF)	-38.2	-66.5	-66.5	45.3	-55.9

- EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH FLORIDA BUILDING CODE 5TH EDITION (2014) BY EITHER BEING DESIGNED FOR IMPACT RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS.
- REFER TO STRUCTURAL NOTES FOR ALL WIND LOAD PARAMETERS.
- CORNER DISTANCE, A = 6 FEET



PROVIDE ANCHOR STRAP FROM TABLE BELOW AT EACH BEARING POINT FOR EACH WOOD TRUSS AND EACH GIRDER TRUSS ADEQUATE TO RESIST UPLIFT AS SPECIFIED BY THE WOOD TRUSS MANUFACTURER.

TRUSS TIE DOWN SCHEDULE									
MARK	MANUF & MODEL NO.	STRUCTURAL COMPONENT	PRODUCT APPROVAL	NAILS TO COMPONENT	NAILS TO SEAT	BOLTS	ALLOWABLE UPLIFT	LATERAL LOAD PARALLEL TO WALL	LATERAL LOAD PERPENDICULAR TO WALL
(A)	SIMPSON H14-12	TRUSS/MASONRY OR CONCRETE	FL1473.5	7-10d x 1 1/2"	-	-	1285 # (*)	415 #	1100 #
(B)	SIMPSON H14-18	TRUSS/MASONRY OR CONCRETE	FL1473.5	14-10d x 1 1/2"	5-10d x 1 1/2"	-	1810 # (*)	415 #	1100 #
(C)	SIMPSON MGT	GIRDER TRUSS/MASONRY OR CONC	FL1470.7	22-10d	NOTE 5	5/8"	3065 # (**)	-	-
(D)	SIMPSON H14	TRUSS	FL1473.5	12-8d x 1 1/2"	-	-	1350 #	265 #	515 #
(E)	SIMPSON H14-10	TRUSS	FL1473.5	4-SDS 1/4" x 3"	-	-	695 #	940 #	1165 #
(F)	SIMPSON STR-22	-	FL1082.13	14-16d TO TRUSS	14-16d TO BEAM	-	2540 # (**)	-	-
(G)	SIMPSON STR-22	-	FL1046.33	7-10d x 1 1/2"	7-10d x 1 1/2"	-	840 # (*)	-	-
(H)	SIMPSON STR-12	-	FL1046.33	7-10d	7-10d	-	1000 # (*)	-	-
(I)	SIMPSON STR-20	TRUSS/MASONRY OR CONCRETE	FL1472.9	12-10d x 1/2"	-	-	2235 # (*)	335 #	730 #
(J)	SIMPSON STR-20	TRUSS/MASONRY OR CONCRETE	FL1046.18	16-10d	NOTE 5	2-3/4"	1690 # (**)	-	-
(K)	HGAM 10	-	FL1473.6	4-SDS 1/4" x 1 1/2"	(10)A' x 2 3/4" TIE	-	850 #	1100 #	1000 #
(L)	SIMPSON LG12	TRUSS / CMU	FL11470.6	16-16d SWIKER	(10)A' x 2 1/4" TIE	-	2150 # (**)	-	-
(M)	SIMPSON MTSM 16	-	FL11473.2	7-10d	(10)A' x 2 1/4" TIE TO BEAM	-	860 # (*)	235 #	190 #

- NOTES:**
- (\*) - ONE PLY MEMBER (\*\*) - TWO PLY (MIN.) MEMBER
  - T.B. - THRU-BOLT
  - U.N.O. - UNLESS NOTED OTHERWISE
  - APPROVED EQUAL OR BETTER TIE DOWNS FOR THE SAME LATERAL & UPLIFT LOADS ARE ACCEPTABLE.
  - USE "ULTRABOND 1" EPOXY W/ 1/2" MIN. EMBED.
  - USE "ULTRABOND 1" EPOXY W/ 5" MIN. EMBED.

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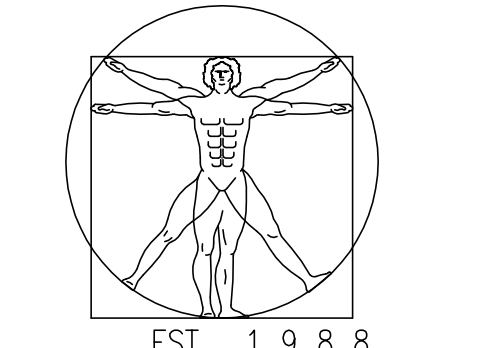
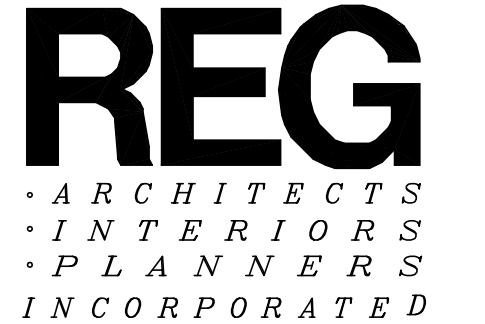


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JOB # 341.110

Structural Drawing Updated  
Based on Architectural Backgrounds Dated 7-20-16



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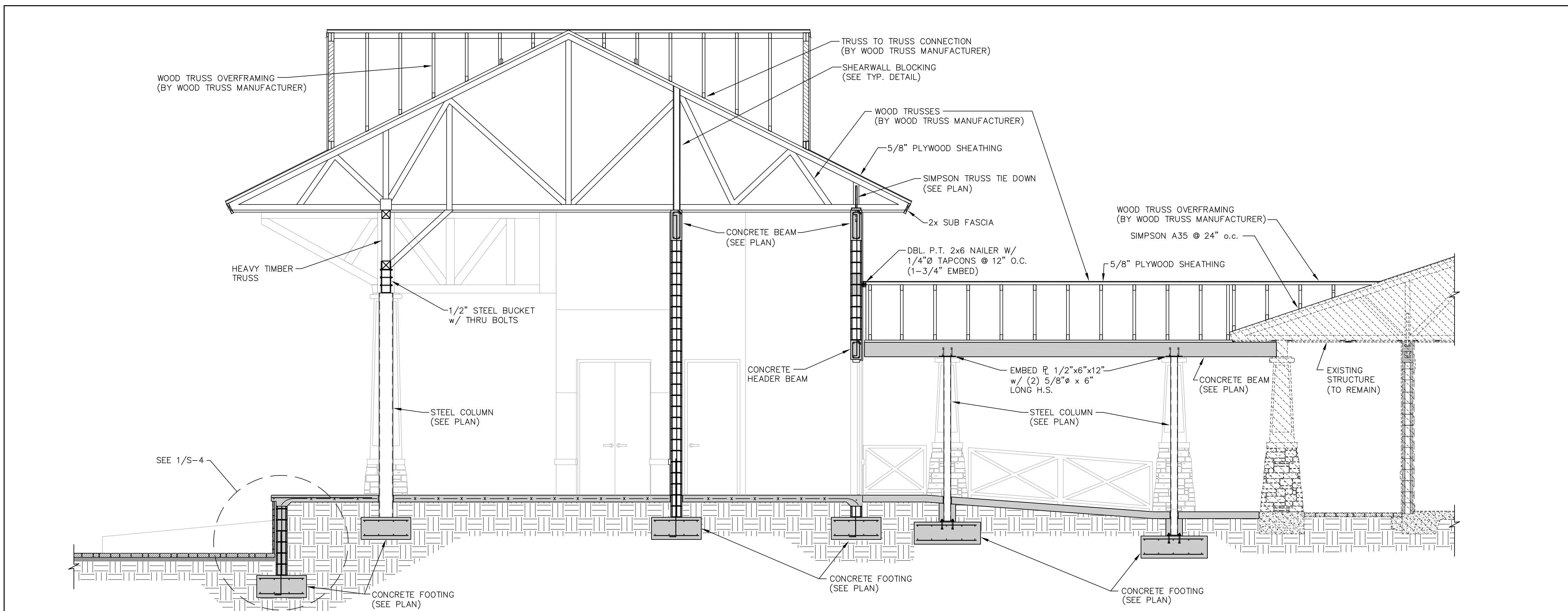
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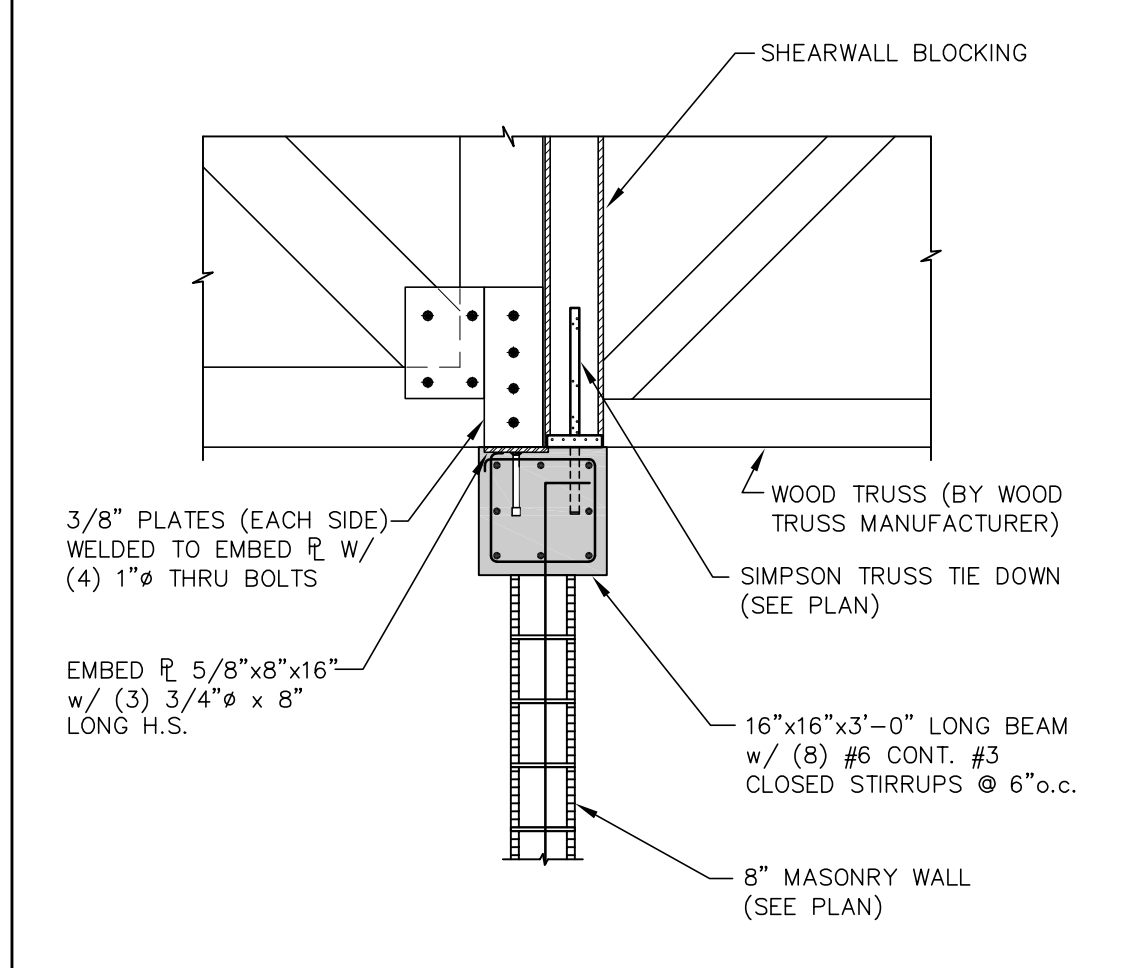
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**S-2**





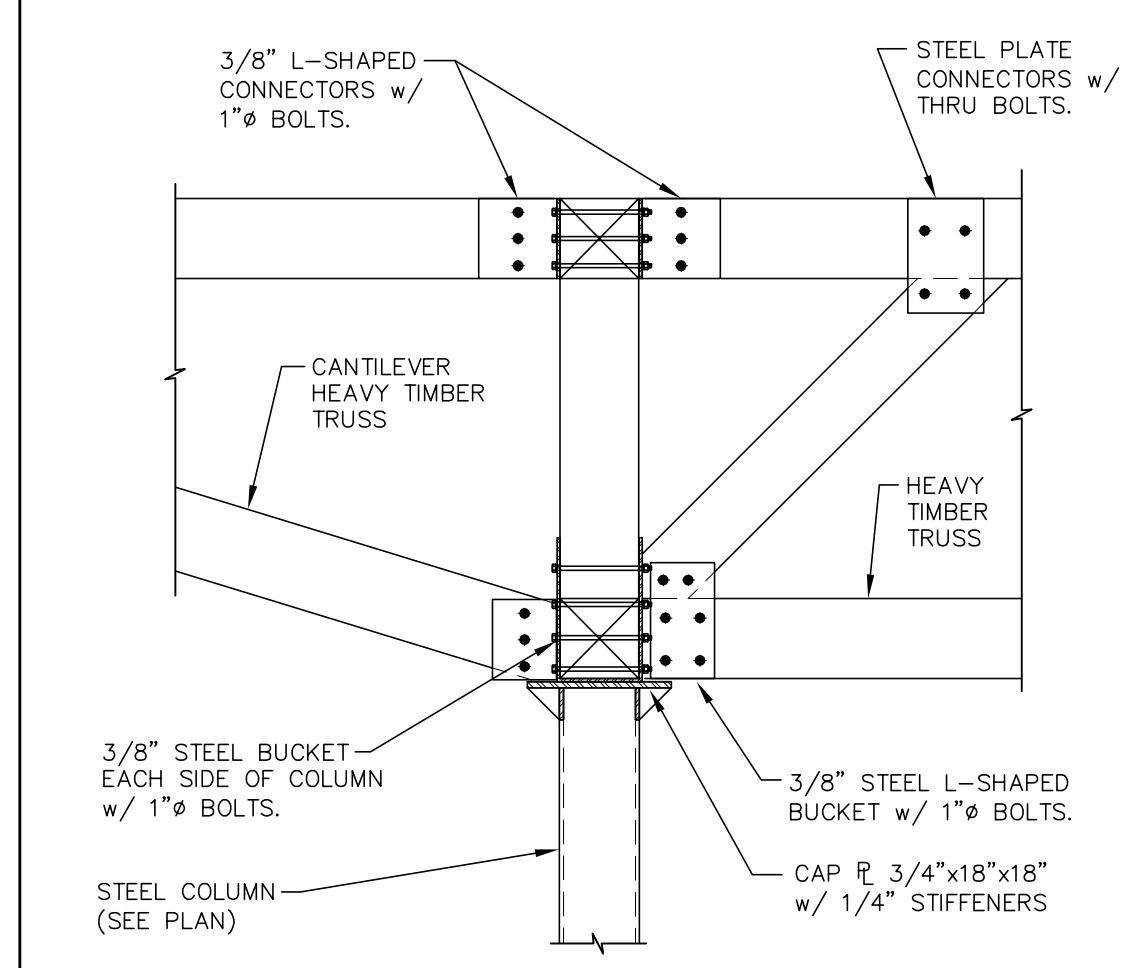
**3 SECTION** **1/4" = 1'-0"**



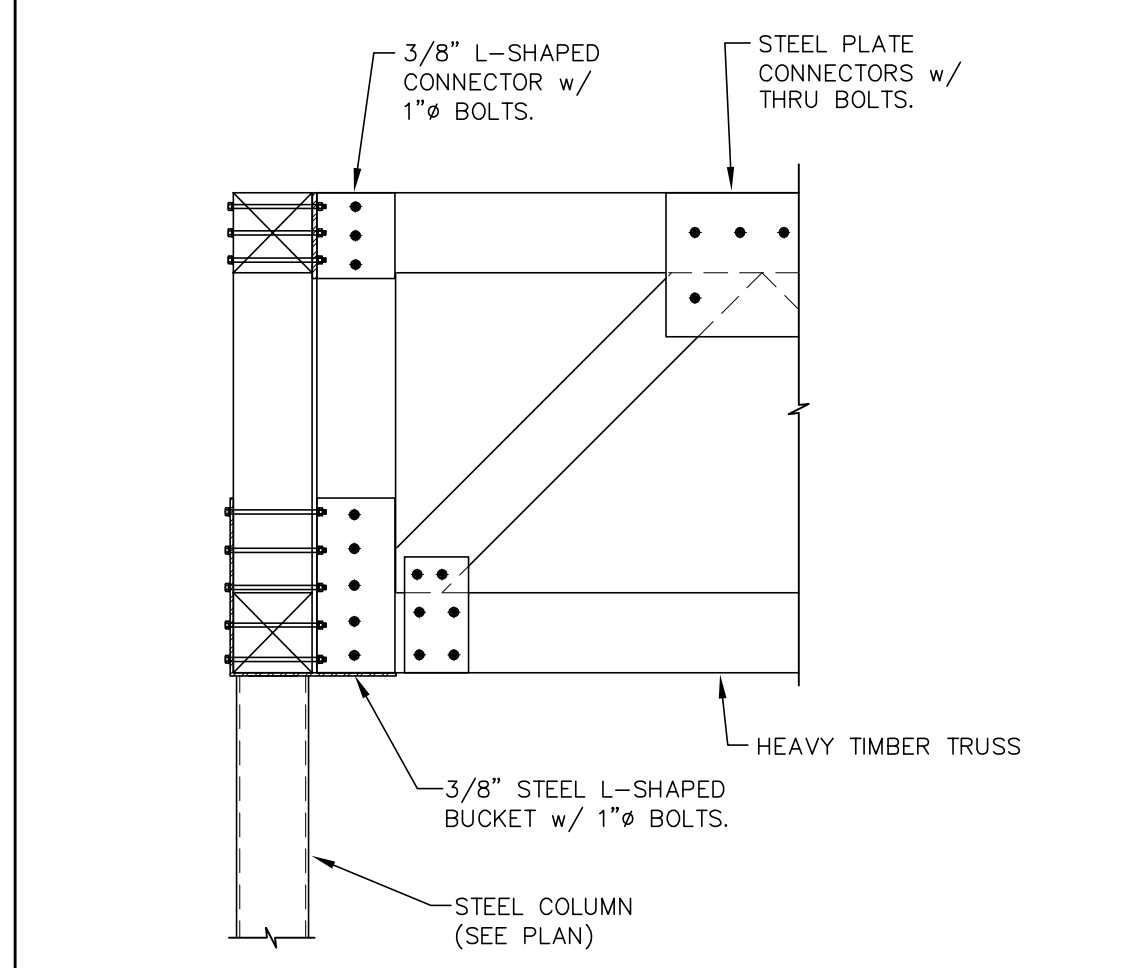
**8 SECTION** **1/2" = 1'-0"**



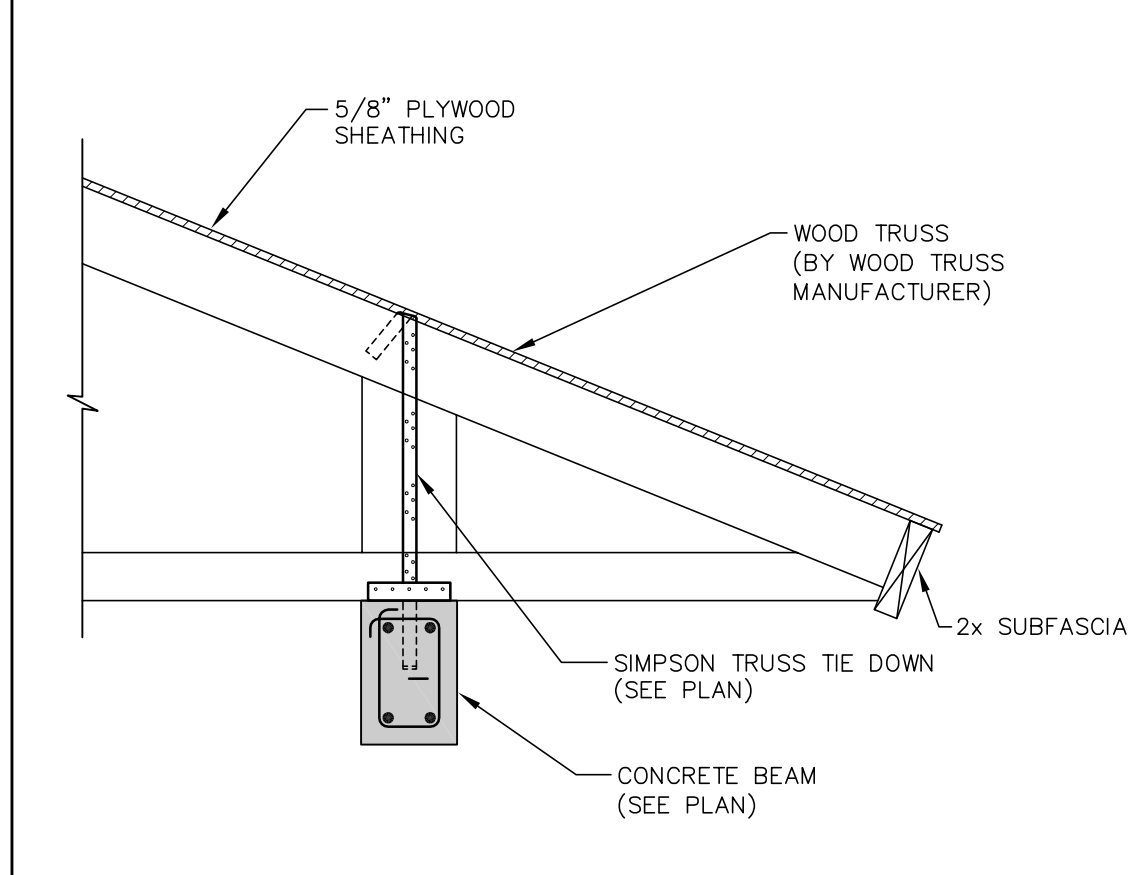
**7 SECTION** **1/2" = 1'-0"**



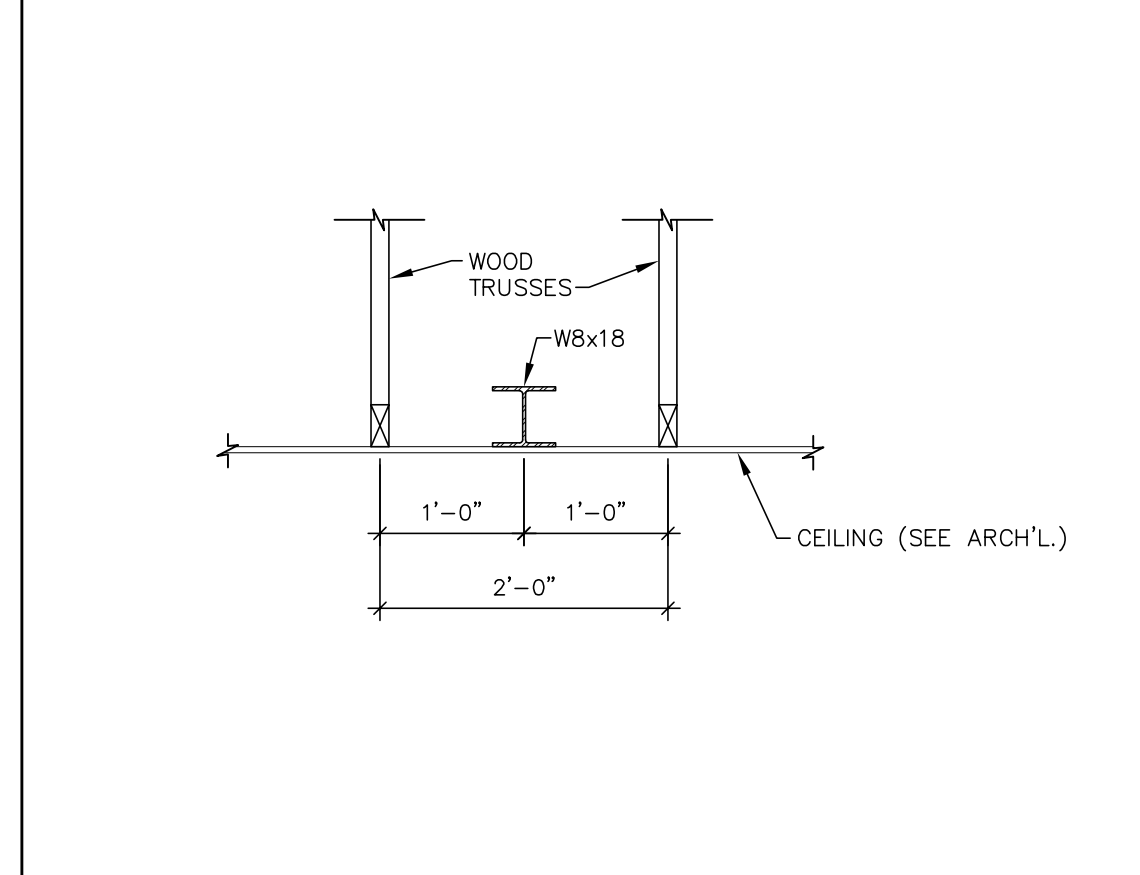
**6 SECTION** **1/2" = 1'-0"**



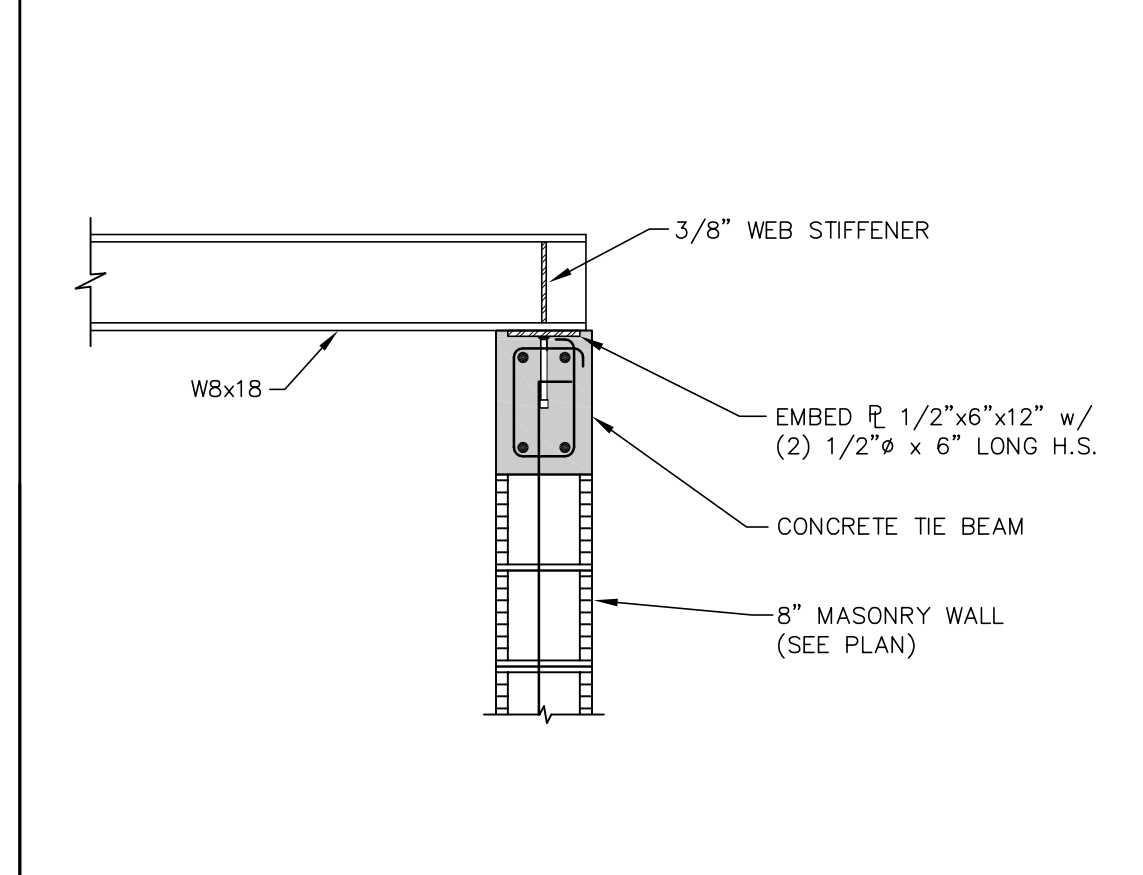
**5 SECTION** **1/2" = 1'-0"**



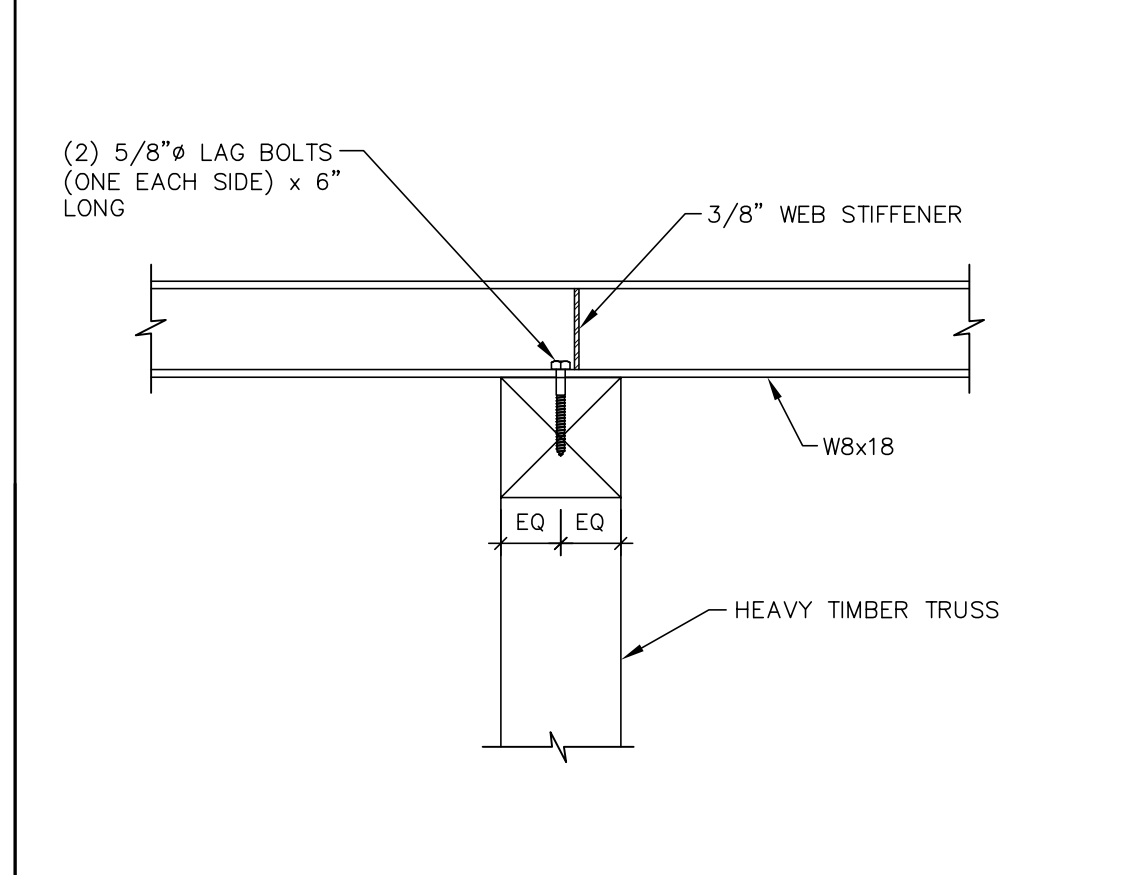
**12 SECTION** **3/4" = 1'-0"**



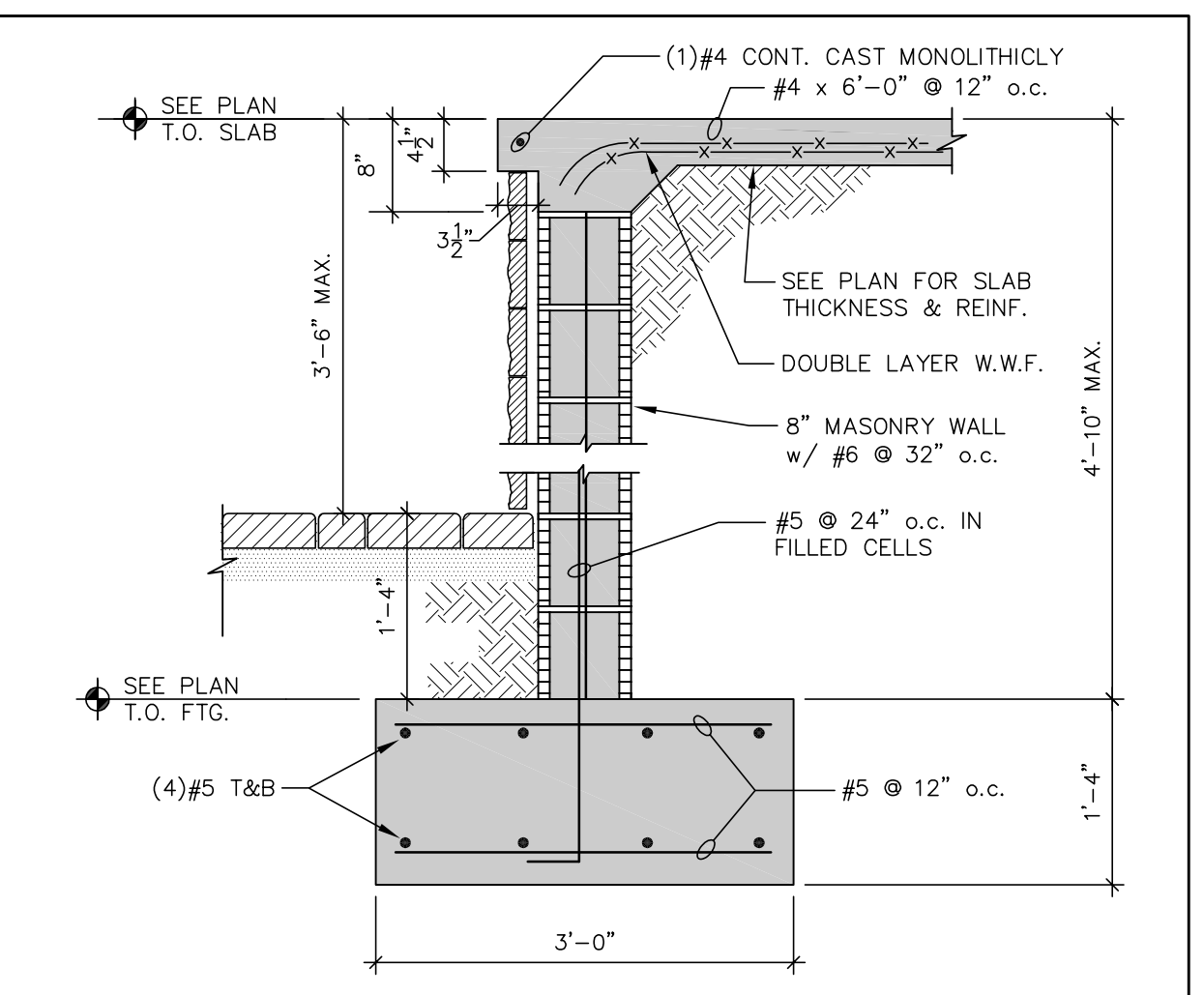
**11 SECTION** **3/4" = 1'-0"**



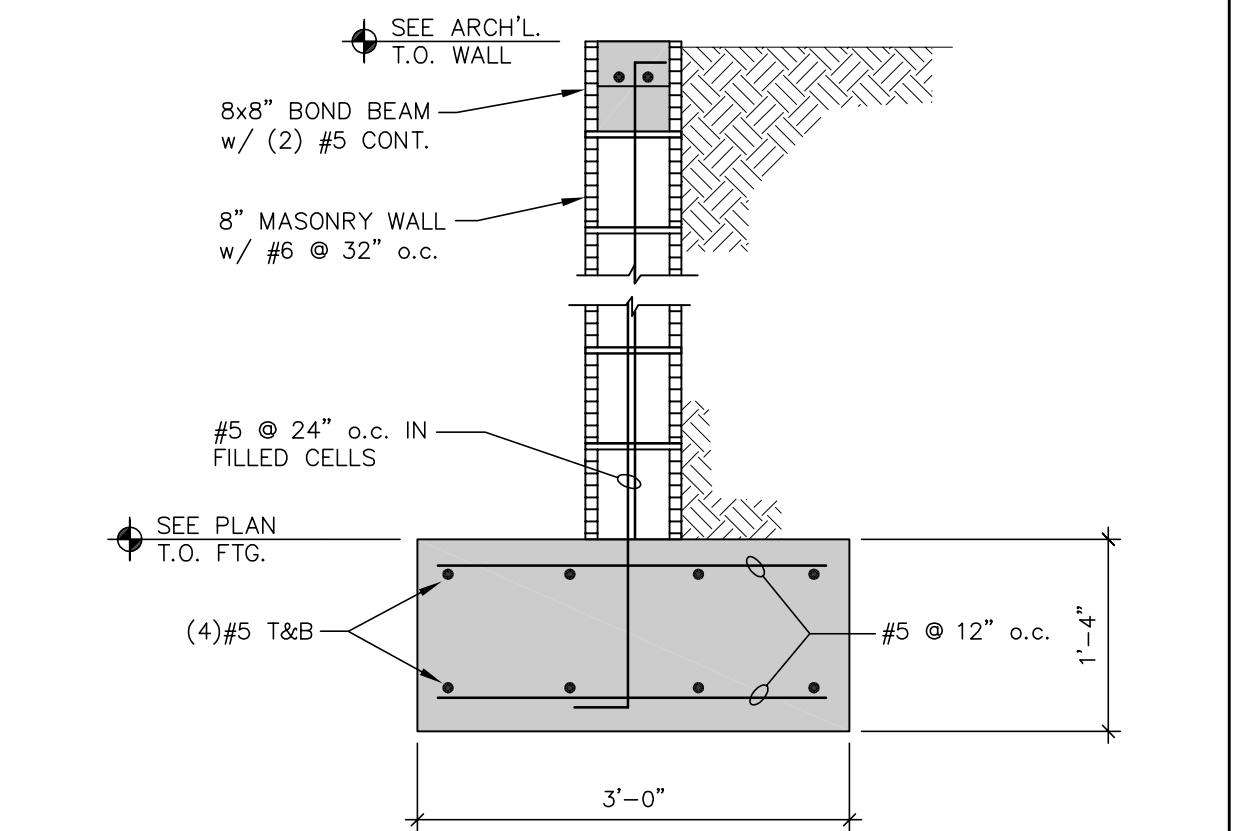
**10 SECTION** **3/4" = 1'-0"**



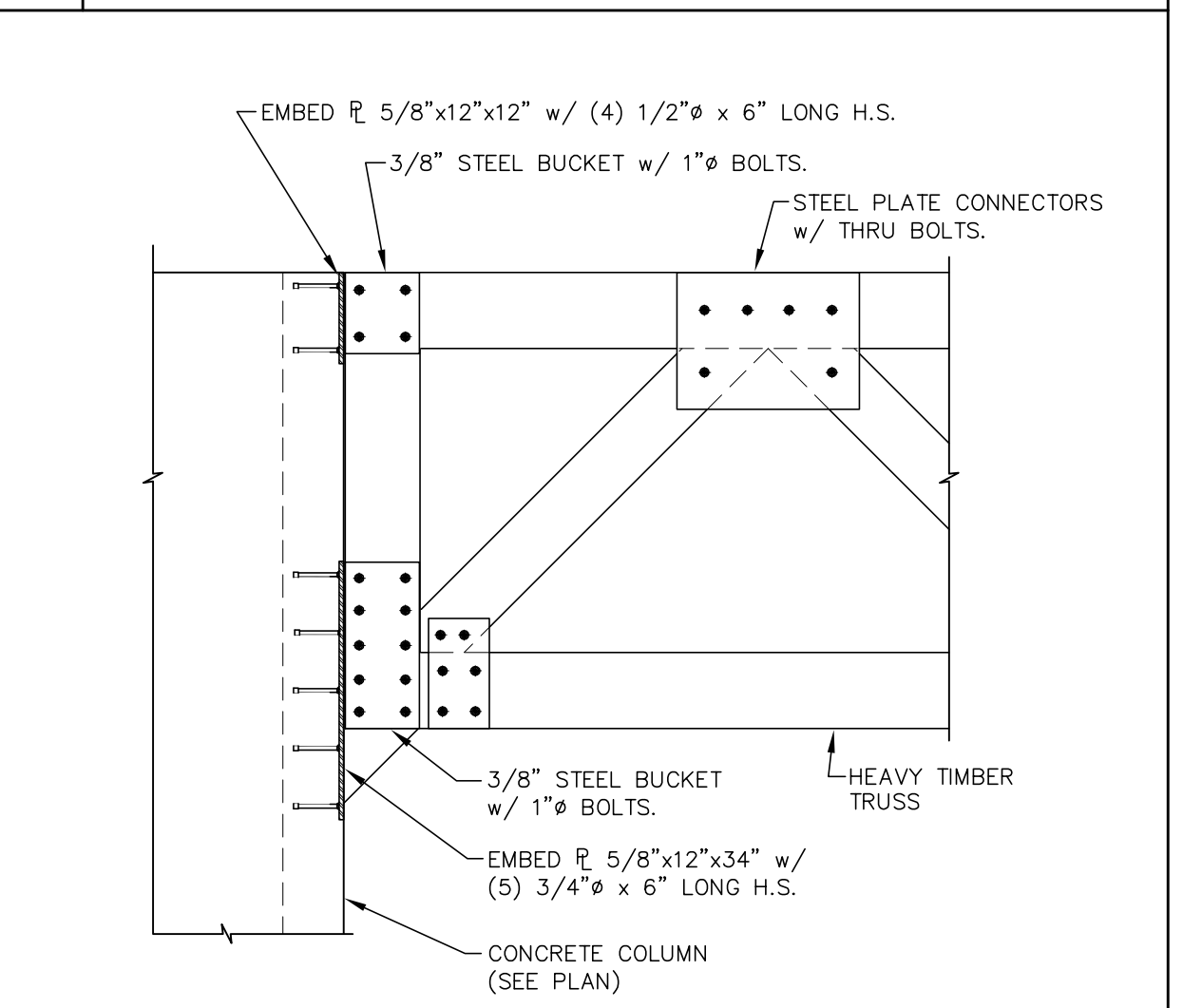
**9 SECTION** **3/4" = 1'-0"**



**1 SECTION** **3/4" = 1'-0"**



**2 SECTION** **3/4" = 1'-0"**



**4 SECTION** **1/2" = 1'-0"**

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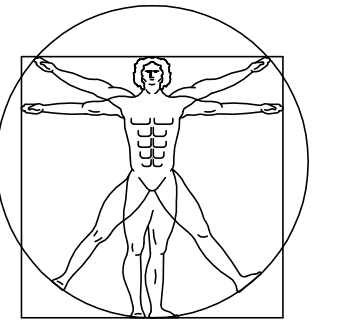
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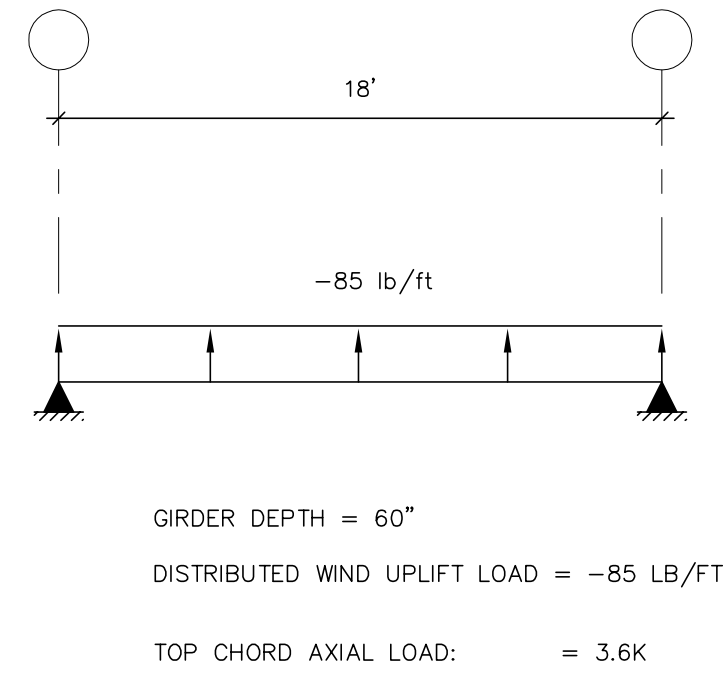
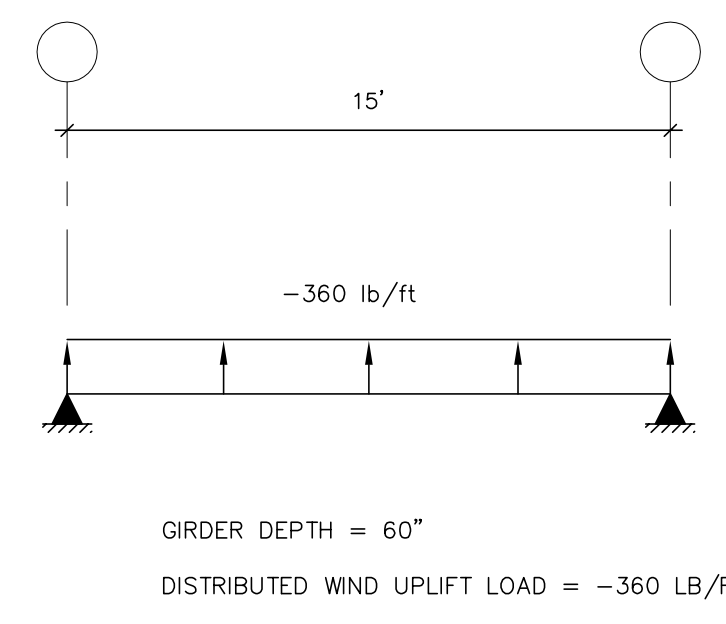
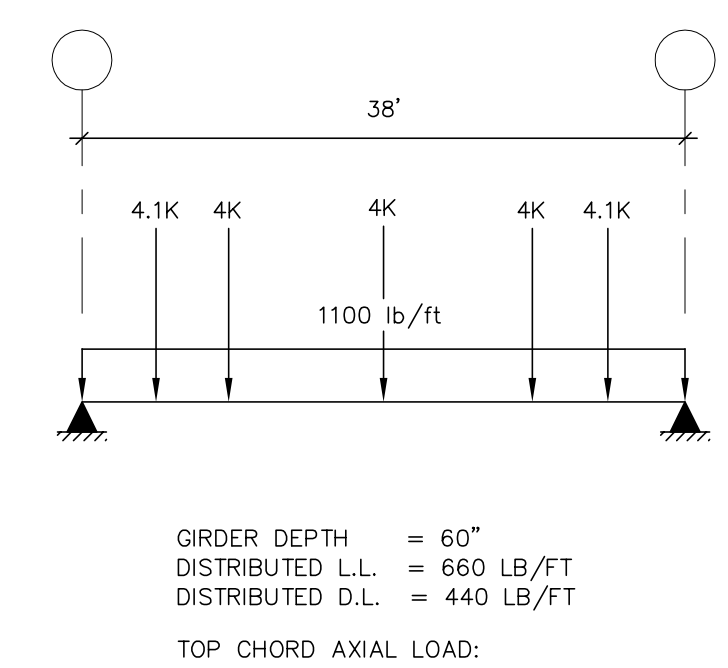
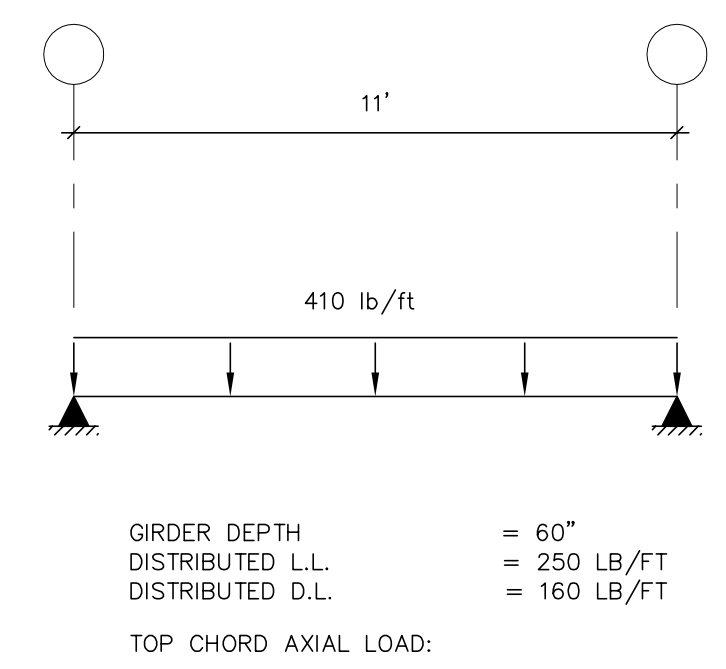
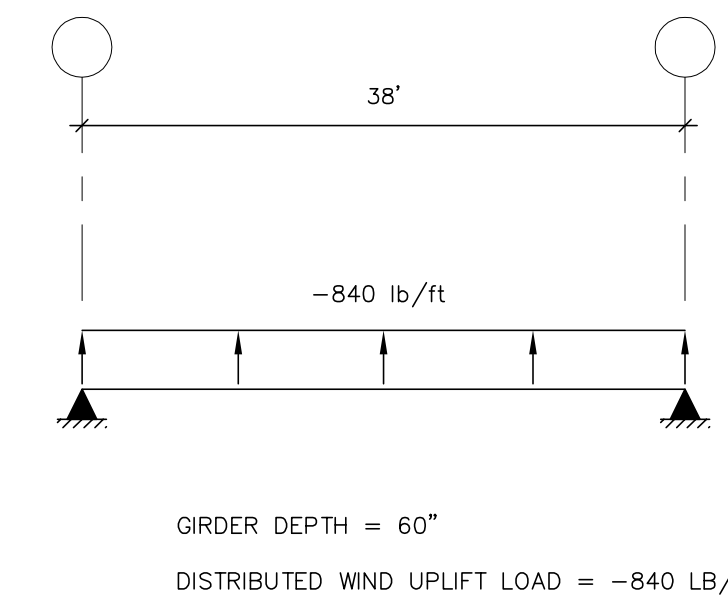
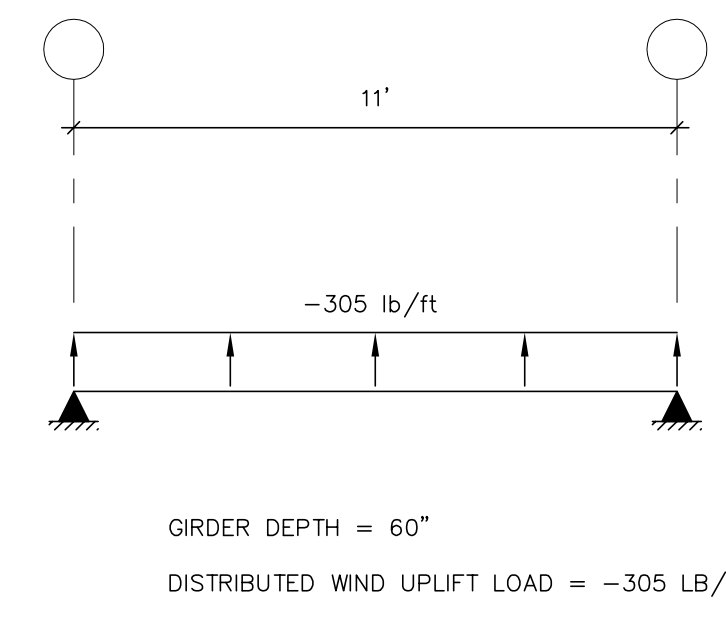
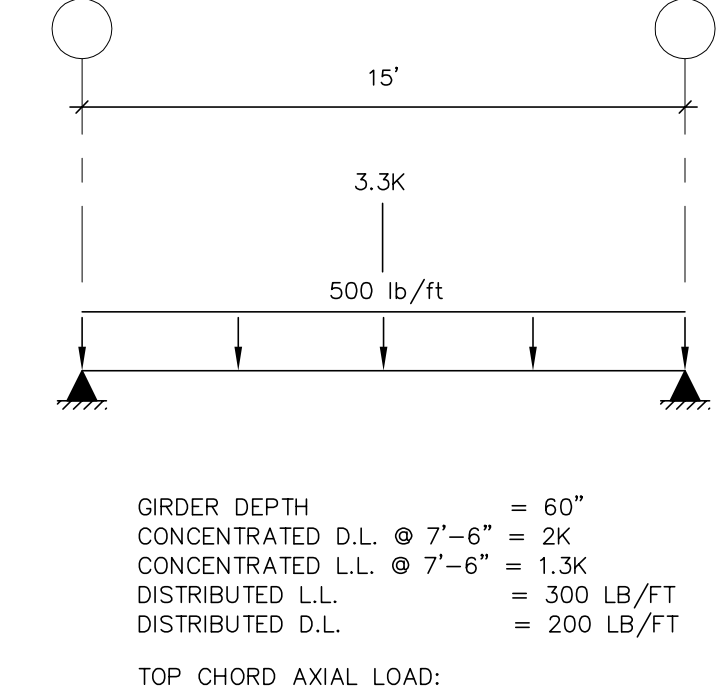
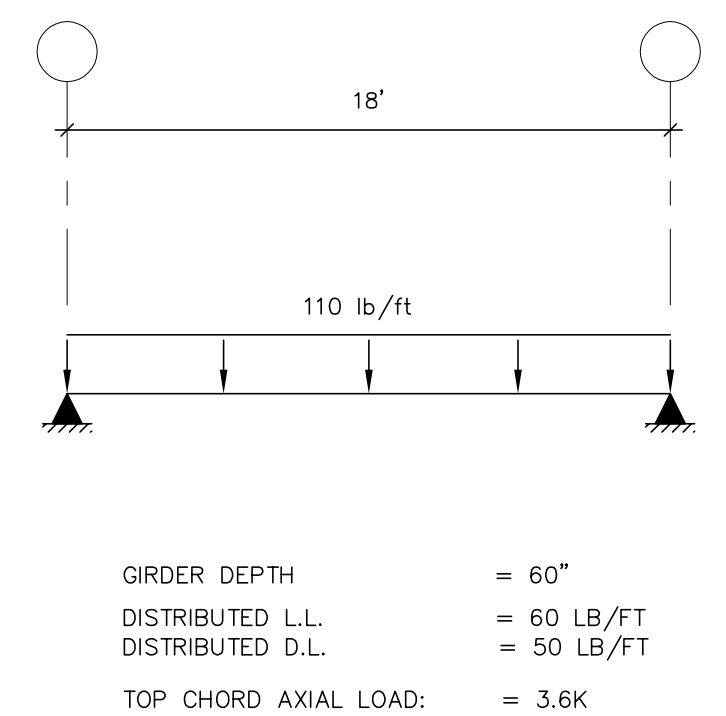
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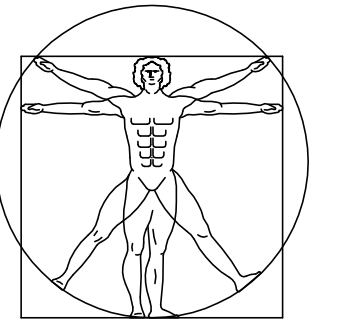
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**S-4**



										<p>CONCENTRATED L.L. @ 29' = 1.6K D.L. @ 29' = 2.4K L.L. @ 35' = 1.6K D.L. @ 35' = 2.5K</p> <p>CONCENTRATED L.L. @ 3' = 1.6K CONCENTRATED D.L. @ 3' = 2.5K CONCENTRATED L.L. @ 9' = 1.6K CONCENTRATED D.L. @ 9' = 2.4K CONCENTRATED L.L. @ 19' = 1.6K CONCENTRATED D.L. @ 19' = 2.4K</p> 	
12	SECTION	3/4" = 1'-0"	8	SECTION	3/4" = 1'-0"	4	HTT2	N.T.S.	1	HTT1	N.T.S.
											
13	SECTION	3/4" = 1'-0"	9	SECTION	3/4" = 1'-0"	5	HTT3	N.T.S.	2	HTT1	N.T.S.
											
14	SECTION	3/4" = 1'-0"	10	SECTION	3/4" = 1'-0"	6	HTT3	N.T.S.	3	HTT2	N.T.S.
											
15	SECTION	3/4" = 1'-0"	11	SECTION	3/4" = 1'-0"	7	HTT4	N.T.S.			

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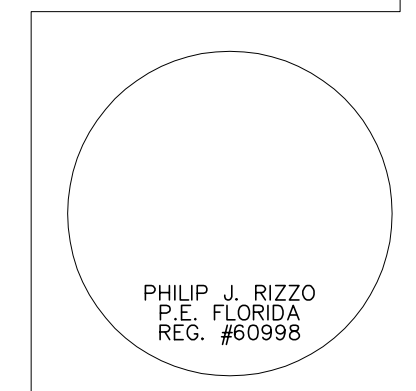
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- THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS ARE THE LEGAL PROPERTY OF THE ARCHITECT AND ARE INSTRUMENT OF SERVICE NOT TO BE REPRODUCED IN WHOLE OR IN PARTS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE SAME.
- IT IS THE INTENT OF THE ARCHITECT THAT THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER AND IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES, AND REGULATIONS.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- ALL DIMENSIONS SHOWN ARE NOMINAL UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
- SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NO LOWER THAN HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
- ALL DESIGN LOADS ARE TO BE AT MINIMUM PER F.B.C. 2014 AND AS OTHERWISE INDICATED IN THE CONTRACT.
- ALL EXTERIOR WINDOWS & DOORS SHALL BE IMPACT RESISTANT.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED, ALL HEADERS ARE DOUBLE MEMBERS UNLESS OTHERWISE NOTED.
- ALL PENETRATIONS THRU ANY RATED ASSEMBLY SHALL BE PROVIDED WITH UL APPROVED PENETRATION RATED MATERIAL.
- HARDWARE, BATHROOM AND LIGHTING FIXTURES, AND OTHER MISCELLANEOUS ITEMS NOT SPECIFICALLY CALLED OUT ON DRAWINGS SHALL BE SELECTED BY OWNER.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL SHALL COMPLY WITH THE F.B.C. 2014 (MECH)/ELECT/PLUMB.
- ALL WORK TO BE TRUE TO LINE, PLUM AND SQUARE AND ADEQUATELY SUPPORTED. FILL ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET THE ARCHITECT'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY WORKMANSHIP WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WHEN CONFLICTING INFORMATION ARE FOUND IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR DEMOLITION (IF APPLICABLE), CONSTRUCTION, AND OCCUPANCY OF THE PROJECT.
- THE CONTRACTOR SHALL SUBMIT A SCHEDULE FOR DEMOLITION AND CONSTRUCTION PROCEDURES AND OPERATIONAL SEQUENCE FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT/ENGINEER AND OWNER.
- CONTRACTOR IS TO COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THE WORK IS COMPLETED IN A TIMELY MANNER, COMPLYING WITH OWNER/CONTRACTOR AGREEMENT.
- CONTRACTOR SHALL SUBMIT PRODUCT APPROVAL DATA FOR ALL PRODUCTS AND MATERIALS AS REQUIRED BY CODE AND SPECIFIC MUNICIPALITY THE PROJECT IS LOCATED IN.
- CONTRACTOR SHALL SUBMIT, WITHIN 15 DAYS FROM OWNER/CONTRACTOR CONTRACT, A SHOP DRAWING AND SUBMITTAL SCHEDULE FOR ARCHITECT AND OWNER APPROVAL.
- CONTRACTOR SUBMITTALS MUST CONTAIN (3) THREE SETS FOR ARCHITECT/ENGINEER/OWNER RECORDS, PLUS ANY ADDITIONAL SETS REQUIRED FOR PERMITTING AND CONTRACTORS USE. ALL SUBMITTALS MUST BE COMPLETE (NO PARTIAL SUBMITTALS WILL BE RECEIVED). ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTING TO THE ARCHITECT/ENGINEER AND OWNER.
- CONTRACTOR SHALL SUBMIT TO ARCHITECT SIGN & SEAL TRUSS SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT AND OWNER WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
- ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, APPLICABLE CODES, RULES AND REGULATIONS HAVING JURISDICTION.
- CONTRACTOR SHOULD MAINTAIN THE SITE SAFE AND CLEAR OF DEBRIS. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED FROM THE WORK AREAS DAILY AND FROM THE SITE AT PROPER INTERVALS.
- THE CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION APPROVED BY THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF HIS WORK, INCLUDING BUT NOT LIMITED TO VANDALISM, THEFT, ETC.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF GOODS BEING INSTALLED UNDER THIS CONTRACT, AS WELL AS FOR COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES OR FOR PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT'S CONSTRUCTION.

- THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING BUILDING AND SITE CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCIES BE ENCOUNTERED BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE ARCHITECT/ENGINEER SHOULD BE NOTIFIED IN WRITING 7 DAYS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTARY MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SPECIFIC STANDARDS AND REQUIREMENTS BY CORRESPONDING TESTING AGENCIES ON ASSEMBLIES CALLED OUT IN DRAWINGS & SPECIFICATIONS.
- CONTRACTOR SHALL EMPLOY AND PAY FOR SERVICES OF AN INDEPENDENT, QUALIFIED TESTING LABORATORY TO PERFORM SOIL COMPACTION TEST AS WELL AS COMPRESSIVE STRENGTH TEST IN CONCRETE SAMPLINGS, AS PER ASTM STANDARDS.
- CONTRACTOR SHALL PROVIDE MOCKUP FOR EXTERIOR AND INTERIOR FINISHES AND COLOR SELECTIONS FOR ARCHITECT AND OWNER'S APPROVAL (SEE PROJECT NARRATIVE).
- TO OBTAIN ARCHITECT'S APPROVAL ON APPLICATION FOR PAYMENT, CONTRACTOR SHALL SUBMIT DETAILED SCHEDULE OF VALUES PER TRADE, BROKEN DOWN TO SUFFICIENT LINE ITEMS TO GRANT PAYMENT ON COMPLETED PORTIONS ONLY. NO PAYMENT WILL BE APPROVED ON PARTIALLY COMPLETED LINE ITEMS.
- IN ADDITION TO THE GENERAL NOTES REFERRED TO ABOVE PLEASE REFER TO THE PROJECT'S DESIGN NARRATIVE FURNISHED BY THE CITY OF PALM BEACH GARDENS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

OCCUPANT LOAD CALCULATIONS:			
FIRST FLOOR:			OCCUPANTS:
STAGE	1,098 SF / 15N		74
GREEN/DRESSING ROOMS	244 SF / 15N		16
STORAGE (BACKSTAGE)	483 SF / 300DG		2
TOTAL			92

LIFE SAFETY CODE:			
BASED ON FLORIDA FIRE PREVENTION CODE 2012 (5th EDITION)			
OCCUPANCY:		REQUIRED:	PROVIDED:
MEANS OF EGRESS	MINIMUM DISTANCE BETWEEN EXITS = (1/2) OF DIAGONAL	63' / 2 = 31'-6"	60'-2"
	OCCUPANT LOAD:	(SEE OCCUPANT LOAD CALCULATIONS)	
	COMMON PATH LIMIT:	75 FT	0 FT
	DEAD-END LIMIT:	20 FT	0 FT
	TRAVEL DISTANCE LIMIT:	200 FT	190 FT
NOTES: *BUILDING IS NOT SPRINKLERED			

BUILDING CODE			
BASED ON FLORIDA BUILDING CODE 2014			
OCCUPANCY:		REQUIRED:	PROVIDED:
DESCRIPTION:			
SPECIAL OCCUPANCY CLASSIFICATIONS:	410 - STAGE	410 - STAGE	
ALLOWABLE AREA:	UL	2,372 SF	
AREA MODIFICATIONS:	N/A	N/A	
BUILDING HEIGHT:	UL	21 FT	
OCCUPANCY SEPARATION:	1-HOUR	1-HOUR	
TENANT SEPARATION:	N/A	N/A	
TYPE OF CONSTRUCTION:		TYPE VB	
HOURLY FIRE RATING:			
	PRIMARY STRUCTURAL FRAME:	0	0
	BEARING WALLS: EXTERIOR/INTERIOR:	0	0
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	0	0
	ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0	0
MEANS OF EGRESS:			
	OCCUPANT LOAD:	(SEE OCCUPANT LOAD CALCULATIONS)	
	EGRESS WIDTH:		
	STAIRWAYS (0.3" PER OCCUPANT):	74 (0.3) = 23"	210"
	OTHER EGRESS COMPONENTS (0.2" PER OCCUPANT):	N/A	N/A
	MIN. CLEAR OPENING:	32"	32"
	MIN. STAIR WIDTH:	44"	105"
	MAX. COMMON PATH OF TRAVEL:	75 FT	0 FT
	MAX. TRAVEL DISTANCE:	200 FT	40 FT
	MIN. CORRIDOR WIDTH:	N/A	N/A
	MAX. DEAD END:	20 FT	0 FT
	NUMBER OF EXITS:	2	2
NOTES: *PER FBC-B 410.5.1 A 1-HR SEPARATION IS REQUIRED BETWEEN STAGE AREA AND ADJACENT SPACES.			

AREA CALCULATIONS:	
DESCRIPTION	AREA
STAGE/PLATFORM (EXTERIOR COVERED)	1,098 SF
BACKSTAGE/ACCESSORY SPACES (INTERIOR)	882 SF
AMPHITHEATRE BUILDING TOTAL	1,980 SF
CONNECTION TO RESTROOMS (EXTERIOR COVERED)	392 SF
TOTAL	2,372 SF

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS SET

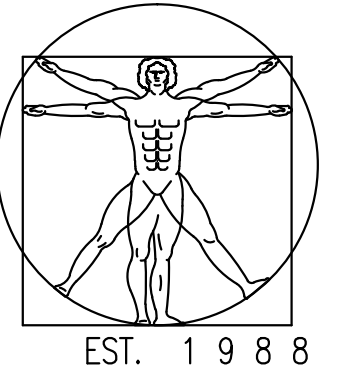
ABV	ABOVE
AC	AIR CONDITIONER
AFB	ABOVE FINISHED FLOOR
AHU	AIR HANDLER UNIT
BLK	BLOCK
BD	BOARD
B.O.	BOTTOM OF
C	CENTRE LINE
CLG	CEILING
CMU	CONCRETE MASONRY UNITS
COL	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DBL	DOUBLE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
DS	DOWNSPOUT
ELEC.	ELECTRICAL
EJ	EXPANSION JOINT
EXT.	EXTERIOR
EXIST.	EXISTING
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FD	FLOOR DRAIN
GA	GAUGE
GALV.	GALVANIZED
GYP	Gypsum
HC	HOLLOW CORE
INS.	INSULATION
INT.	INTERIOR
MAX.	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
M.O.	MASONRY OPENING
MTL	METAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OH	OVERHANG
O/C	ON CENTER
OD	OUTSIDE DIAMETER
P.H.	PAPER HOLDER
P.L.	PROPERTY LINE
PLF	POUNDS PER LINEAR FOOT
P.T.	PRESSURE TREATED
P.T.D.	PAINTED PLYWOOD
PLYUD.	
RD.	ROOF DRAIN
SCP	SCUPPER
S.C.	SOLID CORE
SF	SQUARE FOOT
SH	SINGLE HANG
SHT	SHEET
SIM.	SIMILAR
S.S.	STAINLESS STEEL
STL.	STEEL
SU	SUITCH
SB	SPLASH BLOCK
SD	STORM DRAIN
T.O.	TOP OF
TYP.	TYPICAL
UNO.	UNLESS NOTED OTHERWISE
UL	UNDERWRITERS LABORATORIES
WA	WEDGE ANCHORS
W	WITH
WC	WATER CLOSET
WD	WOOD
WH	WATER HEATER

ARCHITECTURAL SYMBOLS

ELEVATIONS / SECTIONS / DETAILS SYMBOLS

- BUILDING SECTION TAG
- SHEET NUMBER
- WALL OR DETAIL SECTION TAG
- SHEET NUMBER
- BUILDING ELEVATION TAG
- SHEET NUMBER
- PLANS**
- ROOM NAME AND NUMBER
- WALL TYPE TAG (REFER TO WALL TYPE SCHEDULE)
- WINDOW TAG (REFER TO WINDOW SCHEDULE)
- WINDOW TYPE
- DOOR TAG (REFER TO DOOR SCHEDULE)
- WHEELCHAIR MANEUVERING FLOOR CLEARANCE AT DOORS IN EGRESS AREAS (FBC/ADA)
- WHEELCHAIR 5 FEET RADIUS TURNING CLEARANCE AT FLOOR IN COMMON AREAS (FBC/ADA)
- ELEVATION NUMBER
- INTERIOR ELEVATIONS TAG
- SHEET NUMBER
- WALL FINISH
- WALL BASE - FINISH FLOOR SCHEDULE (REFER TO FINISH PLAN)
- LIFE SAFETY - ROOM OCCUPANCY LOAD TAG
- LIFE SAFETY - MAX. ROOM LOAD SF PER PERSON
- REFERENCE - LIFE SAFETY - EGRESS DOOR LOAD TAG
- MAX. DOOR LOAD
- GENERAL**
- REFERENCE
- REVISION TAG AND CLOUD REVISIONS ARE DONE SHEET BY SHEET.
- EXTENT OF CHANGES SHOWN INSIDE CLOUD
- DETAIL NUMBER
- ENLARGED PLAN OR DETAIL
- SHEET NUMBER
- KEY NOTE TAG (REFER TO KEY NOTES)
- GENERAL NOTE: ALSO REFER TO SPECIFIC PLAN LEGEND**
- FINISH TAG
- TOP OF WALL OR FFL - VERTICAL ELEVATION TAG EL. = 10'-0"

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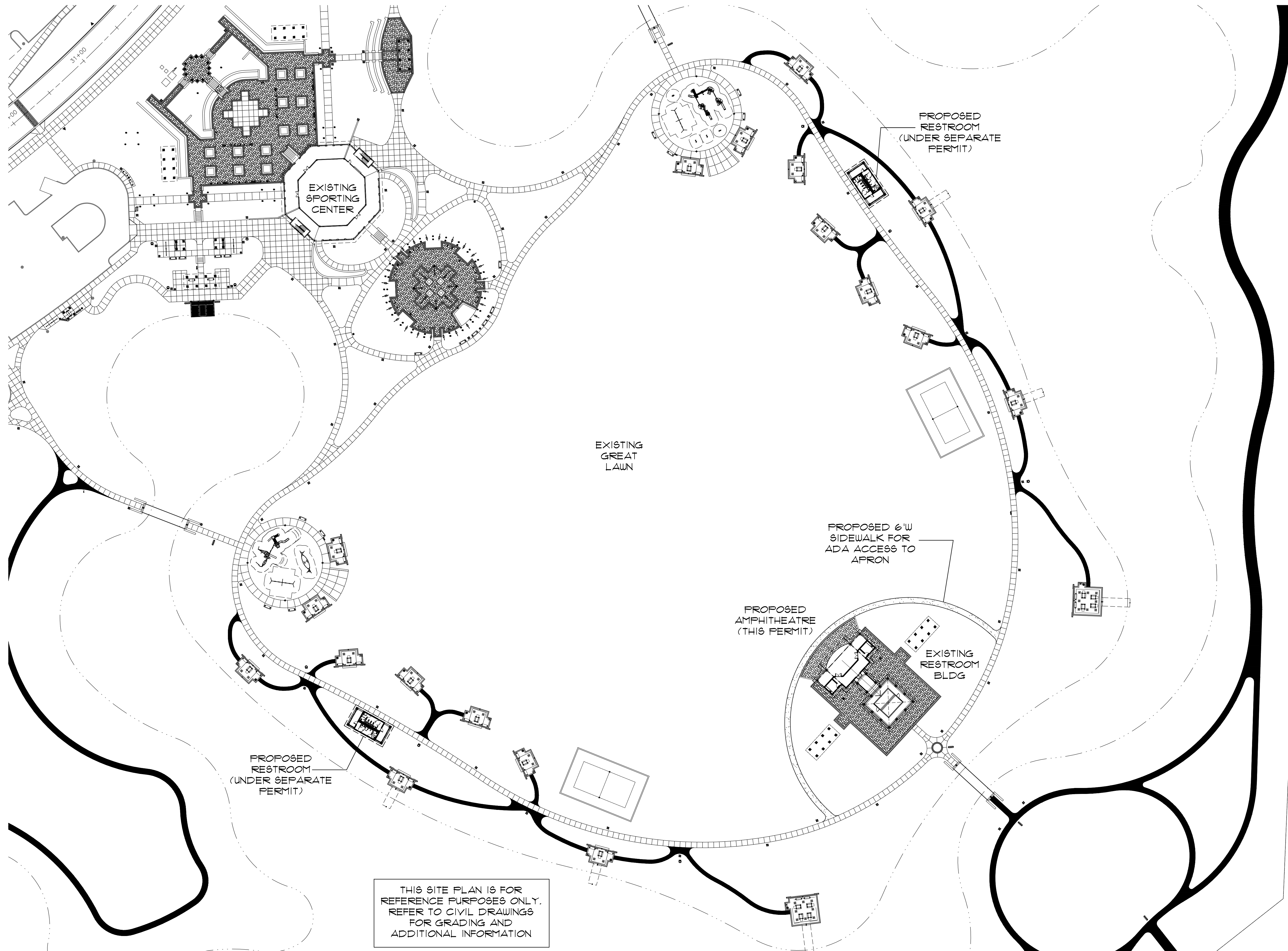
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SHEET

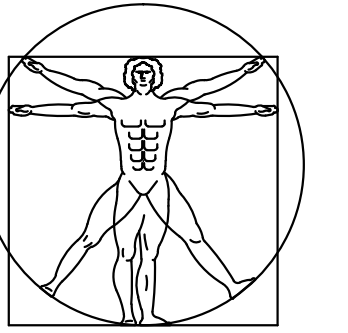
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THIS SITE PLAN IS FOR  
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REFER TO CIVIL DRAWINGS  
FOR GRADING AND  
ADDITIONAL INFORMATION

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SCALE 1"=50'-0"

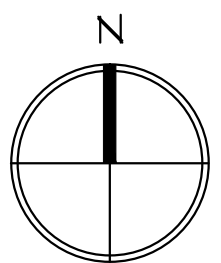
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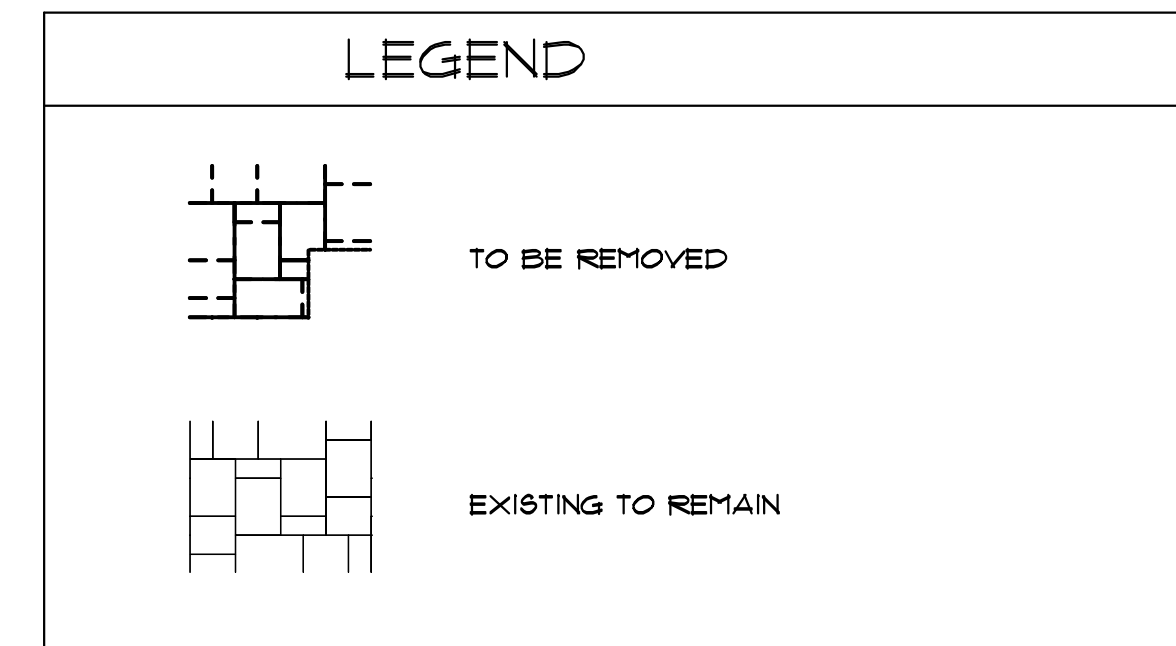
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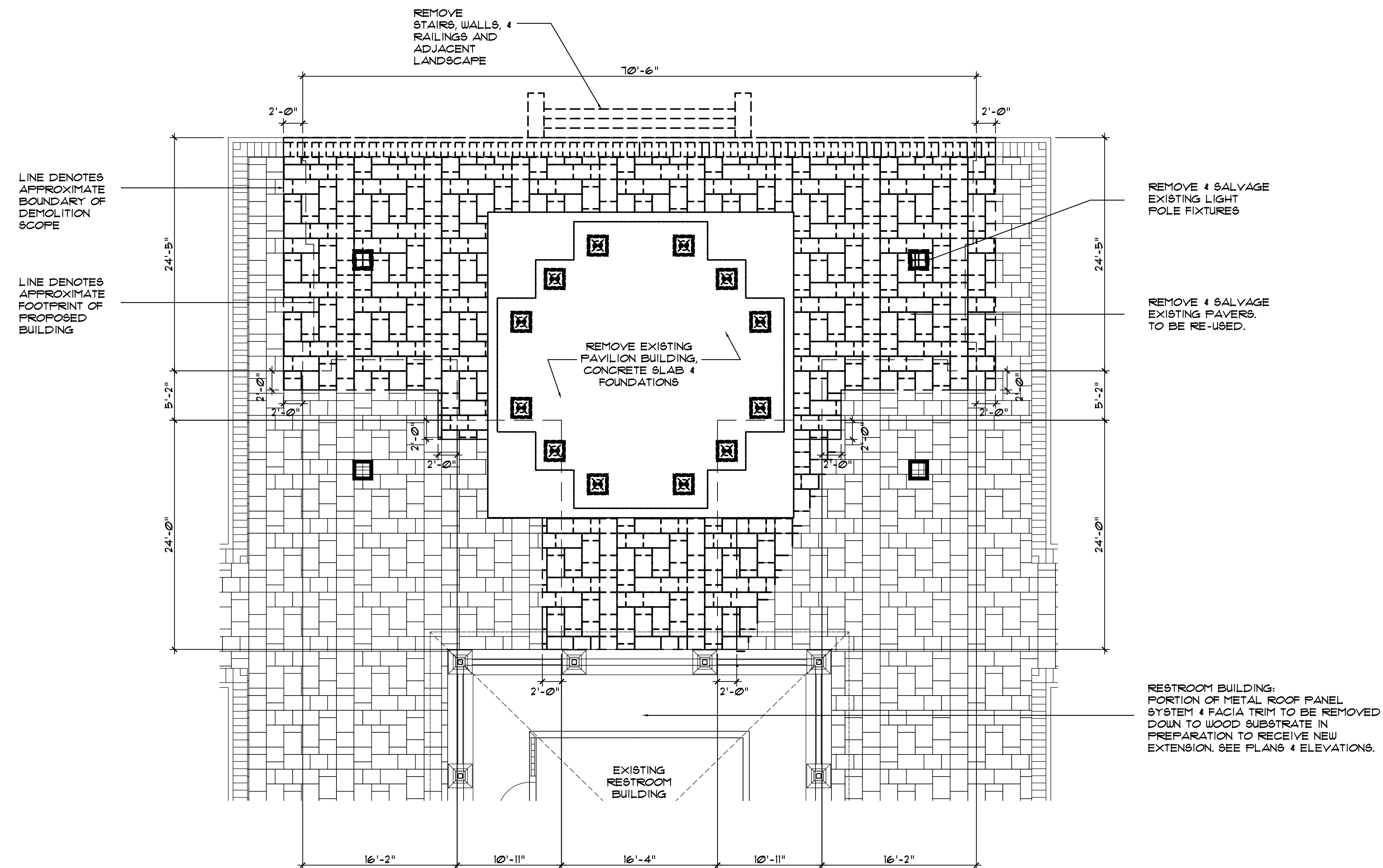


SITE  
PLAN

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- ### DEMOLITION NOTES
- CONTRACTOR IS RESPONSIBLE OF BECOMING FULLY INFORMED AS TO EXISTING CONDITIONS AT THE SITE. NEITHER THE OWNER NOR THE A/E MAKES ANY REPRESENTATION WARRANTY AS TO SITE CONDITIONS.
  - CONTRACTOR TO PROVIDE THE NECESSARY LABOR, MATERIAL, SCAFFOLDING & EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AS DESCRIBED IN THE DRAWINGS.
  - CONTRACTOR SHALL VERIFY WITH OWNER, DEMOLITION PHASING SCHEDULE BEFORE START DEMOLITION WORK.
  - MATERIALS, EQUIPMENT & RUBBISH, EXCEPT FOR ITEMS TO BE REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE CODES.
  - CONTRACTOR SHALL COORDINATE WITH OWNER ANY ITEMS, FIXTURES, AND/OR BUILDING ELEMENTS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
  - THE DEMOLITION PLAN AND KEY NOTES ARE PROVIDED FOR REFERENCE ONLY. IT DOES NOT INTEND TO ADDRESS ALL DEMOLITION SCOPE OF WORK. CONTRACTOR SHALL COORDINATE FULL DEMOLITION SCOPE WITH EXISTING CONDITIONS AND PROPOSED PLANS.
  - CONTRACTOR SHALL REPORT TO ARCHITECT ANY DISCREPANCY FOUND ON SITE WITH THE DEMOLITION PLAN PRIOR TO START.
  - ALL DEMOLITION, RENOVATION, AND NEW CONSTRUCTION SHALL COMPLY WITH NFPA 241 AND ALL OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES, RULES, AND ORDINANCES.
  - CONTRACTOR IS FULLY RESPONSIBLE FOR THE SAFETY AND PROTECTION OF WORKMEN AND THE PUBLIC FROM DEMOLITION WORK. CONTRACTOR SHALL PROTECT ALL EXISTING OCCUPIED AREAS AS NECESSARY UTILIZING (BUT NOT LIMITED TO) LIGHTING, BARRICADES, WORKING SIGNS, AND DUST BARRIERS.
  - CONTRACTOR SHALL VERIFY WITH LOCAL JURISDICTION, THE REQUIREMENTS FOR DEBRIS DUMPSTER LOCATION AND COLLECTION SCHEDULE PRIOR TO COMMENCEMENT.
  - UPON COMPLETION OF DEMOLITION WORK, ADJACENT AREAS AND PROPERTY SHALL BE LEFT CLEAN AND SATISFACTORY TO THE AUTHORITIES HAVING JURISDICTION, THE OWNER AND THE ARCHITECT.
  - EXISTING BUILDING ELEMENTS THAT ARE AFFECTED BY DEMOLITION ARE TO BE PATCHED AND REPAIRED TO MATCH ADJACENT EXISTING CONDITIONS, FINISHES, AND MAINTAIN EXISTING FIRE RATINGS WHERE APPLICABLE.
  - EXISTING CONCRETE FLOOR TRENCHING AND EXISTING PARTITION WALL/CEILING GYPSUM BOARD REMOVAL MAY BE REQUIRED FOR NEW PLUMBING/ELECTRICAL WORK.
  - UNLESS NOTED OTHERWISE, ALLOW TWO INCHES VARIANCE UP AND DOWN FOR GIVEN DIMENSIONS OF EXISTING CONDITIONS. CONTRACTOR TO VERIFY AND REPORT TO ARCHITECT OF ANY DISCREPANCIES PRIOR TO START DEMOLITION WORK.
  - CONTRACTOR SHALL VERIFY AND SHORE BEARING STRUCTURES PROPERLY PRIOR TO DEMOLITION WORK (AS NECESSARY).
  - CONTRACTOR TO COORDINATE AND SCHEDULE ALL UTILITIES SHUTDOWNS WITH THE LOCAL UTILITY COMPANIES, AUTHORITIES HAVING JURISDICTION, AND BUILDING MANAGERS AS APPLICABLE.
  - COORDINATE ANY ALTERATION AND CHANGES TO THE ELECTRICAL SERVICE WITH THE LOCAL UTILITY COMPANY.
  - WHERE CONDUIT IS INACCESSIBLE, REMOVE CONDUCTORS AND CUT BACK CONDUIT FLUSH WITH SLAB OR WALL. PATCH OPENING TO MATCH EXISTING FINISH. WHERE EXISTING WIRING EXTENDS OUTSIDE OF THE AREA BY NATURE OF THE ORIGINAL INSTALLATION, CONTRACTOR SHALL MODIFY EXISTING WIRING AS REQUIRED TO MAINTAIN CONTINUITY OF EXISTING CIRCUITRY SUCH THAT NO EQUIPMENT TO REMAIN IS LEFT WITHOUT SERVICE.
  - CONTRACTOR SHALL DISCONNECT ANY CIRCUITS FROM ELECTRICAL PANEL THAT ARE PART OF WALL/FLOOR/CEILING DEMOLITION WORK PRIOR TO COMMENCEMENT.
  - FOR EQUIPMENT AND SYSTEMS TO REMAIN IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE CONDITION OF EXACT SIZES AND LOCATION OF EXISTING DUCT AND PIPING ETC. BEFORE DEMOLITION WORK IS BEGUN. REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER AND ENGINEER PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK.
  - CAP AND SEAL AIR TIGHT ALL POINTS AT WHICH DUCTWORK IS REMOVED FROM DUCTWORK THAT WILL REMAIN.
  - ALL PLUMBING PIPES ASSOCIATED WITH FIXTURE TO BE DEMOLISHED OR REMOVED (INCLUDING BUT NOT LIMITED TO: SANITARY, WATER, GREASE, GAS, CONDENSATE, AND REFRIGERATION) SHALL BE CAPPED BELOW SLAB, ABOVE CEILING OR IN WALL (TO REMAIN).
  - NO EXISTING PIPING SHALL BE LEFT OPEN AFTER PARTIAL REMOVAL. PIPE SHALL BE PERMANENTLY CAPPED OR TEMPORARILY CAPPED IF MADE READY FOR CONNECTION TO NEW WORK.
  - CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UNDERGROUND/UNDER-SLAB LINES AND COORDINATE WITH ALL DISCIPLINES FOR NEW CONNECTIONS.



LINE DENOTES APPROXIMATE BOUNDARY OF DEMOLITION SCOPE

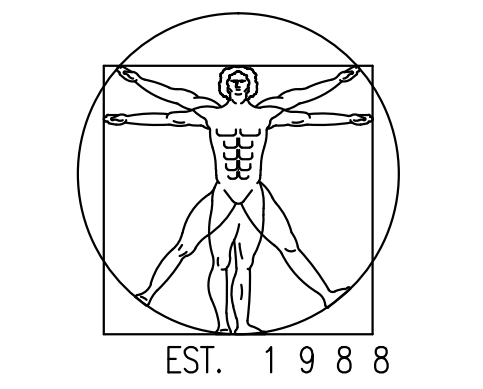
LINE DENOTES APPROXIMATE FOOTPRINT OF PROPOSED BUILDING

1 DEMOLITION PLAN

1/8" = 1'-0"

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SCALE 1/8"=1'-0"

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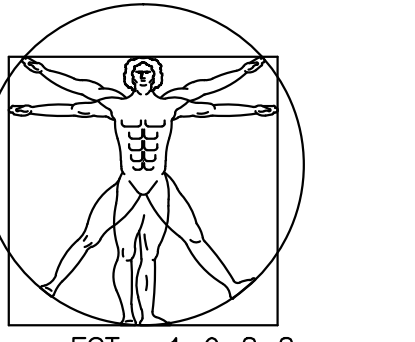
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DEMOLITION PLAN

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FLOOR PLAN

NOT FOR PERMIT

1A-1.01

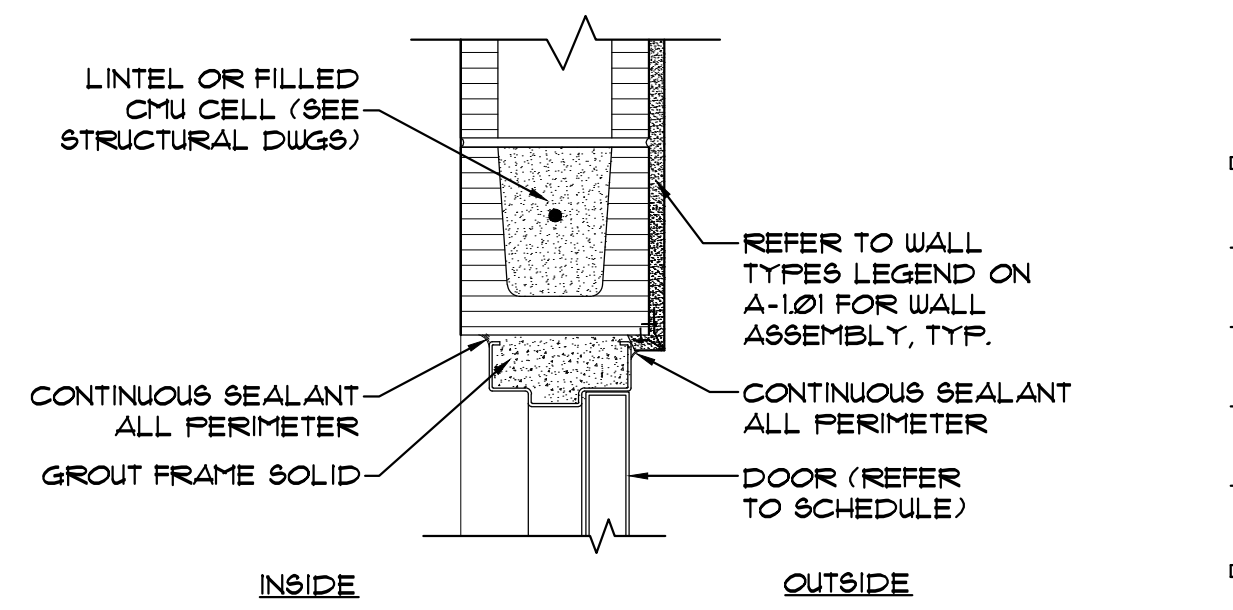
WALL TYPES NOTES				
- ALL WALLS ARE STANDARD 8" CMU BLOCK UNLESS OTHERWISE NOTED. SEE ELEVATIONS FOR EXTERIOR FINISHES. SEE FINISH SCHEDULE FOR INTERIOR FINISHES.				
- PROVIDE THROUGH-PENETRATION FIRESTOP SYSTEM AND THROUGH PENETRATION FIRESTOP DEVICES, SEALANTS, AND RELATED PRODUCTS FOR FIRE-RATED FLOOR AND WALL PENETRATIONS (AND SEALING TOP OF RATED WALLS TO DECK OR BOTTOM OF EX. CONC. SLAB). THIS WORK ALSO INCLUDES FIRESTOPPING AT PENETRATIONS THROUGH FIRE RATED WALLS AND FLOORS. ALL RATED WALL PENETRATIONS SHALL MAINTAIN THE INTEGRITY OF THE WALL ASSEMBLY.				
- PROVIDE CONSTRUCTION IN ACCORDANCE WITH THE UL DESIGN NUMBER INDICATED.				
- ALL INTERIOR SIDES OF BLOCK WALLS SHALL BE SKIM COATED WITH STUCCO, READY TO RECEIVE PAINT FINISH.				
- UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TAKEN FROM FACE OF CMU OR CONCRETE TO FACE OF FINISH, OR FACE OF FINISH TO FACE OF FINISH.				
- DOORS NOT OTHERWISE DIMENSIONED SHALL BE 8" FROM FACE OF ADJACENT CMU OR CONCRETE WALL TO ROUGH DOOR OPENING AND 4" FROM FACE OF ADJACENT STUD WALL TO ROUGH DOOR OPENING.				

FLOOR FINISH SCHEDULE				
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
F-1	EPOXY W/ CHEM. RESIST. TOP COAT	TRAFFIC TUFF	GRAY	NEOGARD
F-2	CONCRETE	LIGHT BROOM FINISH		

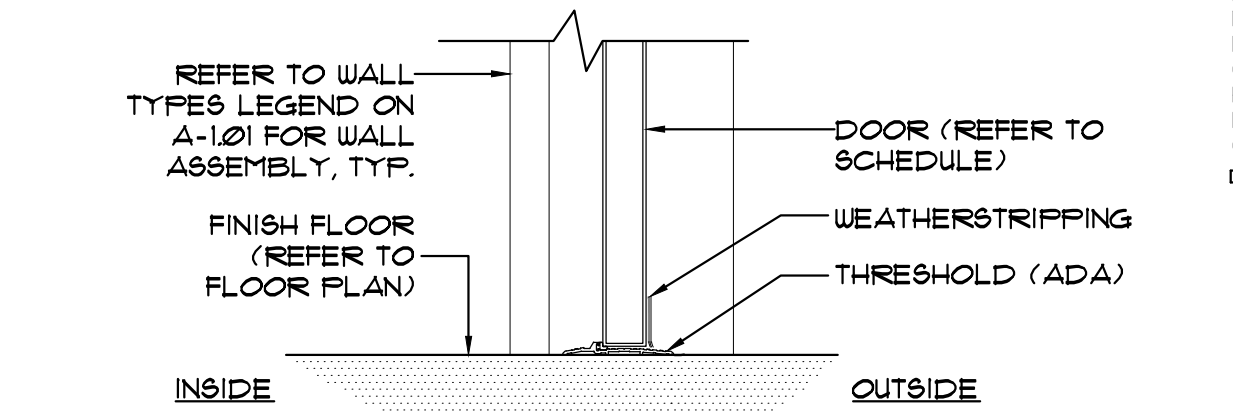
WALL BASE FINISH SCHEDULE				
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
B-1	EPOXY W/ CHEM. RESIST. TOP COAT	TRAFFIC TUFF	GRAY	NEOGARD

WALL FINISH SCHEDULE				
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
W-1	EPOXY PAINT	SUT008	ALABASTER	SHER WILLIAMS
W-2				

ACCESSORY SCHEDULE				
TAG	DESCRIPTION	REFERENCE	MANUFACTURER	
A-1	STAINLESS STEEL FRAME MIRROR	B-293-2436	BOBRICK	
A-2	VANITY TOPS (SOLID SURFACE)	9032ML	WILSONART	



14 DOOR HEAD/JAMB  
1 1/2" = 1'-0"



15 DOOR SILL  
1 1/2" = 1'-0"

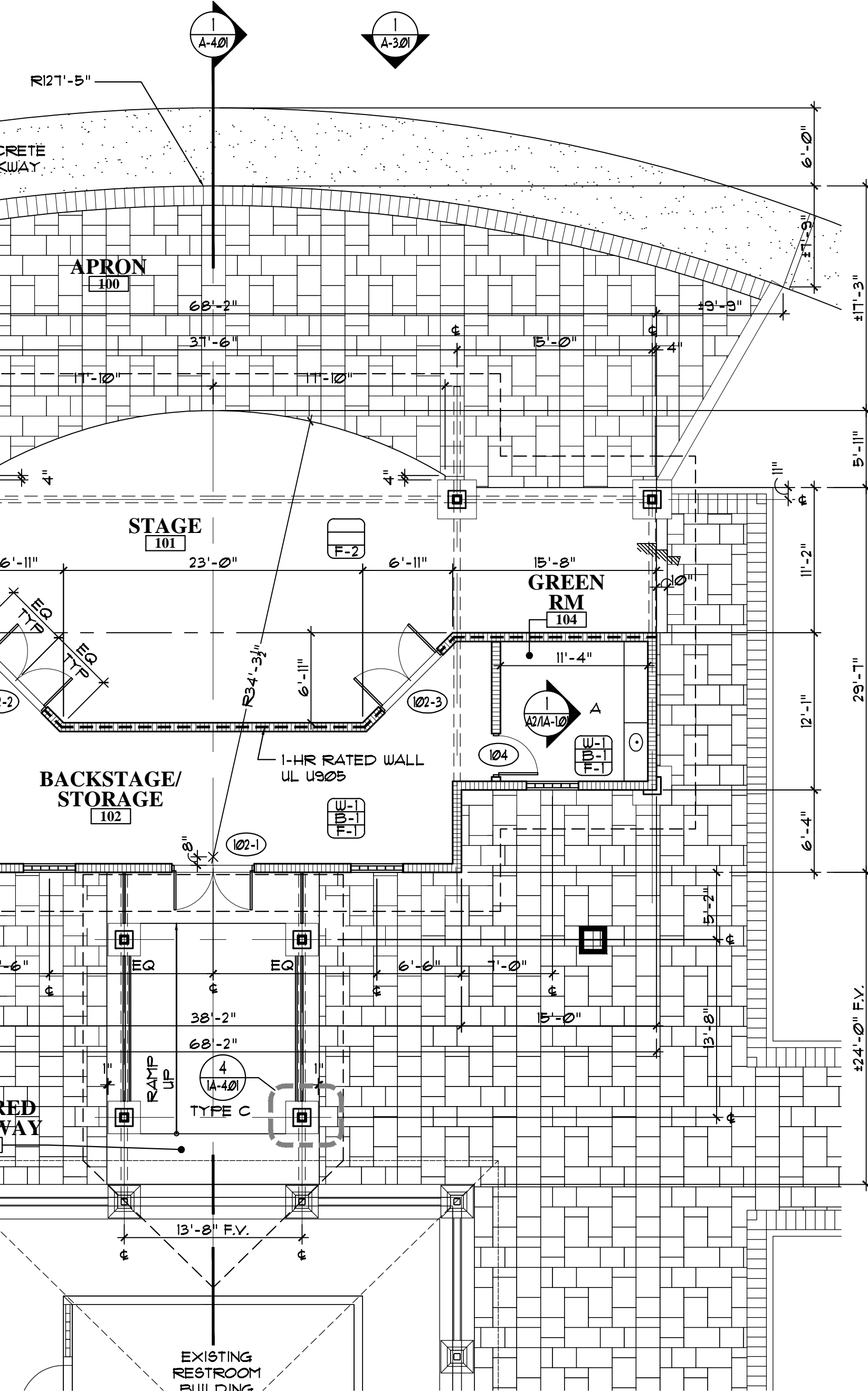
DOOR AND FRAME SCHEDULE											
MARK	LOCATION	DOOR TYPE	MAT.	SIZE (V.I.F.)	FRAME TYPE	MAT.	SILL	JAMB	HEAD	FIRE RTNG.	REMARKS
102-1	BACKSTAGE/ STORAGE	B	HM	72" x 84"	1	MTL	1S	1H	1H		
102-2	BACKSTAGE/ STORAGE	B	HM	72" x 84"	1	MTL	1S	1H	1H	45 MIN	
102-3	BACKSTAGE/ STORAGE	B	HM	72" x 84"	1	MTL	1S	1H	1H	45 MIN	
103	GREEN ROOM	A	HM	36" x 84"	1	MTL	1S	1H	1H		
104	GREEN ROOM	A	HM	36" x 84"	1	MTL	1S	1H	1H		

DOORS AND FRAMES TYPES

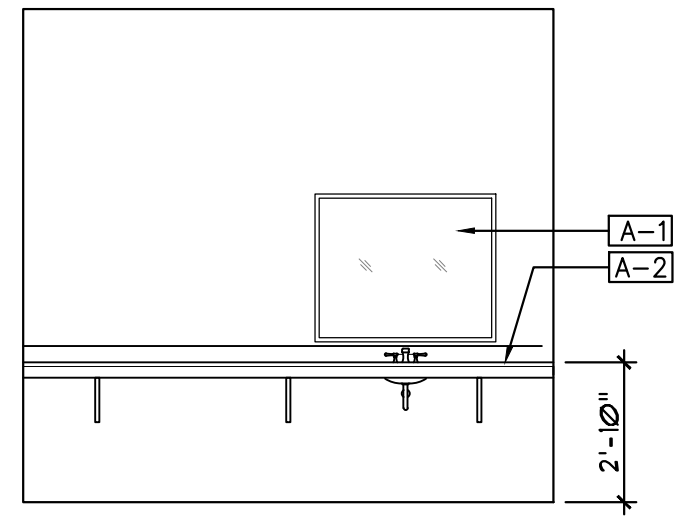
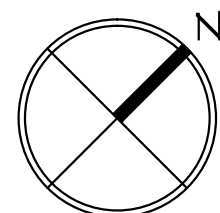
NOTE: SEE SCHEDULE FOR DOOR WIDTH AND HEIGHT BASIS OF DESIGN - CECCO DOORS HURRICANE RESISTANT 16 GAUGE, 1-3/4" THICK, A60, W/ FULLY WELDED FRAMES

DOORS GENERAL NOTES

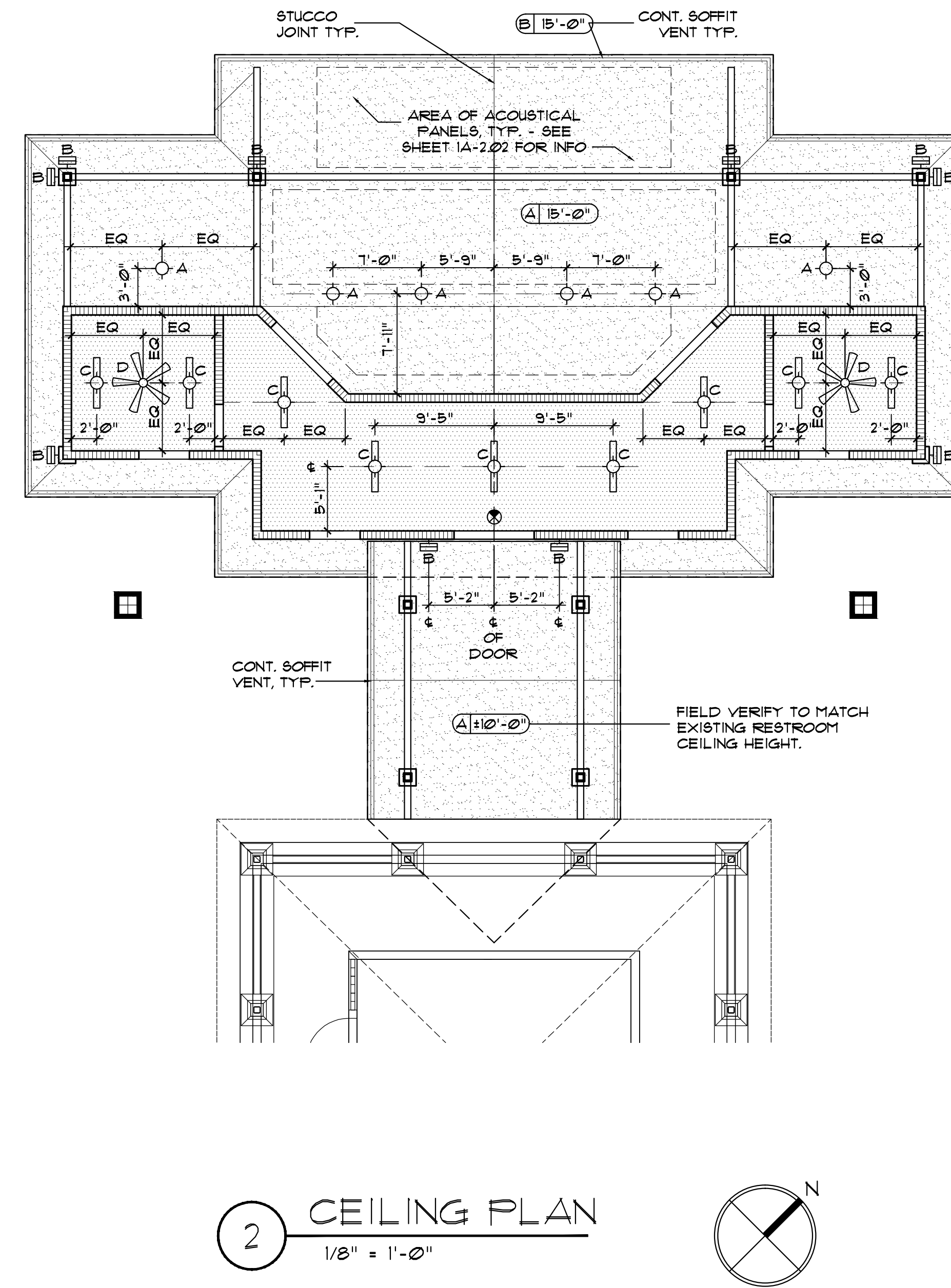
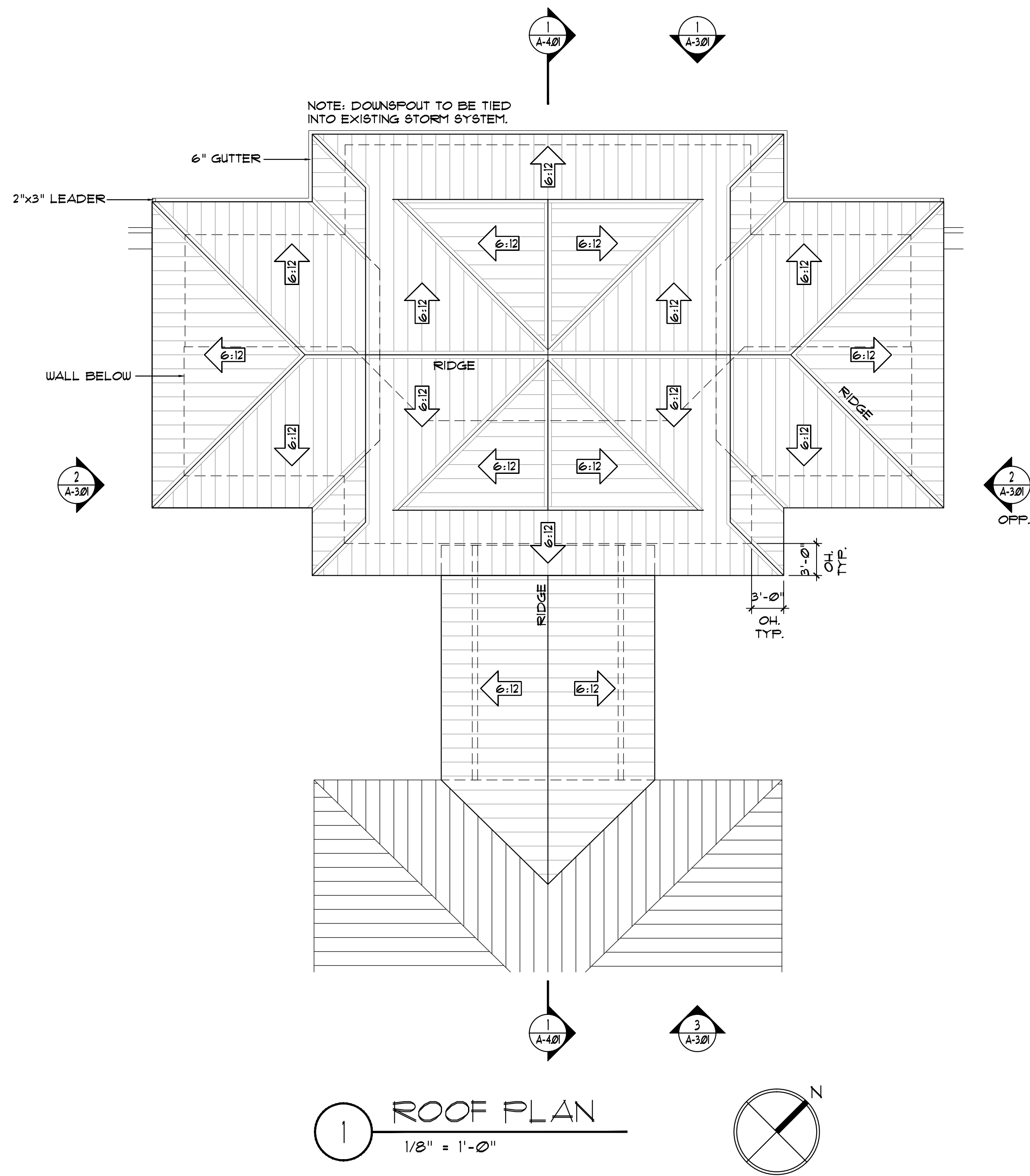
- PROVIDE IMPACT RESISTANT ASSEMBLIES AT ALL OPENINGS THAT COMPLY WITH STATE OF FLORIDA OR MIAMI-DADE COUNTY PRODUCT APPROVAL (AS REQUIRED BY LOCAL BLDG. DEPT.)
- EXTERIOR OPENING ASSEMBLIES SHALL MEET THE MINIMUM WIND LOAD PRESSURE DESIGN SPECIFIED ON STRUCTURAL DWGS.
- PROVIDE ANSI/BHMA STANDARDS, GRADE 1 (COMMERCIAL) HARDWARE ON ALL EXTERIOR DOORS. FINISH SHALL BE STAINLESS STEEL, SATIN FINISH. COORDINATE KEYING WITH OWNER.
- PROVIDE SHOP DRAWINGS FOR OWNER & ARCHITECT APPROVAL PRIOR TO PURCHASE ORDER. WINDOWS, DOORS, HARDWARE & CONNECTIONS. PRODUCT APPROVALS SHALL BE INCLUDED IN SHOP DRAWING SUBMITTAL.



1 FLOOR PLAN  
1/8" = 1'-0"



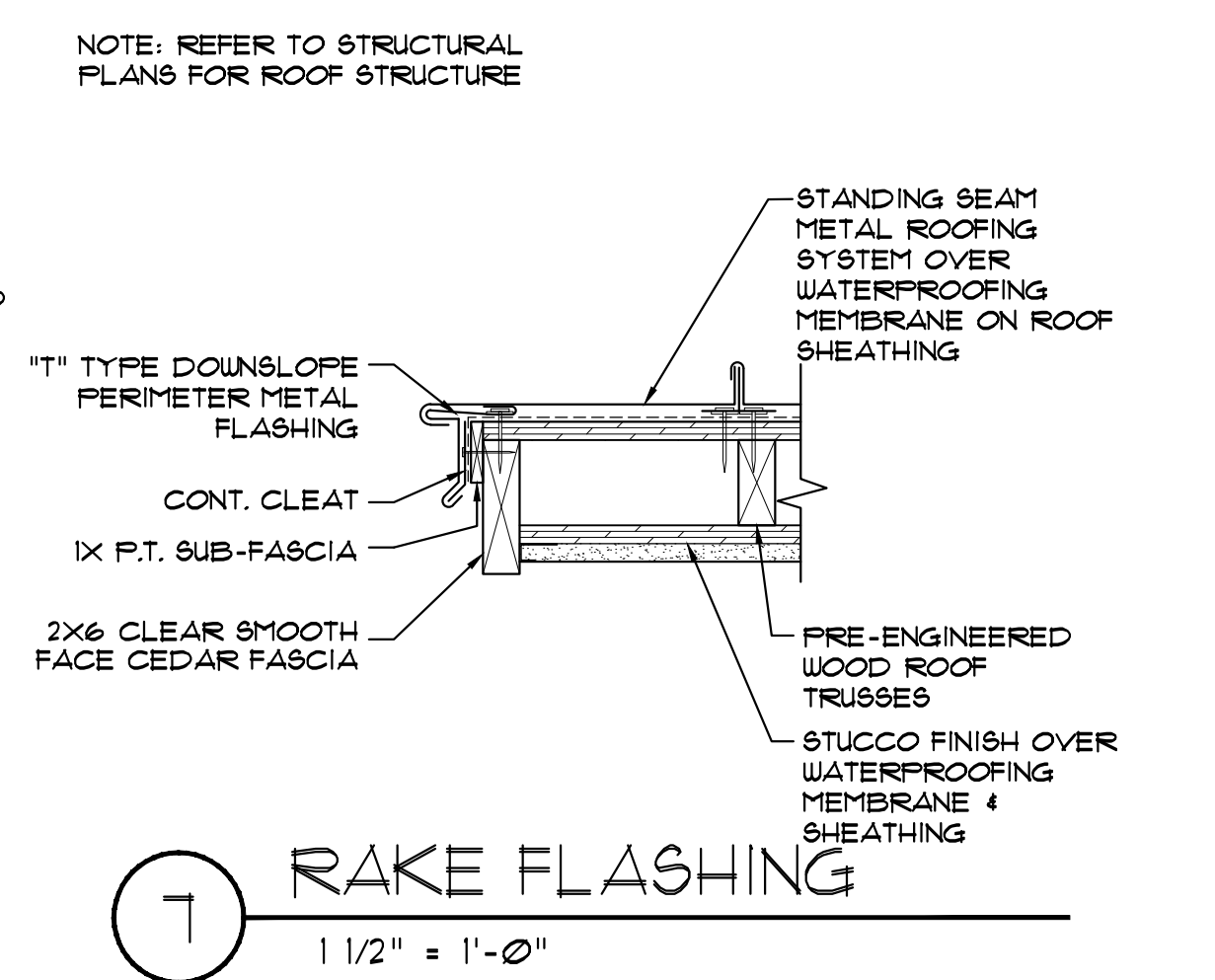
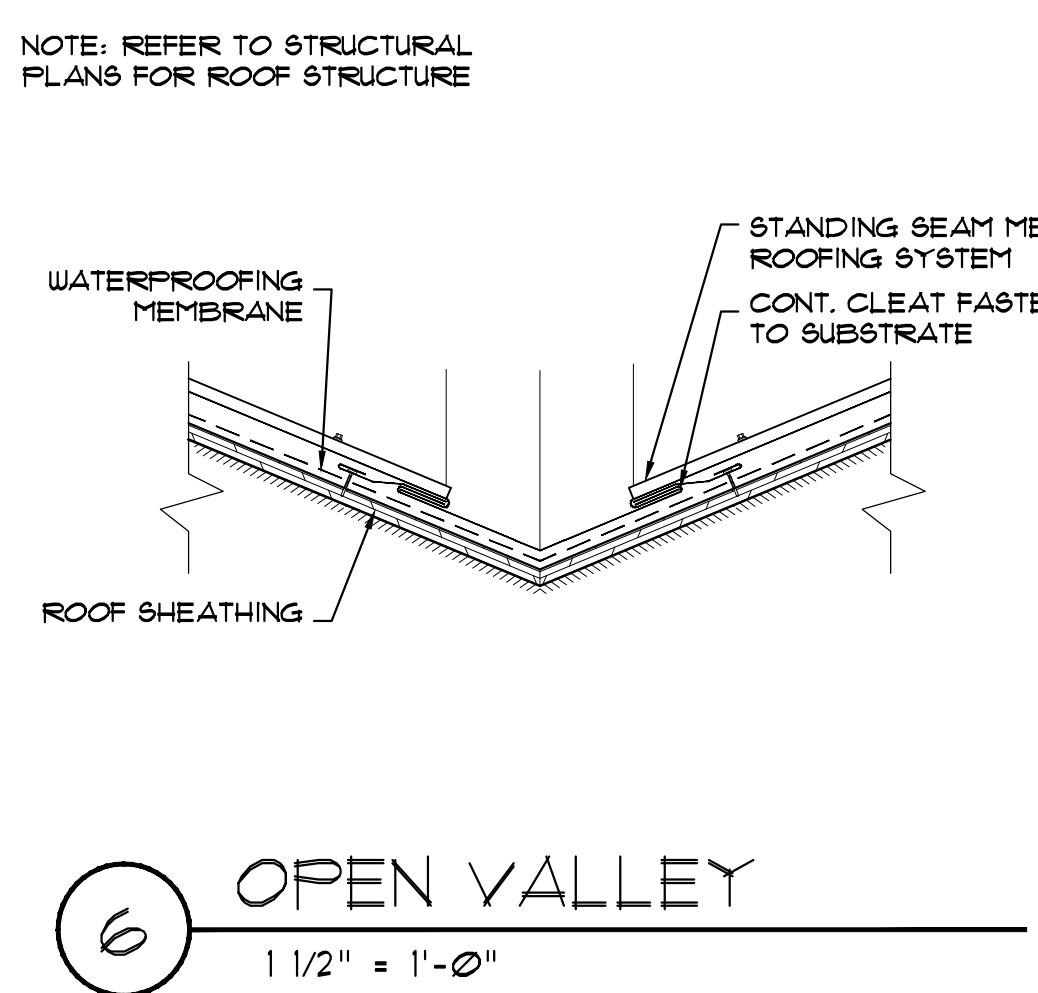
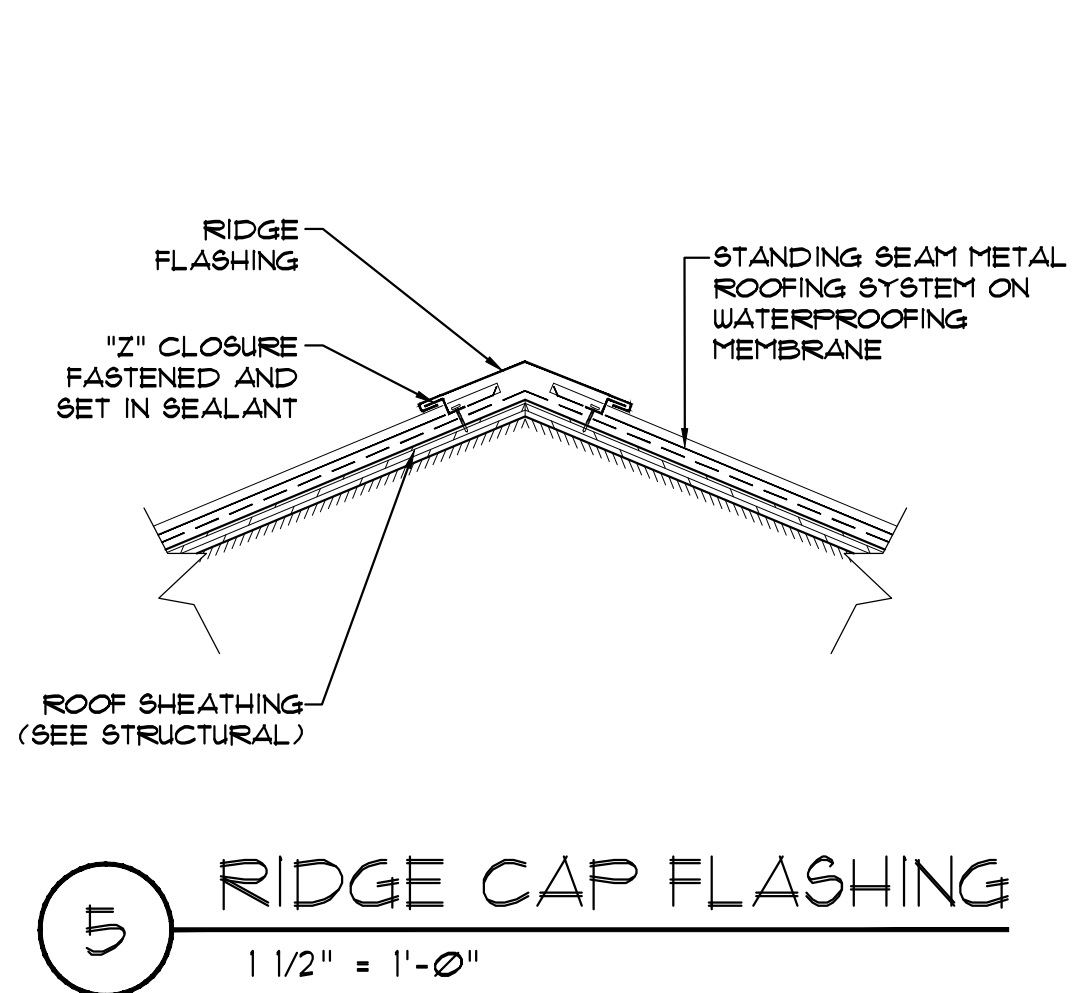
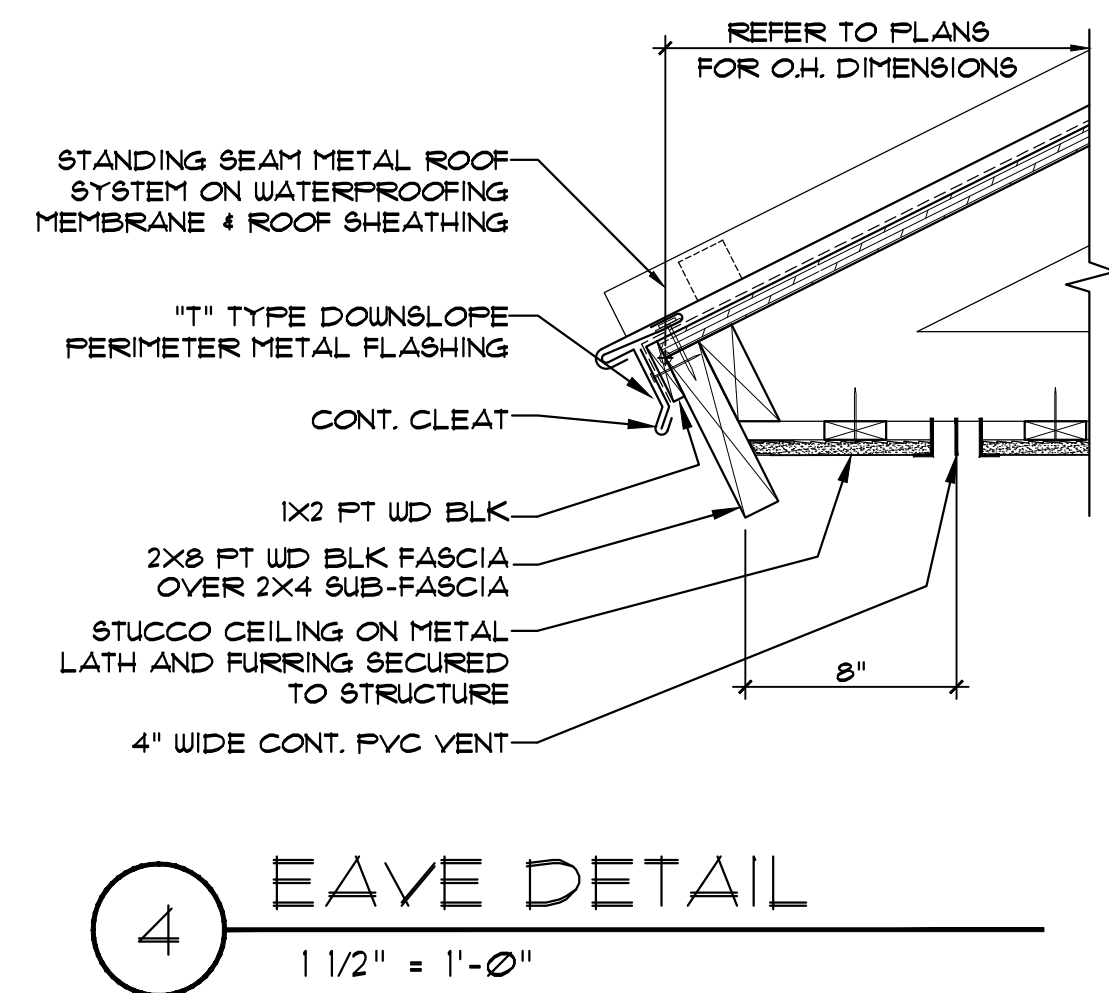
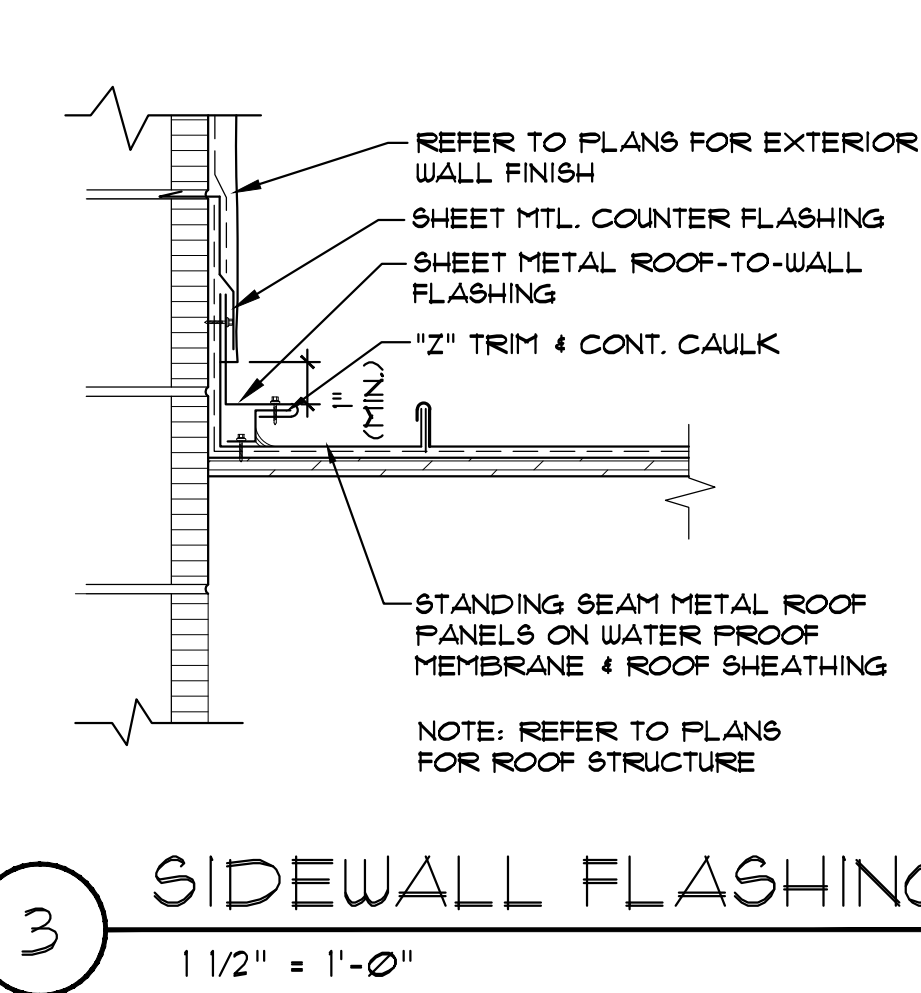
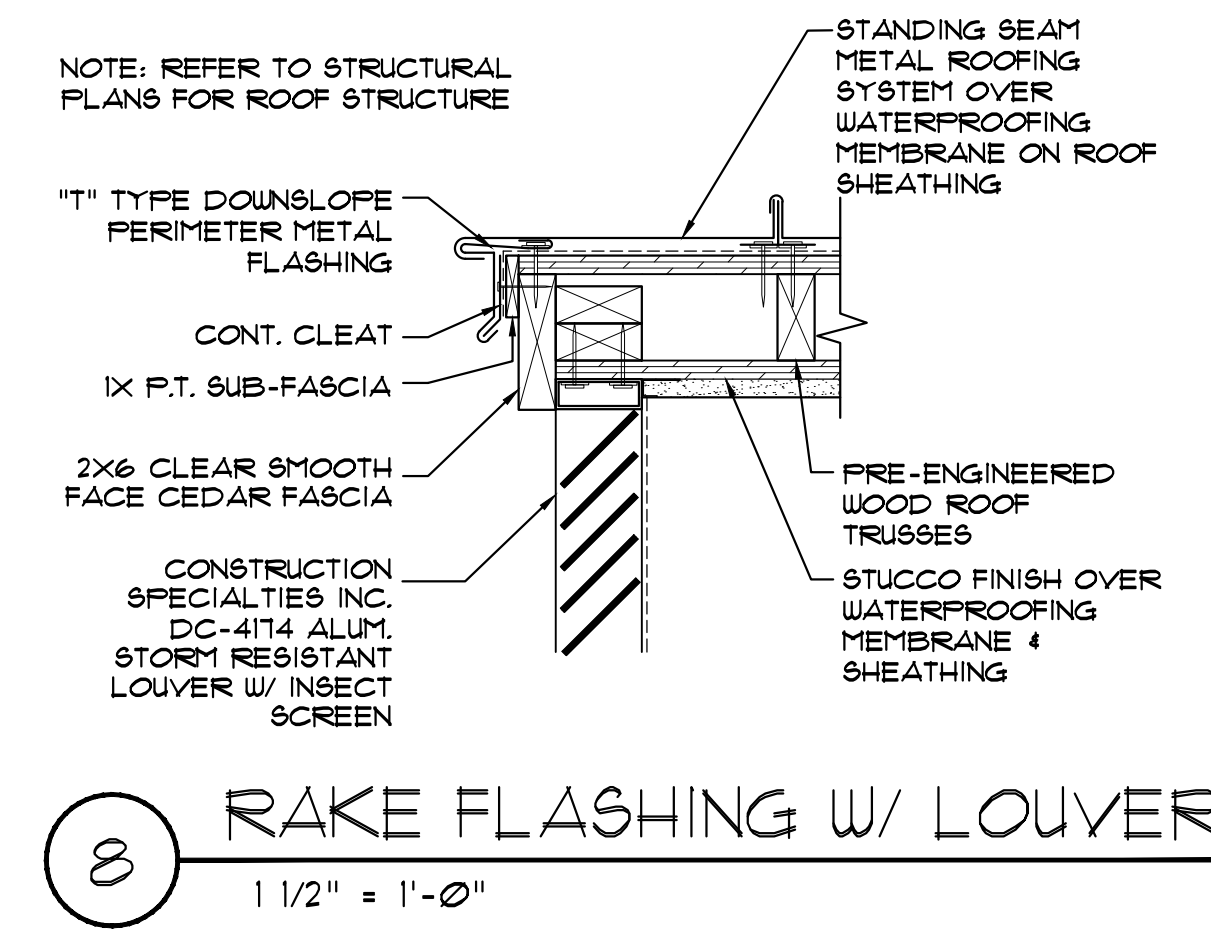
2 TYPICAL GREEN ROOM COUNTER  
1/4" = 1'-0"



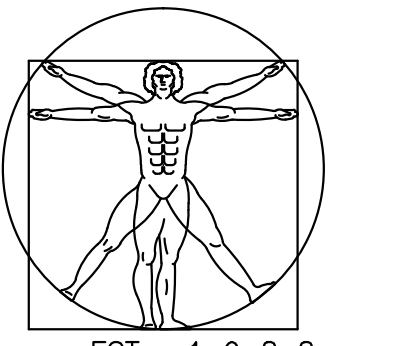
CEILING FINISHES	
TYPE	DESCRIPTION
A	STUCCO CEILING: 5/8" STUCCO SOFFIT OVER HIGH RIBBED METAL LATH ON 1"x4" FT FURRING STRIPS @ 16" O.C.
B	DRYWALL CEILING: 5/8" TYPE "X" MOISTURE RESISTANT GYPSUM BOARD ON 1"x4" FT FURRING STRIPS @ 16" O.C. EPOXY PAINT FINISH TO MATCH WALLS.

CEILING FIXTURE LEGEND	
TYPE	DESCRIPTION
⊙ A	RECESSED CANLIGHT
⊥ B	WALL SCONCE (VANDAL RESISTANT)
⊖ C	SURFACE MOUNTED LINEAR
⊙ D	PADDLE FAN 59121 HUNTER MARINER 52" OUTDOOR - WHITE
⊖ EF	EXHAUST FAN
⊖	22"x30" ATTIC ACCESS PANEL
⊙	EMERGENCY EXIT SIGN
⊖ 9'-0"	CEILING FINISH TYPE AND HEIGHT IDENTIFICATION TAG

ROOF LEGEND	
	STANDING SEAM METAL ROOFING SYSTEM, FIRESTONE UNA-CLAD UC-3 232" ALUM. PANEL SYSTEM OR PETERSON ALUM. SNAP CLAD 22 GA. PANEL SYSTEM W/ KYNAR 500 FINISH OVER 30# FELT WATERPROOFING MEMBRANE OVER PLYWOOD SHEATHING (SEE STRUCTURAL) OVER PRE-ENGINEERED WOOD TRUSSES (SEE STRUCTURAL DWGS)
	ROOF SLOPE DIRECTION.



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DATE 08-30-16

SCALE 1/8"=1'-0"

DRAWN MHA

CHECKED MHA/REG

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ROOF PLAN  
&  
CEILING PLAN

NOT FOR PERMIT

1A-2.01

SPECIFICATION

ACOUSTICAL WALL PANELS

MANUFACTURER: KINETICS NOISE CONTROL.

CONTACT: PO BOX 655, 6300 IRELAN PLACE, DUBLIN, OH 43017; TELEPHONE: (614) 889-0480; FAX: (614) 889-0075; E-MAIL: INTSALES@KINETICNOISE.COM; WEB SITE: WWW.KINETICNOISE.COM.

SUBSTITUTIONS: NO SUBSTITUTIONS PERMITTED.

MANUFACTURED UNITS

KNP PERFORATED METAL PANELS:

MODEL KNP (FLAT) THICKNESS: 2 INCHES (51 MM).

SIZE: AS INDICATED ON THE DRAWINGS.

CONSTRUCTION: 0.040 INCH (1.02 MM) MEDIUM DUTY ALUMINUM FACE PERFORATED WITH 3/32 INCH (2.4 MM) HOLES ON 3/16 INCH (4.8 MM) STAGGERED CENTERS, PROVIDING 23% OPEN AREA. 0.040 ALUMINUM CHANNEL/STIFFENER FRAMING, 2 INCHES (51 MM) THICK FIBROUS INSULATION SOUND ABSORBER ENCASED IN 25 MIL THICK BLACK POLY EMBOSSED VINYL.

FINISH: MANUFACTURER'S STANDARD POWDER COATED PAINT FINISH.

COLOR: AS SELECTED FROM PANEL MANUFACTURER'S RANGE OF STANDARD COLORS.

SOUND ABSORPTION (ASTM E1195, A MOUNTING): NOISE REDUCTION COEFFICIENT OF 0.90.

MOUNTING ACCESSORIES: AS REQUIRED FOR CEILING AND WALL MOUNTED PANELS.

SUBMITTALS

GENERAL: SUBMIT LISTED SUBMITTALS IN ACCORDANCE WITH CONDITIONS OF THE CONTRACT AND DIVISION 1 SUBMITTAL PROCEDURES SECTION.

PRODUCT DATA: SUBMIT PRODUCT DATA SHEET, FOR SPECIFIED PRODUCTS.

SHOP DRAWINGS: SUBMIT SHOP DRAWINGS SHOWING LAYOUT, EDGE PROFILES AND PANEL COMPONENTS, INCLUDING ANCHORAGE, ACCESSORIES, FINISH COLORS AND TEXTURES.

SAMPLES: SUBMIT SELECTION AND VERIFICATION SAMPLES OF FINISHES, COLORS AND TEXTURES.

TEST REPORTS: CERTIFIED TEST REPORTS SHOWING COMPLIANCE WITH SPECIFIED PERFORMANCE REQUIREMENTS.

STANDARD SYSTEMS: SUBMIT CERTIFIED COPIES OF PREVIOUS TEST REPORTS SUBSTANTIATING PERFORMANCE OF SYSTEM IN LIEU OF RETESTING.

DELIVERY, STORAGE & HANDLING

GENERAL: COMPLY WITH DIVISION 1 PRODUCT REQUIREMENTS SECTION.

DELIVERY: DELIVER MATERIALS IN MANUFACTURER'S ORIGINAL, UNOPENED, UNDAMAGED CONTAINERS WITH IDENTIFICATION LABELS INTACT.

STORAGE AND PROTECTION: STORE MATERIALS PROTECTED FROM EXPOSURE TO HARMFUL ENVIRONMENTAL CONDITIONS AND AT TEMPERATURE AND HUMIDITY CONDITIONS RECOMMENDED BY THE MANUFACTURER.

PROJECT CONDITIONS

ENVIRONMENTAL REQUIREMENTS: DO NOT INSTALL PANELS UNTIL WET WORK, SUCH AS CONCRETE AND PLASTERING, IS COMPLETE.

MANUFACTURER'S INSTRUCTIONS

COMPLIANCE: COMPLY WITH MANUFACTURER'S PRODUCT DATA, INCLUDING PRODUCT TECHNICAL BULLETINS, PRODUCT CATALOG INSTALLATION INSTRUCTIONS AND PRODUCT CARTON INSTRUCTIONS FOR INSTALLATION.

EXAMINATION

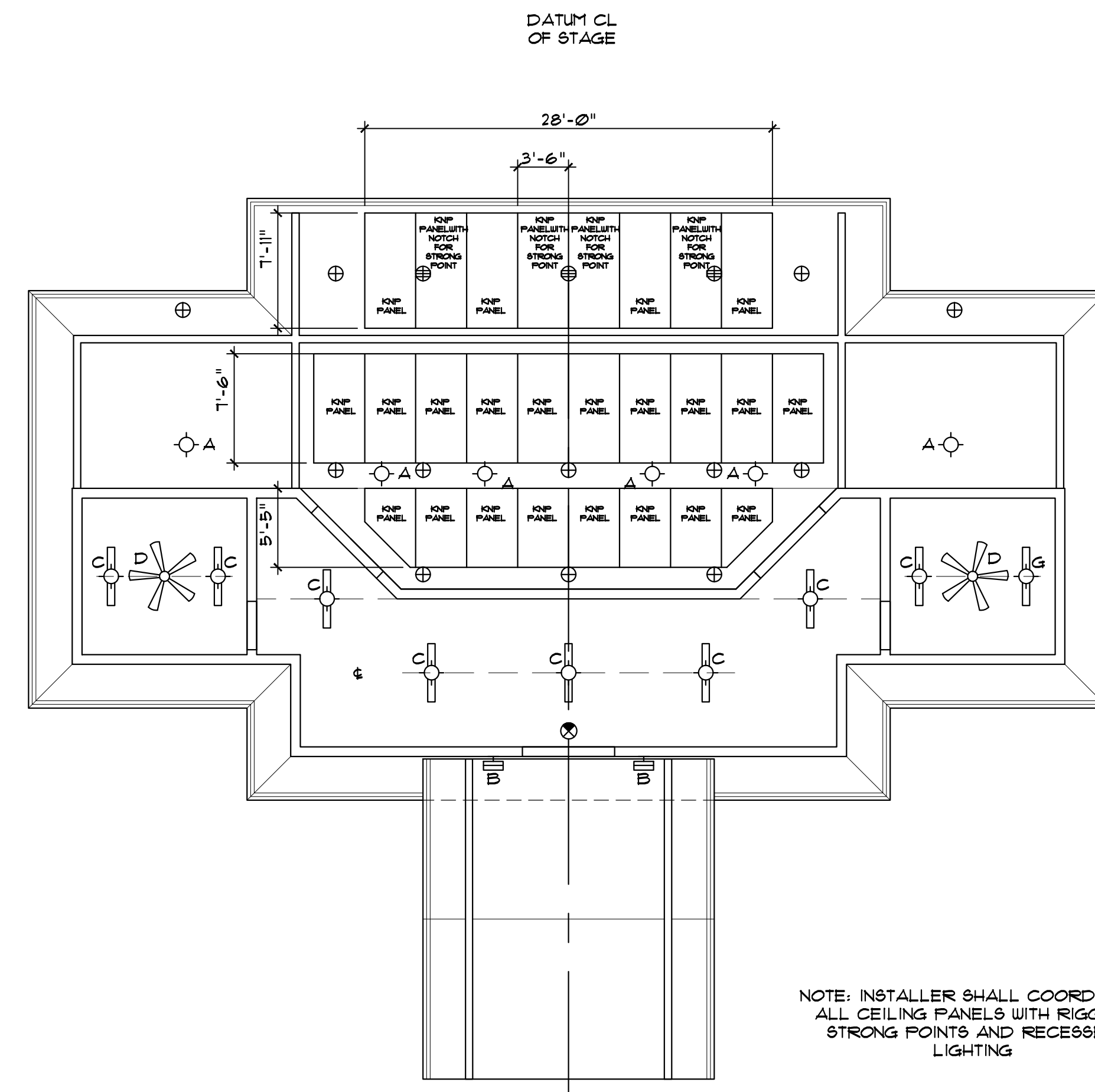
SITE VERIFICATION OF CONDITIONS: VERIFY THAT SUBSTRATE CONDITIONS, WHICH HAVE BEEN PREVIOUSLY INSTALLED UNDER OTHER SECTIONS, ARE ACCEPTABLE FOR PRODUCT INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

DO NOT INSTALL PANELS UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

CLEANING

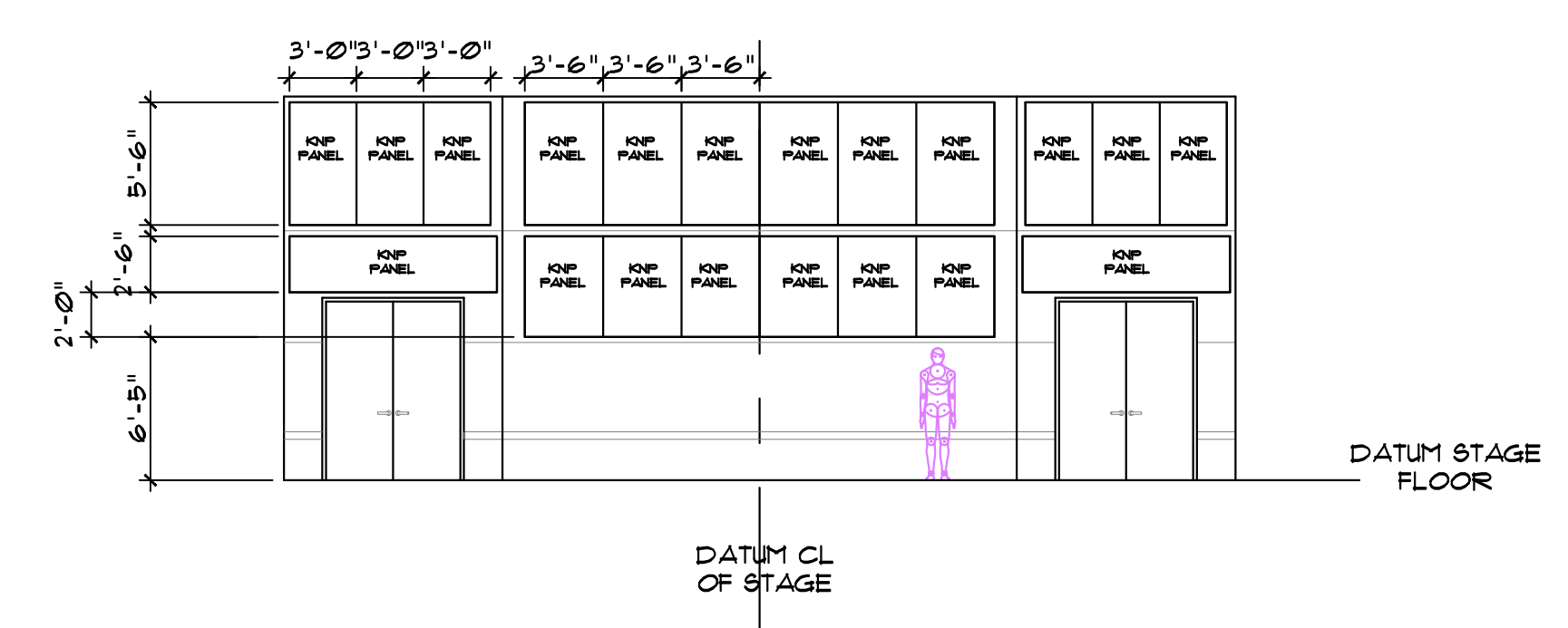
FOLLOW MANUFACTURER'S INSTRUCTIONS FOR CLEANING PANELS SOILED DURING INSTALLATION. REPLACE PANELS THAT CANNOT BE CLEANED TO AS NEW CONDITION.

KEEP SITE FREE FROM ACCUMULATION OF WASTE AND DEBRIS.



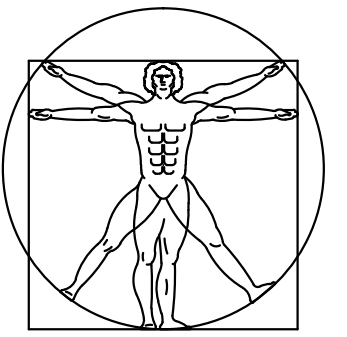
NOTE: INSTALLER SHALL COORDINATE ALL CEILING PANELS WITH RIGGING STRONG POINTS AND RECESSED LIGHTING

1 ACOUSTIC TREATMENT CEILING PLAN  
1/4" = 1'-0"



2 ACOUSTIC TREATMENT WALL ELEVATION  
1/4" = 1'-0"

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DATE 08-30-16

SCALE 1/8"=1'-0"

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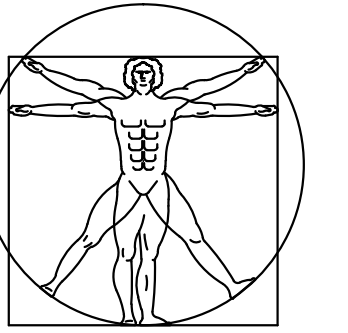
ACOUSTICAL PANEL  
FLOOR PLAN &  
ELEVATION

NOT FOR PERMIT

1A-2.02

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BUILDING  
ELEVATIONS

NOT FOR PERMIT

# 1A-3.01

### ELEVATIONS/SECTIONS/DETAILS KEY NOTES

#### DIVISION 01 - GENERAL NOTES

##### GENERAL NOTES 01

0101

0102

#### DIVISION 02 - SITE CONSTRUCTION (REFER TO CIVIL)

0201 - GRADE

0202 - CONCRETE SIDEWALK

0203 - CONCRETE PAVERS

#### DIVISION 03 - CONCRETE (REFER TO STRUCTURAL)

0301 - CONCRETE FOOTING

0302 - CONCRETE COLUMN

0303 - CONCRETE SLAB

0304 - CONCRETE BEAM

0305 - PRE-CAST CONCRETE CAP

0306 - CAST-IN-PLACE CONCRETE STAIR (REFER TO STRUCTURAL)

#### DIVISION 04 - MASONRY

0401 - CONCRETE MASONRY WALL (REFER TO STRUCTURAL)

0402 - CONCRETE MASONRY COLUMN (REFER TO STRUCTURAL)

0403 - STONE VENEER

0404 - CONCRETE BLOCK LOUVERS

0405 - 4" CONCRETE BLOCK

#### DIVISION 05 - METALS

0501 - STEEL JOIST (REFER TO STRUCTURAL)

0502 - STEEL BEAM (REFER TO STRUCTURAL)

0503 - STEEL COLUMN (REFER TO STRUCTURAL)

0504 - METAL DECKING (REFER TO STRUCTURAL)

0505 - METAL ANGLE (REFER TO STRUCTURAL)

0506 - PRE-FINISHED ALUMINUM RAILING/GUARDRAIL (REFER TO DETAILS)

0507 - 3 5/8" METAL STUDS

0508 - 1 1/2" METAL FURRING

0509 - 6" METAL STUDS

0510 - METAL LATH

0511 - ALUMINUM GUTTER

#### DIVISION 06 - WOOD AND PLASTICS

0601 - PRE-ENGINEERED WOOD ROOF TRUSSES (REFER TO STRUCTURAL)

0602 - SHEATHING (REFER TO STRUCTURAL)

0603 - PAINTED CEDAR FASCIA (REFER TO ROOF DETAILS)

0604 - PRE-FABRICATED FIBERGLASS COLUMN "JACKET"

0605 - WOOD FURRING/BLOCKING

#### DIVISION 07 - THERMAL AND MOISTURE PROTECTION

0701 - STANDING SEAM METAL ROOFING SYSTEM

0702 - WATERPROOFING ROOF MEMBRANE

0703 - CEMENTITIOUS WATERPROOFING MEMBRANE (THOROSEAL OR EQ.)

0704 - BATT INSULATION

0705 - SPRAY APPLIED FOAM INSULATION

0706 - METAL FLASHING (REFER TO ROOF DETAILS)

0707 - EXTERIOR ACOUSTICAL PANELS

#### DIVISION 08 - DOORS AND WINDOWS (REFER TO SCHEDULE)

0801 - EXTERIOR IMPACT RESISTANT WINDOW

0802 - EXTERIOR IMPACT RESISTANT DOOR

0803 - INTERIOR DOOR AND FRAME

0804 - PRE-FINISHED ALUMINUM FRAMED SCREEN

#### DIVISION 09 - FINISHES

0901 - 5/8" SMOOTH STUCCO, PAINTED

0902 - 5/8" TEXTURED STUCCO, PAINTED

0903 - STUCCO TRIM / MOLDING / BAND

0904 - CONTROL JOINT

0905 - 4" WIDE SCREEN VENT

0906 - PRE-FINISHED FAUX WOOD OUTLOOKER / BRACKET

0907 - METAL FRAME SCREEN ENCLOSURE

0908 - METAL LOUVER ARCHITECTURAL

0909 - DRIP EDGE

0910 - WEEP SCREED

0911 - 5/8" GYPSUM BOARD (REFER TO WALL TYPES SCHEDULE)

0912 - STUD PARTITION (REFER TO WALL TYPES SCHEDULE)

0913 - FINISH CEILING (SEE CEILING PLAN)

0914 - FLOOR FINISH (SEE FINISH PLAN)

0915 - MILLWORK (SEE INTERIOR ELEVATIONS)

#### DIVISION 10 SPECIALTIES

1001 - IDENTITY SIGNAGE

#### DIVISION 15 - MECHANICAL

1501 - AC UNIT (REFER TO MECHANICAL)

1502 - LOUVER (REFER TO MECHANICAL)

#### DIVISION 16 ELECTRICAL

1601 - EXTERIOR WALL MOUNTED LIGHT FIXTURE (REFER TO LIGHTING)

GENERAL NOTE: THE KEY NOTES SHOWN ARE FOR REFERENCE ONLY AND DO NOT REFLECT SPECIFICATIONS SECTIONS

#### COLOR / MATERIAL SCHEME

SYMB. COLOR / MATERIAL MANUFACTURER NOTES

(A) NAVAJO WHITE SW6126 SHERWIN WILLIAMS FLAT FINISH

(B) ALABASTER SW1028 SHERWIN WILLIAMS FLAT FINISH

(C) MOUNTAIN STRIP STONE S220 CORONADO

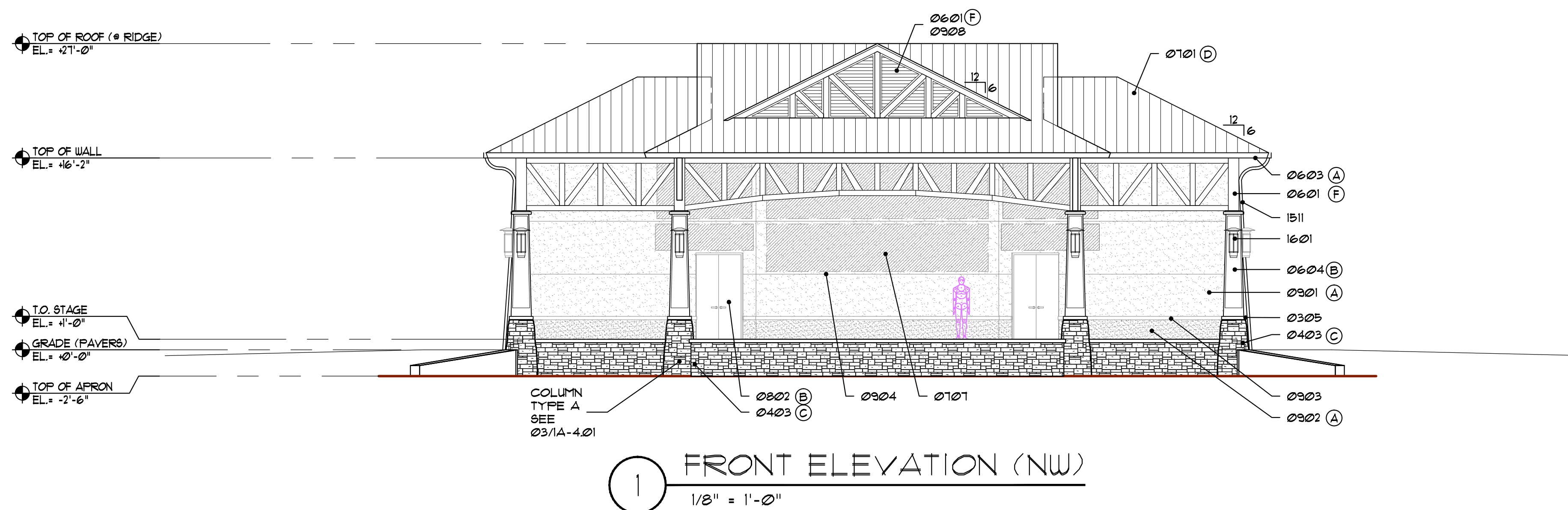
(D) CITYSCAPE FIRESTONE KYNAR 500

(E) BURGUNDY RAL 3004 UNA-CLAD OR PAC-CLAD KYNAR 500

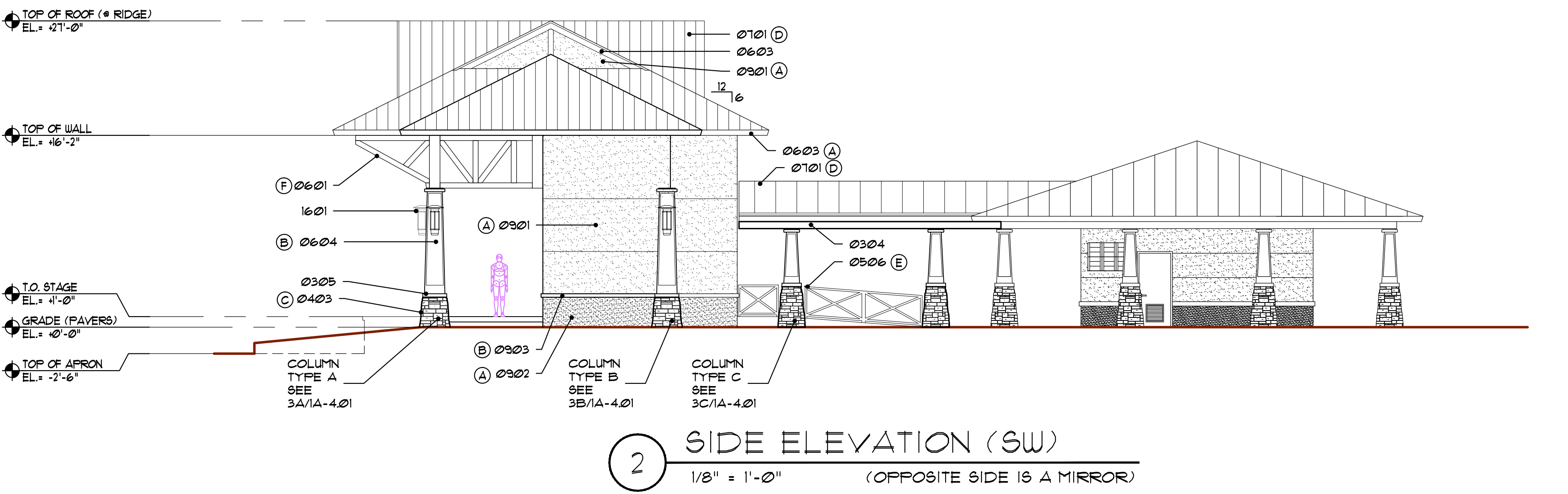
(F) SOUTHERN PINE MATCH EXISTING NO STAIN

#### NOTES

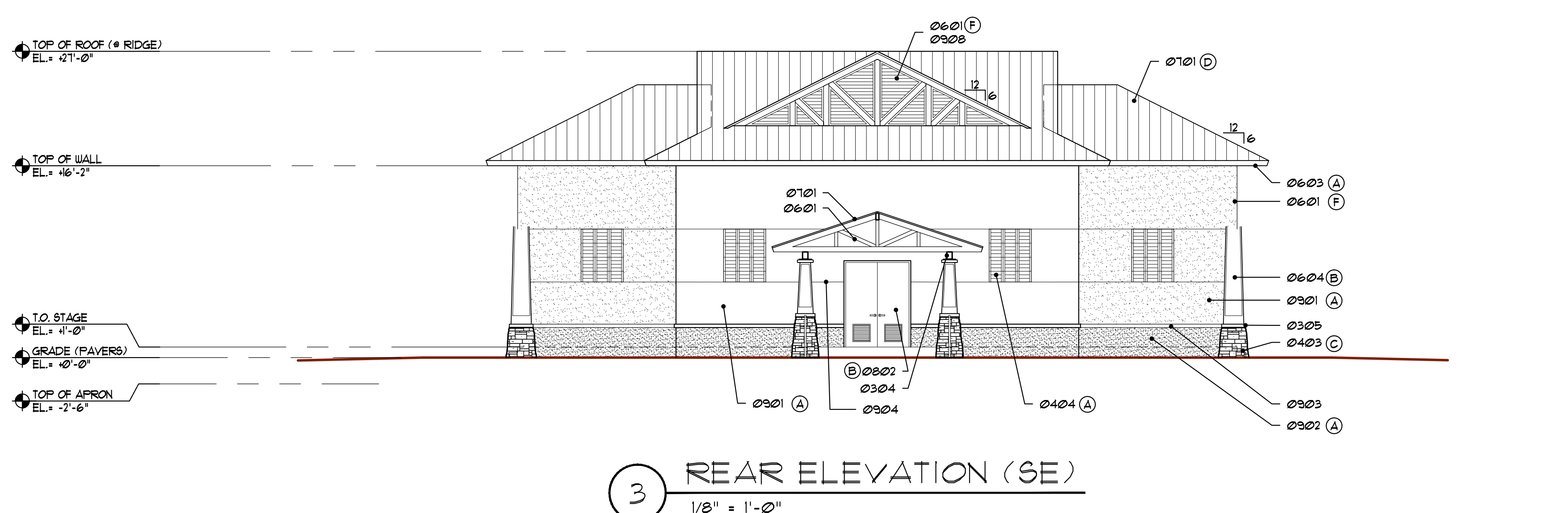
1 -



1 FRONT ELEVATION (NW)  
1/8" = 1'-0"

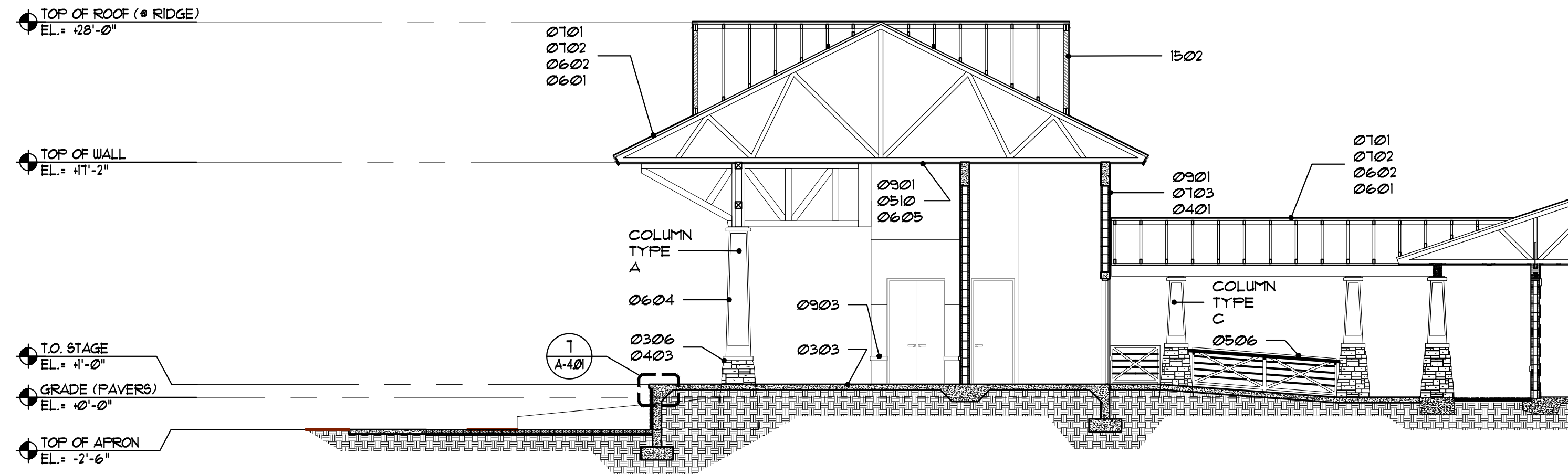


2 SIDE ELEVATION (SW)  
1/8" = 1'-0" (OPPOSITE SIDE IS A MIRROR)

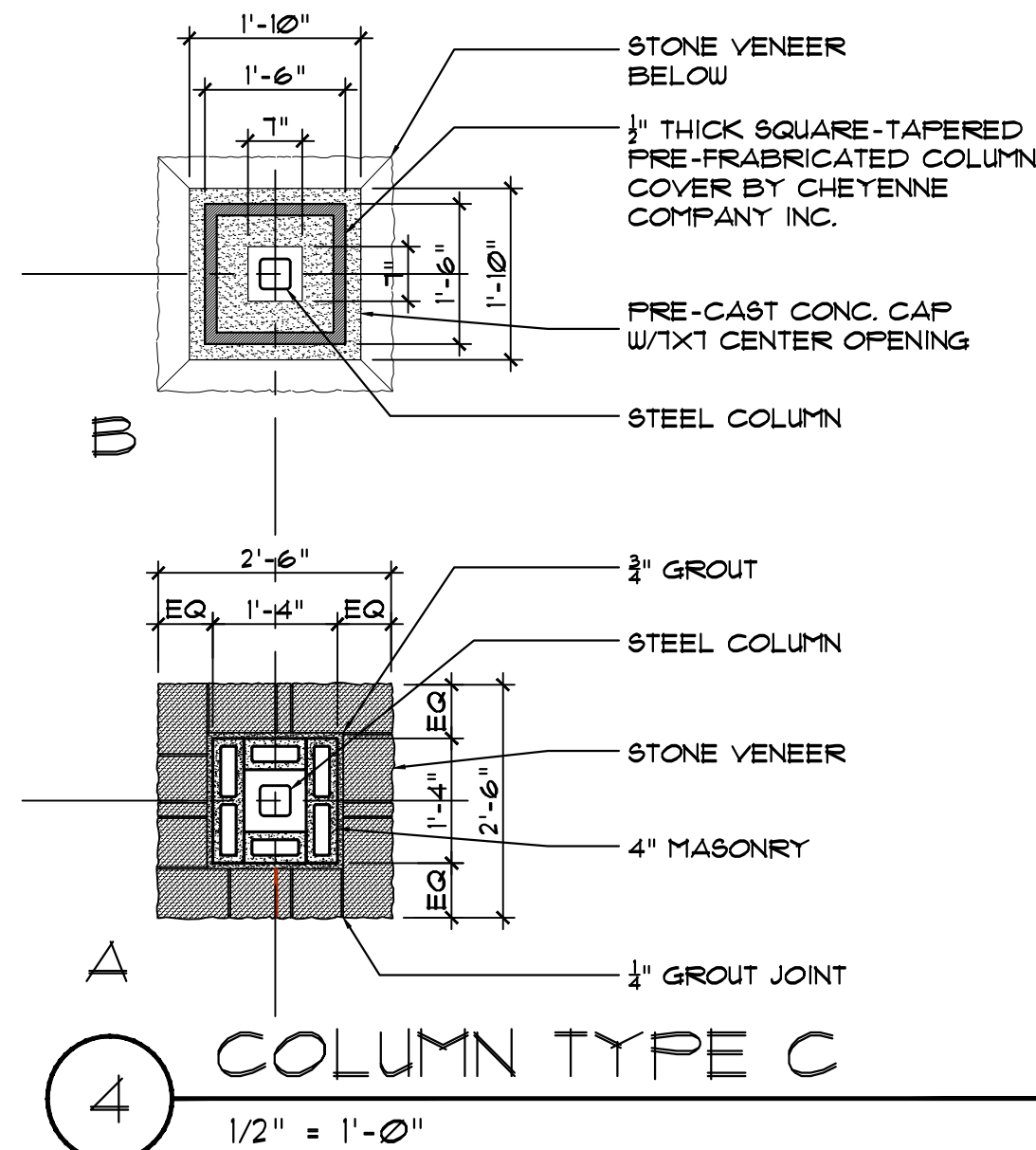


3 REAR ELEVATION (SE)  
1/8" = 1'-0"

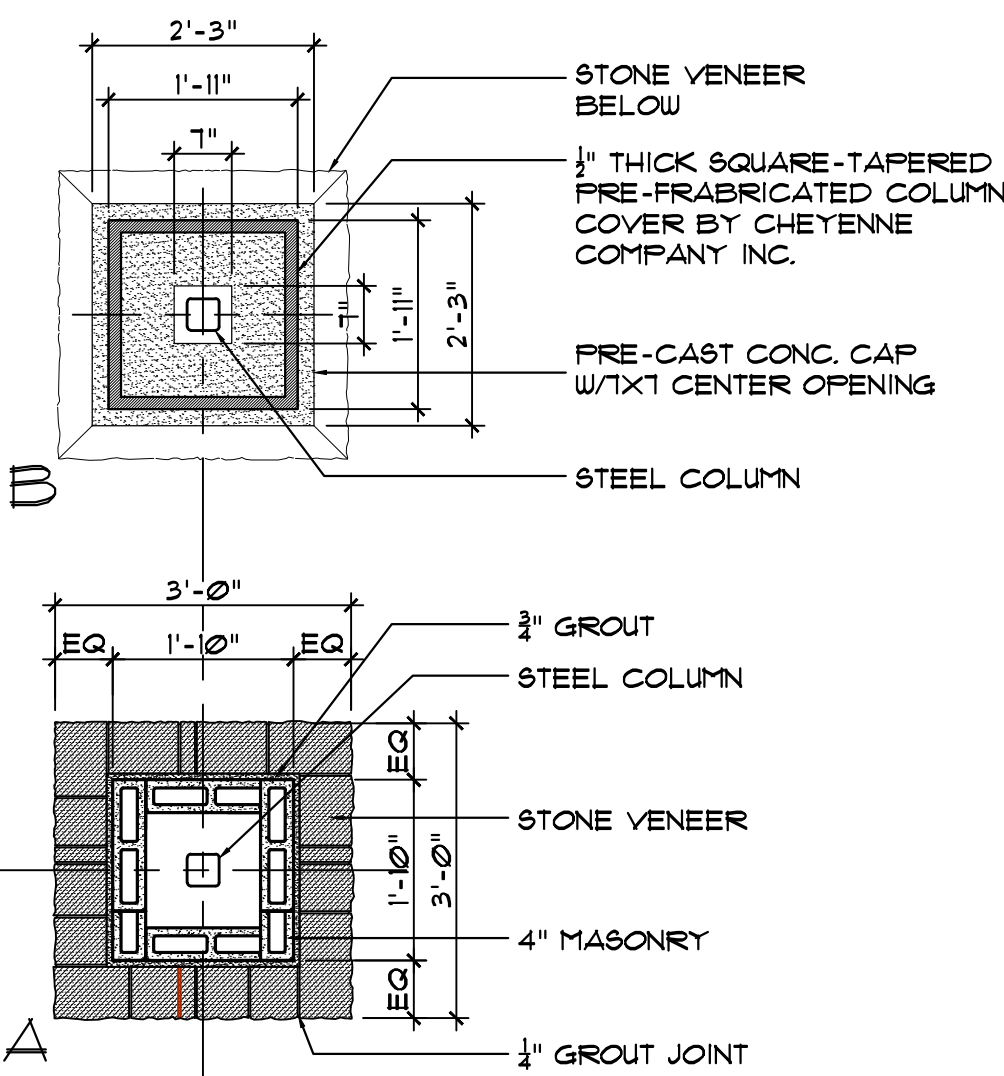




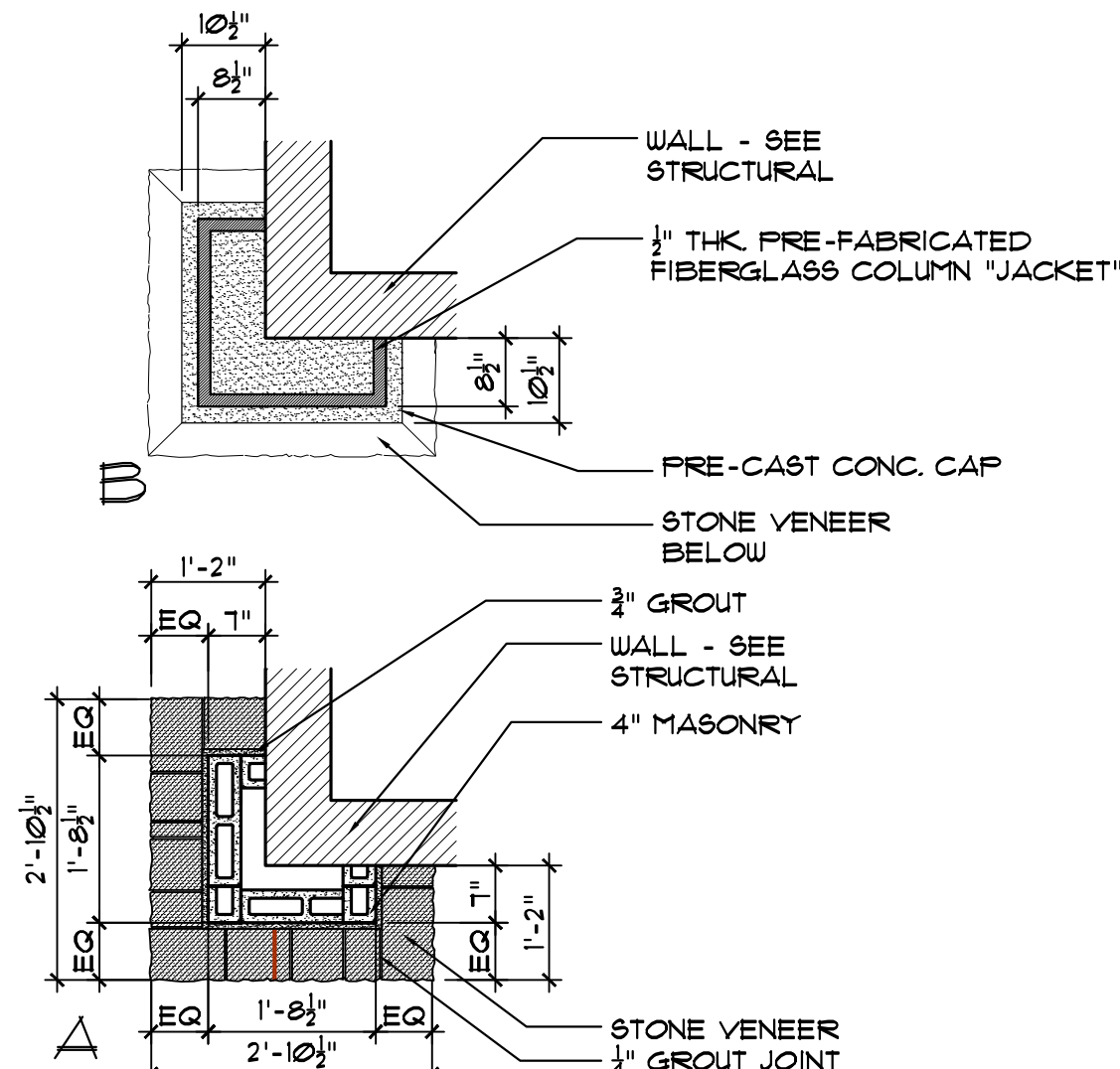
1 SECTION  
1/8" = 1'-0"



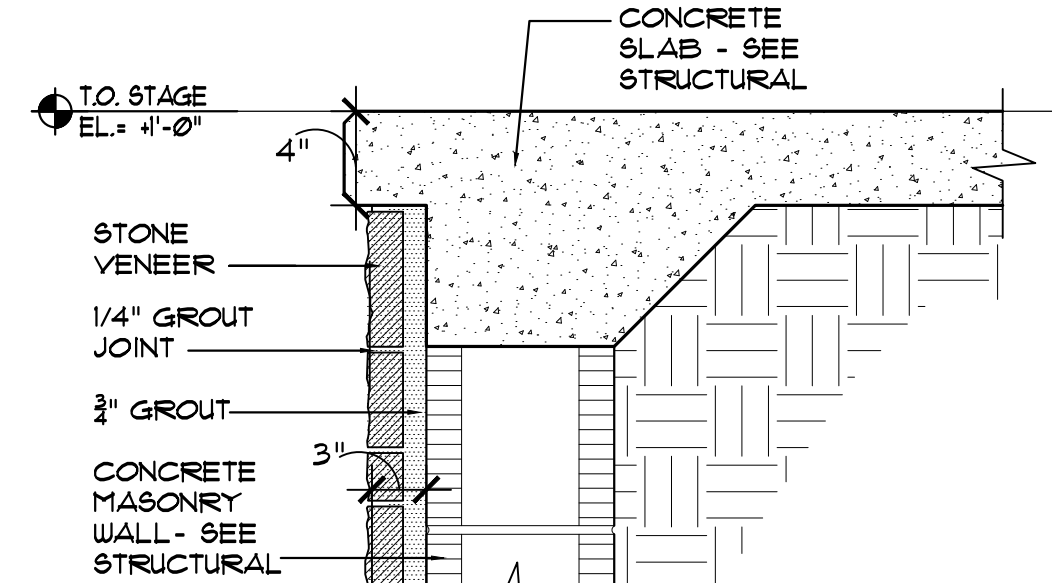
4 COLUMN TYPE C  
1/2" = 1'-0"



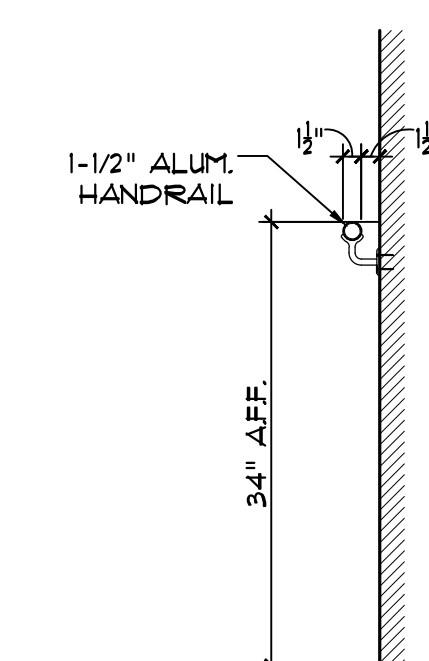
6 COLUMN TYPE A  
1/2" = 1'-0"



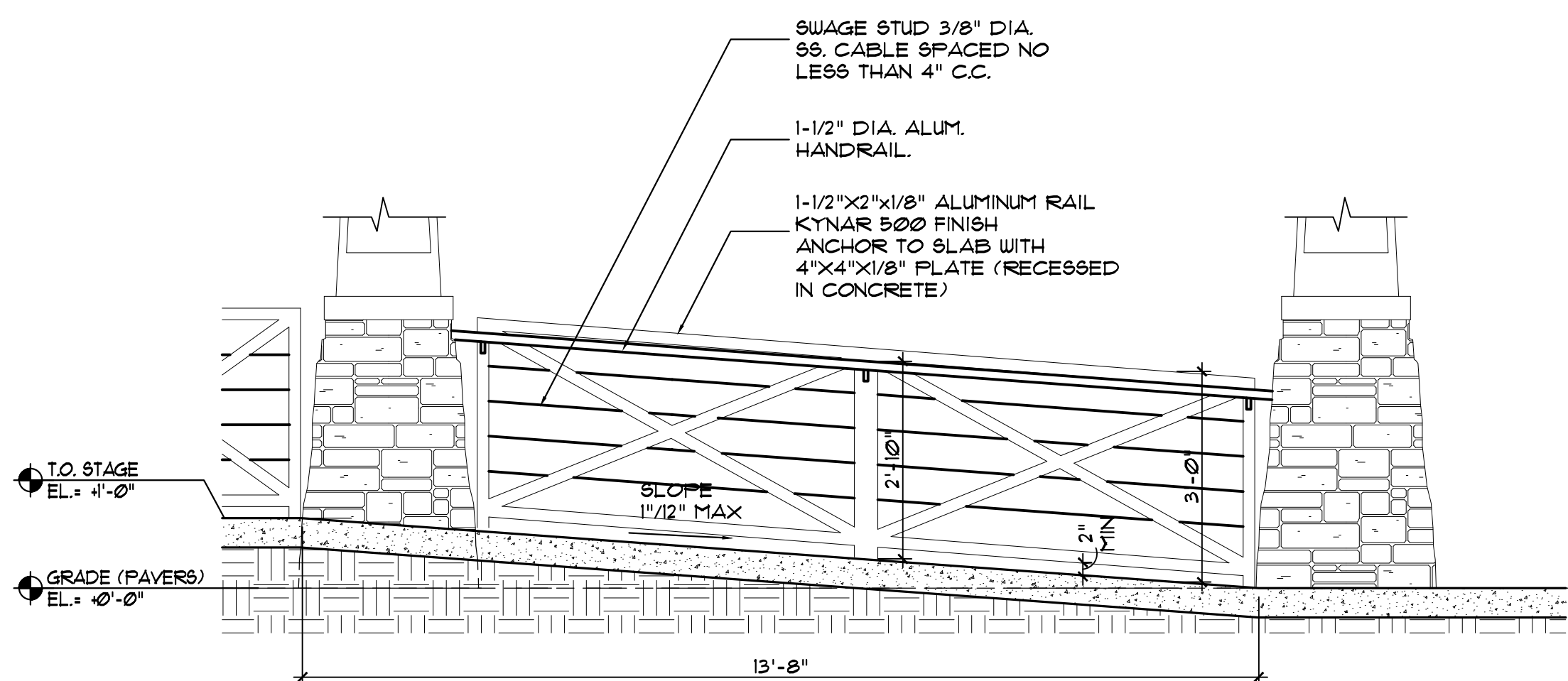
5 COLUMN TYPE B  
1/2" = 1'-0"



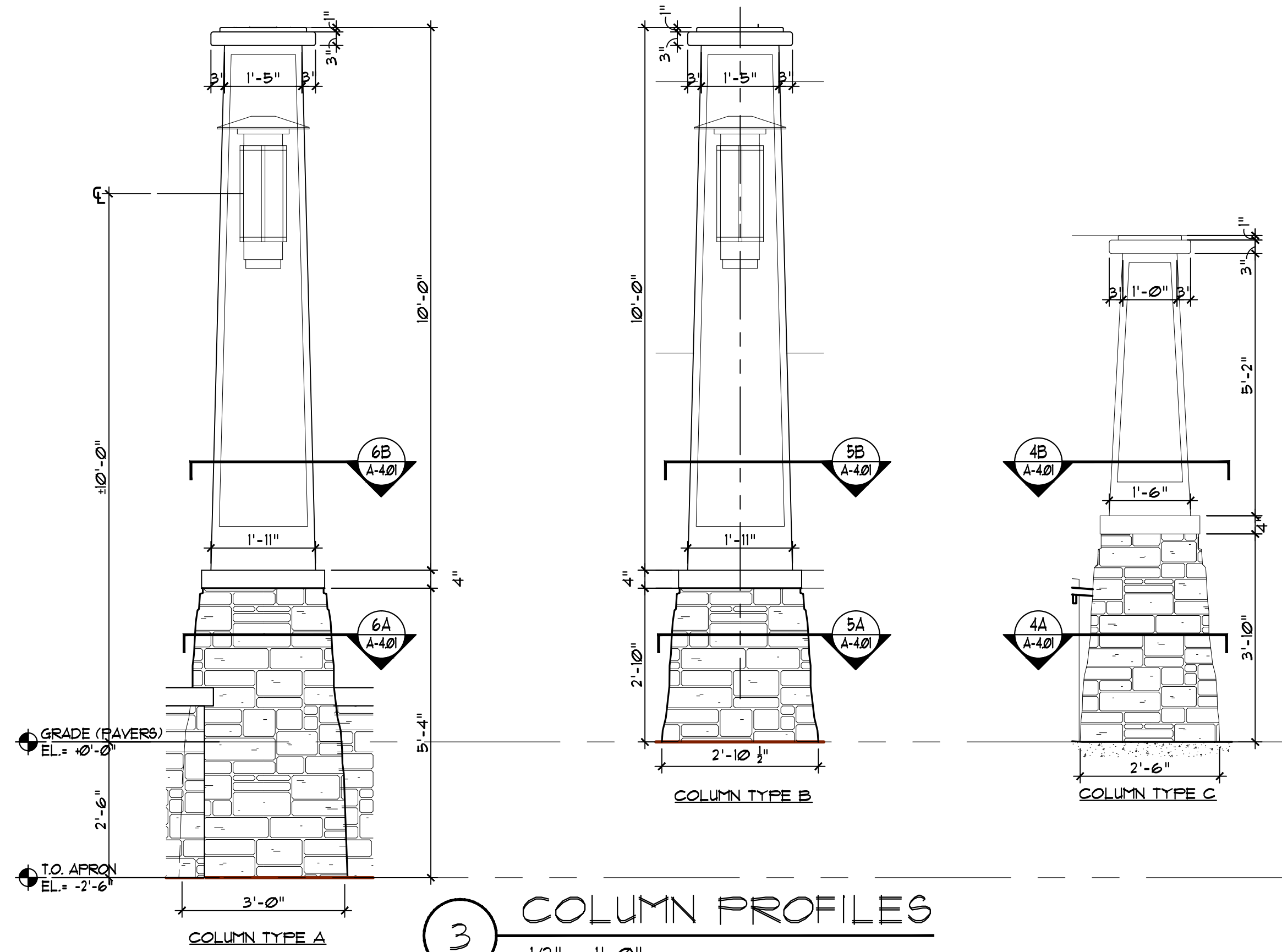
7 COLUMN TYPE B  
1-1/2" = 1'-0"



8 HANDRAIL  
3/4" = 1'-0"



2 RAMP DETAIL  
1/2" = 1'-0"



3 COLUMN PROFILES  
1/2" = 1'-0"

ELEVATIONS/SECTIONS/DETAILS KEY NOTES

- DIVISION 01 - GENERAL NOTES**  
GENERAL NOTES 01  
0101
- DIVISION 02 - SITE CONSTRUCTION (REFER TO CIVIL)**  
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0203 - CONCRETE PAVERS
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0301 - CONCRETE FOOTING  
0302 - CONCRETE COLUMN  
0303 - CONCRETE SLAB  
0304 - CONCRETE BEAM  
0305 - PRE-CAST CONCRETE CAP  
0306 - CAST-IN-PLACE CONCRETE STAIR (REFER TO STRUCTURAL)
- DIVISION 04 - MASONRY**  
0401 - CONCRETE MASONRY WALL (REFER TO STRUCTURAL)  
0402 - CONCRETE MASONRY COLUMN (REFER TO STRUCTURAL)  
0403 - STONE VENEER  
0404 - CONCRETE BLOCK LOUVERS  
0405 - 4" CONCRETE BLOCK
- DIVISION 05 - METALS**  
0501 - STEEL JOIST (REFER TO STRUCTURAL)  
0502 - STEEL BEAM (REFER TO STRUCTURAL)  
0503 - STEEL COLUMN (REFER TO STRUCTURAL)  
0504 - METAL DECKING (REFER TO STRUCTURAL)  
0505 - METAL ANGLE (REFER TO STRUCTURAL)  
0506 - PRE-FINISHED ALUMINUM RAILING/GUARDRAIL (REFER TO DETAILS)  
0507 - 3/8" METAL STUDS  
0508 - 1 1/2" METAL FURRING  
0509 - 6" METAL STUDS  
0510 - METAL LATH
- DIVISION 06 - WOOD AND PLASTICS**  
0601 - PRE-ENGINEERED WOOD ROOF TRUSSES (REFER TO STRUCTURAL)  
0602 - SHEATHING (REFER TO STRUCTURAL)  
0603 - PAINTED CEDAR FASCIA (REFER TO ROOF DETAILS)  
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0904 - CONTROL JOINT  
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0913 - FINISH CEILING (SEE CEILING PLAN)  
0914 - FLOOR FINISH (SEE FINISH PLAN)  
0915 - MILLWORK (SEE INTERIOR ELEVATIONS)
- DIVISION 10 SPECIALTIES**  
1001 - IDENTITY SIGNAGE
- DIVISION 15 - MECHANICAL**  
1501 - AC UNIT (REFER TO MECHANICAL)  
1502 - LOUVER (REFER TO MECHANICAL)
- DIVISION 16 ELECTRICAL**  
1601 - EXTERIOR WALL MOUNTED LIGHT FIXTURE (REFER TO LIGHTING)
- GENERAL NOTE: THE KEY NOTES SHOWN ARE FOR REFERENCE ONLY AND DO NOT REFLECT SPECIFICATIONS SECTIONS

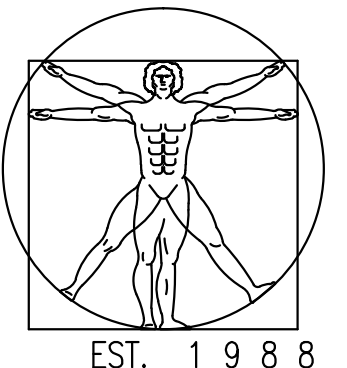
COLOR / MATERIAL SCHEME

SYMB.	COLOR / MATERIAL	MANUFACTURER	NOTES
(A)	NAVAJO WHITE SW6126	SHERWIN WILLIAMS	FLAT FINISH
(B)	ALABASTER SUT1028	SHERWIN WILLIAMS	FLAT FINISH
(C)	MOUNTAIN STRIP STONE S220	CORONADO	
(D)	CITYSCAPE FIRESTONE		KYNAR 500
(E)	BURGUNDY RAL #3004	UNA-CLAD OR FAC-CLAD	KYNAR 500
(F)	SOUTHERN PINE	MATCH EXISTING	NO STAIN

NOTES

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REVISIONS	NO.
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DATE 08-30-16

SCALE SCALE

DRAWN NAME

CHECKED PM NAME/REG

REG No. 15048

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SECTIONS

NOT FOR PERMIT

1A-4.01

### HVAC GENERAL NOTES

- HVAC DRAWINGS ARE DIAGRAMMATICAL IN NATURE. DO NOT SCALE FOR EXACT LOCATIONS. THE AIR CONDITIONING CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS AS REQUIRED TO PROVIDE A COMPLETE AND FULLY OPERATIVE SYSTEM.
- DUE TO DRAWINGS BEING DIAGRAMMATICAL IN NATURE, RISERS AND DROPS ARE NOT SHOWN - CONTRACTOR SHALL INCLUDE THESE IN THE BID. WHERE POSSIBLE ALL RISERS AND DROPS SHALL BE CONSTRUCTED USING 45 DEGREE OR LONG RADIUS ELBOWS.
- PROVIDE AND INSTALL NECESSARY DUCTWORK TRANSITIONS AND PIPING INCREASERS/REDUCERS AS REQUIRED FOR EQUIPMENT CONNECTIONS. CONSULT MANUFACTURER'S DATA FOR ACTUAL DUCTWORK AND PIPING CONNECTIONS SIZES, INCLUDING, BUT NOT LIMITED TO THOSE SHOWN.
- IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR FOR THE ADVANCED ORDERING OF LONG LEAD ITEMS SO THAT DELIVERY WILL NOT INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
- IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK SHOWN AND/OR NOTED ON THE DRAWINGS.
- ALL DIMENSIONS ARE IN PHYSICAL UNITS OF INCHES UNLESS OTHERWISE NOTED.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF DUCT SIZE CHANGES ARE REQUIRED BECAUSE OF EXISTING CONDITIONS.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, TESTS, AND ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- AFTER BID SELECTION AND PRIOR TO COMMENCEMENT OF WORK, THE AIR CONDITIONING CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DUCT WORK, EXHAUST FANS, AIR DEVICES, AND EQUIPMENT AS STATED ON SCHEDULES AND OR NOTES. AHRH CERTIFICATES FOR ALL EQUIPMENT SHALL BE INCLUDED IN THE SUBMITTAL PACKAGE. IF THE CONTRACTOR PROPOSES TO USE ANY ARTICLE, DEVICE, PRODUCT, OR MATERIAL WHICH IS NOT AS SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVE TO THE ENGINEER THAT THE PROPOSED SUBSTITUTION IS EQUAL AND WILL FIT ALLOCATED SPACE.
- LOCATION OF AIR CONDITIONING DUCTS AND AIR DEVICES MAY CHANGE. VERIFY EXACT LOCATION WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION. DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE FOR THE EXACT LOCATION OF DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF AIR DEVICES.
- PROVIDE MANUAL VOLUME DAMPERS AT ALL LOW PRESSURE BRANCH DUCTS TO INDIVIDUAL DIFFUSERS AND GRILLES AND TO ALL LOW PRESSURE BRANCH DUCTS TO REHEAT COILS. PROVIDE DAMPERS AS CLOSE AS POSSIBLE TO BRANCH CONNECTION TO MAIN. SEE DIFFUSER AND GRILLE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO PIPING, DUCTWORK, OR CONDUIT SHALL BE INSTALLED UNTIL IT IS COORDINATED WITH ALL OTHER TRADES AFFECTED. PROVIDE ALL OFFSETS REQUIRED TO AVOID INTERFERENCE WITH OTHER TRADES; EXISTING CONDITIONS AND WITH THE STRUCTURE, INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN.
- DO NOT BLOCK TUBE PULL OR SERVICE SPACE ON EQUIPMENT WITH PIPING, DUCTWORK, ETC. (FLANGED OR REMOVABLE SECTIONS MAY BE USED IN SOME INSTANCES WHERE TIGHT CLEARANCES EXISTS).
- IF NO SIZE IS SHOWN FOR DUCT SERVING DIFFUSER OR GRILLES, USE SIZE SHOWN ON DIFFUSER AND GRILLE SCHEDULE.
- DUCTWORK ROUTED PARALLEL TO A WALL, RATED OR CORRIDOR SHALL BE INSTALLED WITH MINIMUM 6" CLEARANCE TO ALLOW FOR INSPECTION OF WALL PENETRATIONS. CONTRACTOR SHALL PROVIDE 12" CLEARANCE WHERE POSSIBLE, COORDINATE.
- REFER TO DETAIL SHEETS AND SPECIFICATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS.
- PROVIDE TEMPORARY FILTERS ON ALL RETURN AIR GRILLES AND TRANSFER OPENINGS IN THE WORK AREA.
- INSTALL AHU CONTROL PANELS TO PROVIDE FOR 3'-0" MIN. CLEARANCE IN FRONT OF PANEL.
- UNLESS OTHERWISE NOTED ON PLANS, LOW RETURN AIR GRILLES AND LOW EXHAUST GRILLES SHALL BE 6" TO 8" A.F.F. TO BOTTOM OF GRILLE.
- ALL DIFFUSERS IN SAME SPACE SHALL HAVE THE SAME FULL FACE SIZE USING LARGEST SIZE REQUIRED FROM DIFFUSER AND GRILLE SCHEDULE.
- PROVIDE CLEAR ACCESS TO FIRE DAMPERS, SMOKE DAMPERS, AND VALVES.
- ALL WORK SHALL BE PERFORMED BY A LICENSED AIR CONDITIONING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.
- THE AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS CAUSED BY THE CONTRACTOR DURING THE PERFORMANCE OF WORK.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- THE PLUMBING CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS PER PLUMBING SPECIFICATIONS. (SEE PLUMBING SHEETS)
- COMBUSTIBLE PIPING IS NOT PERMITTED IN RETURN AIR PLENUMS OR CEILING SPACES USED FOR RETURN AIR.
- THE AIR CONDITIONING CONTRACTOR SHALL USE RADIUS TURNS WITH A 15 CENTERLINE TO WIDTH RATIO (15 R/W), VANED ELBOWS, SPLITTER DAMPERS WHERE INDICATED, VOLUME CONTROLS IN ALL BRANCH LINES AND SUPPLY AND RETURN AIR DEVICES UNLESS OTHERWISE NOTED IN AIR DEVICE SCHEDULE.
- THE AIR CONDITIONING CONTRACTOR SHALL SEAL ALL DUCTS IN AN APPROVED MANNER TO INSURE AGAINST LEAKAGE.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY CONFLICTS IN LOCATIONS FOR DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC., IN ORDER TO NOT INTERFERE WITH THE PROGRESS OF CONSTRUCTION.
- THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT, EXCEPT FOR EXHAUST HOODS.
- UNLESS NOTED AS EXISTING TO BE REUSED (E) OR RELOCATED (RE), ALL EQUIPMENT, PIPING, DUCTS, REGISTERS, ETC., SHALL BE NEW.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR UNDERWRITERS LABEL (UL) WHERE APPLICABLE.
- THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE ALL CONTRACTORS, STARTERS, RELAYS, AND THERMOSTATS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS, POWER WIRING AND CONTROL WIRING, UNLESS NOTED OTHERWISE.
- THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE 1" THICK MERV 8 (THROW-AWAY TYPE) FILTERS WITH EACH A/C UNIT (UON).
- ALL PENETRATIONS OF FIRE-RATED WALLS, FLOORS OR CEILINGS SHALL BE FIREPROOFED BY A SEALING METHOD AND RATING AS SPECIFIED ON THE DRAWINGS OR AS REQUIRED BY THE LOCAL OR STATE CODES.
- AIR HANDLING DEVICES IN EXCESS OF 2000 CFM WILL HAVE A DUCT SMOKE DETECTOR TO STOP THE FAN AND ACTIVATE A HORN AND STROBE LIGHT. ALL EQUIPMENT SHALL BE INTERLOCKED AS REQUIRED BY LOCAL CODES OR FIRE SAFETY OFFICIALS.
- ALL WORK SHALL COMPLY WITH BASE BUILDING LIFE SAFETY/SMOKE CONTROL SYSTEM REQUIREMENTS. PROVIDE ALL NECESSARY WIRING, CONTRACTORS, RELAYS, ETC., AS REQUIRED FOR INTERFACE WITH BASE BUILDING SYSTEM.
- THE AIR CONDITIONING CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED, FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS BUILT DRAWINGS TO THE ENGINEER UPON COMPLETION OF INSTALLATION. IF FIELD CHANGES ARE MADE WHICH DEVIATE FROM ENGINEERING DRAWINGS TO THE EXTENT THAT THE BUILDING DEPARTMENT REQUIRES THESE CHANGES BE INCORPORATED PRIOR TO INSPECTION, THE CONTRACTOR SHALL PROVIDE SKETCHES TO THE ENGINEER FOR INCORPORATION INTO THE BUILDING PLANS. ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THAT CONTRACTOR.
- AIR CONDITIONING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF ACCEPTANCE, AND ALL GUARANTEES AND WARRANTIES SHALL BE DELIVERED TO THE OWNER. COMPRESSORS SHALL HAVE EXTENDED FIVE YEAR WARRANTIES.
- PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT WITH THE OWNER'S REPRESENTATIVE AND THE ACTUAL EQUIPMENT BEING FURNISHED.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE HVHZ WIND-LOAD RATED WITH SIGNED AND SEALED DOCUMENTS / DRAWINGS FROM AN INDEPENDENT LICENSED FLORIDA PROFESSIONAL ENGINEER.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE MOUNTED ON CURBS OR STANDS. CURBS AND STANDS AND SHALL BE FLORIDA PRODUCT APPROVED OR MAM/DADE PRODUCT APPROVED WITH CURRENT NOTICE OF ACCEPTANCE (NOA). CURBS AND STANDS SHALL BE ATTACHED TO THE ROOF STRUCTURE AND THE EQUIPMENT SHALL BE ATTACHED TO THE CURB OR STAND IN ACCORDANCE WITH THE NOA DOCUMENTS.
- IF ANY CONFLICTS OR DISCREPANCIES APPEAR IN THESE DOCUMENTS, THE MORE STRINGENT OF THE REQUIREMENTS ARE TO BE TAKEN.

### CONTRACTOR GENERAL CONDITIONS NOTES

- RFI'S: CONTRACTOR SHALL SUBMIT RFIS WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
- SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS. PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
- DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.
- SUBSTITUTIONS:
  - CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
  - PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
  - PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME.
  - PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPTION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
  - CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR.
- AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
- INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

### SCOPE OF PROJECT

THIS PROJECT CONSISTS OF A RENOVATION OF AN EXISTING OPEN-AIR AMPHITHEATER WITH NATURALLY VENTILATED BACK-OFF-HOUSE SPACES.

### VENTILATION PER F.B.C. 402.2

#### VENTILATION FOR GREEN ROOM:

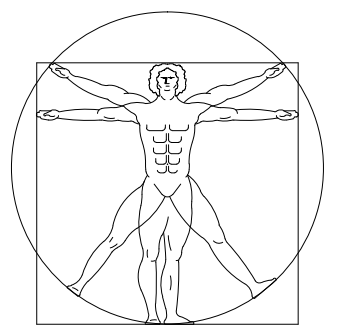
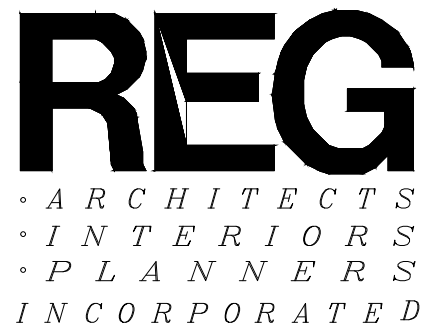
FLOOR AREA: 122 SF  
 $122 \times 0.04 = 4.88$   
 LOUVER SHALL HAVE A FREE AREA OF AT LEAST 5 SF

#### VENTILATION FOR BACKSTAGE STORAGE:

FLOOR AREA: 613 SF  
 $613 \times 0.04 = 24.52$   
 LOUVERS SHALL HAVE A COMBINED FREE AREA OF AT LEAST 25 SF

### MECHANICAL SHEET INDEX

SHEET#	DESCRIPTION
M0.1	MECHANICAL SCHEDULES, GENERAL NOTES & LEGENDS
M1.1	MECHANICAL PLAN



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DATE 06-30-16

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### MECHANICAL SCHEDULES, LEGENDS NOTES & INDEX

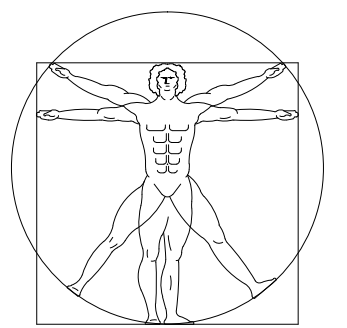
# M0.1

PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.



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 STEPHEN F. ROLLIN, P.E. LICENSE #36428  
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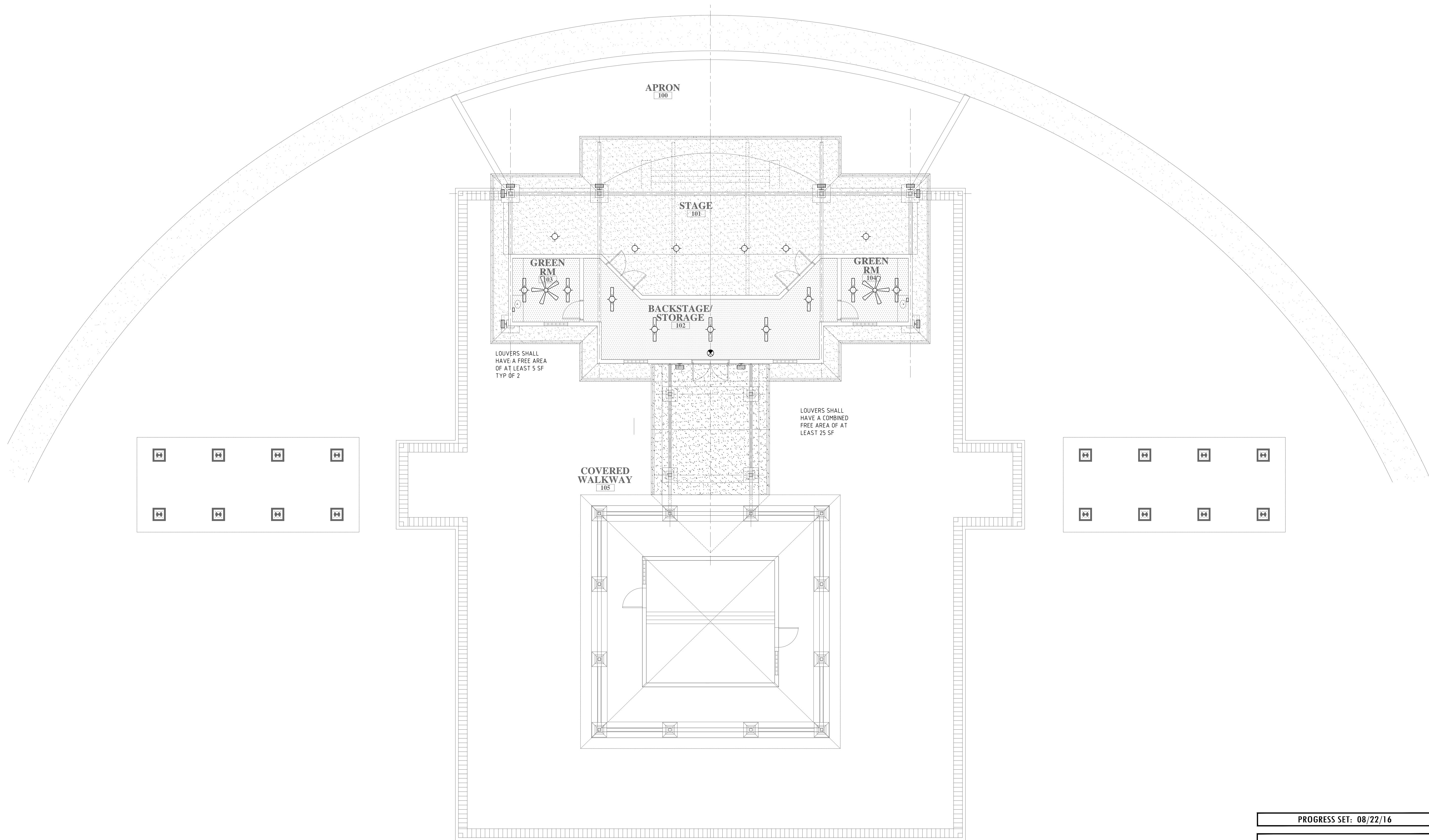
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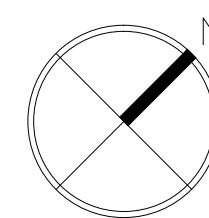
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MECHANICAL PLAN

M1.1



1 MECHANICAL PLAN  
1/8" = 1'-0"



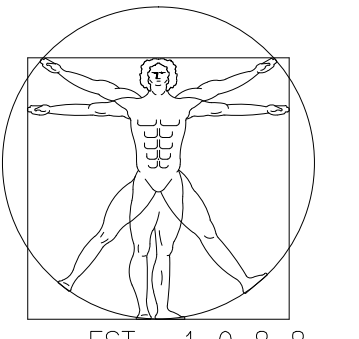
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PROGRESS SET: 08/22/16



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## ELECTRICAL SPECS, LEGEND, & INDEX

# E0.1

ELECTRICAL SHEET INDEX	
SHEET #	DESCRIPTION
E0.1	ELECTRICAL SPECS, LEGEND & INDEX
ES1.1	ELECTRICAL SITE PLAN
E1.1	POWER PLAN
E2.1	LIGHTING PLAN
E3.1	ELECTRICAL RISER DIAGRAM

FBC NOTE	
1.	CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.1). PROVIDE OWNER WITH A RECORD SET DRAWING OF COMPLETE INSTALLATION DRAWINGS.
2.	CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.2). PROVIDE OWNER WITH OPERATIONAL MANUALS AND MAINTENANCE MANUALS.

LOW VOLTAGE NOTES	
PROVIDE A STRUCTURED CABLING SYSTEM (SCS) FOR THE TV/CABLE/TELEPHONE DROPS, COORDINATE DESIGN, TYPE OF CABLE, AND FINAL LOCATIONS WITH OWNER/ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR TO DESIGN/BUILD AND COMPLY WITH NEC AND EIA/TIA STANDARDS.	

FIRE RATING NOTE	
ALL DEVICES PENETRATING FIRE RATED WALLS SHALL BE PROVIDED WITH UL APPROVED FIRE RATED ASSEMBLIES. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS)	

COORDINATION NOTES	
CONTRACTOR TO COORDINATE ALL FINAL LOCATIONS, ANY TYPES OF ALL DEVICES, AND EQUIPMENT WITH ARCHITECT PRIOR TO BID AND ROUGH-IN.	
CONTRACTOR TO COORDINATE VARIOUS TRADES TO AVOID ABOVE CEILING CONFLICTS.	

LIGHTING NOTES	
1.	ELECTRICAL CONTRACTOR TO VERIFY IF ANY LIGHTING FIXTURES REQUIRE STEP-DOWN TRANSFORMERS. QUANTITY AND LOCATION OF THE TRANSFORMERS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONSULT ARCHITECT FOR LOCATIONS PRIOR TO BIDDING. PROVIDE ALL TRANSFORMERS AND INCLUDE IN BID.
2.	ALL LIGHTING FIXTURES AND FANS TO BE SELECTED & LOCATED BY OWNER /ARCHITECT/INTERIOR DESIGNER, UNLESS OTHERWISE NOTED.
3.	ARCHITECT TO SET MOUNTING HEIGHTS FOR ALL FIXTURES WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
4.	CONTRACTOR TO PROVIDE LUMINAIRES TO CONFORM TO ENERGY CODE, THERMAL ENVELOPE RATINGS.

EQUIPMENT/FEEDER REMOVAL NOTES	
SALVAGED MATERIALS, EQUIPMENT, AND FEEDERS SHALL BE DELIVERED TO THE OWNER AT HIS PROPERTY AND STORED WITHIN THE BUILDING WHERE DIRECTED. ANY REMOVED MATERIALS OR EQUIPMENT WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.	

SCOPE OF WORK	
THE PROJECT CONSISTS OF A AMPHITHEATRE IMPROVEMENT WITHIN AN EXISTING SITE. UPGRADING ELECTRICAL SYSTEMS - POWER/LIGHTING, SIGNAL.	

GENERAL DEMOLITION NOTES	
1.	CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN RELOCATING WIRING DEVICES, EQUIPMENT AND LIGHTING FIXTURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT OTHER WIRING DEVICES, EQUIPMENT, AND LIGHTING FIXTURES THAT MAY BE CONNECTED ON THE SAME CIRCUIT REMAIN OPERATIONAL AND ACTIVE.
2.	INFORMATION SHOWN ON THESE DOCUMENTS ARE DIAGRAMMATIC IN NATURE. CONTRACTOR TO FIELD VERIFY ELECTRICAL CIRCUIT HOME RUNS TO ALL ELECTRICAL ITEMS SCHEDULED FOR DEMOLITION AND PERFORM THE WORK AS INTENDED AND DEPICTED ON THE DRAWINGS.
3.	UPDATE ALL ELECTRICAL PANEL BOARD DIRECTORIES THAT ARE AFFECTED BY THE DEMOLITION AND/OR RENOVATIONS DIRECTORIES SHALL BE TYPED.
4.	STORE ITEMS INDICATED TO BE RETURNED TO THE OWNER IN A DRY, CLEAN, AND PROTECTED AREA. NOTIFY OWNER WHEN ITEMS ARE READY TO BE REMOVED.
5.	COORDINATE ANY ALTERATION AND CHANGES TO THE ELECTRICAL SERVICE WITH THE LOCAL UTILITY COMPANY.
6.	PRE SCHEDULE ALL POWER INTERRUPTIONS WITH OWNER. GIVE OWNER 48 HOURS NOTICE PRIOR TO DISCONNECTING POWER TO ANY PORTION OF THE BUILDING AND MAKE ARRANGEMENTS TO MAINTAIN POWER TO ALL CRITICAL EQUIPMENT AS NEEDED AND REQUESTED BY OWNER.
7.	CONTRACTOR IS RESPONSIBLE OF BECOMING FULLY INFORMED AS TO EXISTING CONDITIONS AT THE SITE. NEITHER THE OWNER NOR THE A/E MAKES ANY REPRESENTATION WARRANTY AS TO SITE CONDITIONS.
8.	CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE NATURE AND EXTENT OF THE WORK TO BE PERFORMED AND LOCAL CONDITIONS THAT MAY AFFECT THE WORK.
9.	DUO TO REMOVAL OR CORRECTION TO ANY WALLS OR OTHER CONSTRUCTION NECESSITATING CAPPING OF EXISTING ELECTRICAL WIRING DEVICES OR ANY OTHER ELECTRICAL EQUIPMENT INCLUDING RECONNECT OF SUCH EXISTING ITEMS IS CONSIDERED TO BE PART OF THE WORK UNDER THIS CONTRACT. ALL EXISTING OUTLETS SHOWN TO REMAIN WILL REMAIN ACTIVE. THE REWIRING SHALL BE INCLUDED UNDER THIS CONTRACT WITHOUT ADDITIONAL COST TO OWNER.
10.	ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES: NATIONAL ELECTRICAL CODE (NEC) NATIONAL FIRE PROTECTION AGENCY (NFPA) FLORIDA BUILDING CODE
11.	WHERE CONDUIT IS INACCESSIBLE, REMOVE CONDUCTORS AND CUT BACK CONDUIT FLUSH WITH SLAB OR WALL. PATCH OPENING TO MATCH EXISTING FINISH. WHERE EXISTING WIRING EXTENDS OUTSIDE OF THE AREA BY NATURE OF THE ORIGINAL INSTALLATION, CONTRACTOR SHALL MODIFY EXISTING WIRING AS REQUIRED TO MAINTAIN CONTINUITY OF EXISTING CIRCUITRY SUCH THAT NO EQUIPMENT TO REMAIN IS LEFT WITHOUT SERVICE.
12.	THE CONTRACTOR IS TO GIVE THE OWNER AN OPPORTUNITY TO ACCEPT ANY ELECTRICAL ITEMS THAT WERE REMOVED FOR THEIR USE. SALVAGED MATERIALS, AND EQUIPMENT THE OWNER DOES NOT WISH TO KEEP SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.
13.	CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTING WHERE REQUIRED DURING DEMOLITION AND CONSTRUCTION SCOPE OF WORK.
14.	THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE TAKEN FROM ORIGINAL DRAWINGS PROVIDED BY THE OWNER AND FIELD INVESTIGATION. THE ACTUAL CONDITIONS MAY VARY. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. THE CONDITIONS SHOWN ARE INTENDED TO SHOW THE LOCATIONS OF THE EXISTING EQUIPMENT, AND IN NO WAY RELIEVES THE CONTRACTOR FROM PROVIDING ANY AND ALL COORDINATION REQUIRED TO COMPLETE THE NEW WORK. FIELD CONDITIONS SHALL GOVERN.
15.	THE DEMOLITION PLAN IS NOT INCLUSIVE OF ALL ELECTRICAL DEVICES WITHIN THE PROJECT AREA. IT IS INTENDED TO PROVIDE THE CONTRACTOR WITH A GENERAL KNOWLEDGE OF THE EXISTING CONDITIONS WITHIN THE PROJECT AREA. ANY DISCREPANCIES OR CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
16.	ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONDUITS, NEW OR EXISTING WITHIN THE PROJECT AREA ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
17.	THE CONTRACTOR SHALL PHASE DEMOLITION WORK AS REQUIRED OR DIRECTED BY THE OWNER.
18.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR PATCHING ANY DAMAGE WHICH MAY OCCUR DURING DEMOLITION ACTIVITIES. REPAIRS TO BE DONE TO LOGICAL EDGES OF SURFACES AFFECTED, AND SHALL MATCH IMMEDIATE ADJACENT AREAS IN CONSTRUCTION, MATERIAL, FIRE RATING, FINISH AND COLOR.
19.	ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND SHALL BE COORDINATED WITH OTHER TRADES.

VOLTAGE DROP NOTE	
THE CONTRACTOR, AS PART OF HIS PRICING AND BIDDING, SHALL INCLUDE ALL LABOR, MATERIAL, EQUIPMENT AND TERMINATIONS, INCLUDING FPL AND UTILITY REQUIREMENTS AND APPROVALS FOR ALL CONDUCTING AND TERMINATIONS, TO SATISFY THE PROJECT REQUIREMENTS. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND INCLUDE ALL HIS BRANCH CIRCUIT, FEEDER, AND SERVICE CONDUCTOR CONDUITING AND WIRING LENGTHS AND ROUTING BASED ON HIS PROPOSED INSTALLATION MEANS AND METHODS. WIRING LENGTHS, SHOWN AS THE BASIS OF DESIGN LENGTHS, ARE MERELY AN APPROXIMATION BY THE CONSULTANT. THE CONTRACTOR SHALL USE THOSE BASIS OF DESIGN CONDUCTOR LENGTHS AND WIRING SIZES AS THE MINIMUM, NOT LIMITED TO, REQUIREMENTS FOR THE PROJECT BIDDING. THE CONTRACTOR, PRIOR TO BIDDING, SHALL CONFIRM ALL HIS PROPOSED LENGTHS, MAKE ANY AND ALL ADJUSTMENTS AS MAY IMPACT THE ELECTRICAL SYSTEMS AND EQUIPMENT FOR CODE COMPLIANCE AND CONSTRUCTABILITY, AND DOCUMENT ALL PROPOSED CHANGES AND ADJUSTMENTS TO THE ARCHITECT AS PART OF HIS BID RESPONSE. THE CONTRACTOR SHALL SUBMIT COMPLETE SCALED PROPOSED ROUTINGS FOR SERVICES AND FEEDERS, QUANTITIES AND CONDUCTING, SECTIONS THRU BUILDING FOR RACKING, DUCT/BANK CROSS SECTIONS FOR CLEARANCES AND COORDINATED AS FREE OF ALL INTERFERENCES, ETC. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION TO THE ARCHITECT FOR REVIEW NO LATER THAN 3 WEEKS AFTER NOTICE TO PROCEED.	

GENERAL ELECTRICAL NOTES	
1.	DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFIRM WITH OWNERS REPRESENTATIVES. CONTRACTOR SHALL REFER TO THE ENTIRE SET OF CONTRACT DOCUMENTS FOR PROJECT COORDINATION.
2.	ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EDITIONS CURRENTLY ADOPTED BY THE LOCAL AUTHORITIES HAVING JURISDICTION OF THE FOLLOWING: THE NATIONAL ELECTRICAL CODE (NFPA 70), NFPA 72, NFPA 75, THE FIRE PREVENTION CODE INCLUDING NFPA 1 & NFPA 101, NFPA 110, AND THE FBC, AND THE FPFC.
3.	UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THHN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THWN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THWN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS MUST COMPLY WITH ARTICLE 310 OF THE N.E.C.
4.	OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
5.	DISCONNECT SWITCHES SHALL BE HP RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
6.	THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
7.	THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL BE PROVIDED TO MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
8.	ALL MATERIALS SHALL BE NEW AND SHALL BEAR UL LABELS WHERE APPLICABLE.
9.	ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR.
10.	THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY, TELEPHONE COMPANY, AND BROADBAND PROVIDER.
11.	CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS, BALANCE LOADS ON EACH PHASE.
12.	SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.
13.	FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY OWNER.
14.	ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
15.	CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED.
16.	ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
17.	CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS AND START UP.
18.	ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF ENGINEER/ARCHITECT.
19.	ALL SYSTEMS AND ROUGH-IN SHALL BE CONCEALED IN FINISHED AREAS. COORDINATE WITH ARCHITECT.
20.	THE ELECTRICAL PORTION OF THE CONTRACT DOCUMENTS ARE COORDINATED WITH THE BASIS OF DESIGN EQUIPMENT SPECIFIED BY DIVISION 16 AND OTHER DIVISIONS. WHERE THE CONTRACTOR ELECTS TO SUBSTITUTE A PRODUCT IN LIEU OF PROVIDING THE DESIGN BASIS, AND SAID SUBSTITUTION IS ACCEPTED BY THE A/E AND OWNER, THE CONTRACTOR SHALL MAKE ALL CORRECTIONS TO THE ELECTRICAL SYSTEM NECESSARY IN ORDER TO ENSURE A COMPLETE AND OPERATIONAL INSTALLATION OF THE EQUIPMENT AT NO ADDITIONAL COSTS. WHERE THE CONTRACTOR'S DECISION TO SUBSTITUTE PRODUCTS OR MODIFY DESIGN REQUIRING A/E SERVICES, THE A/E RESERVES THE RIGHT TO REQUEST COMPENSATION FROM THE CONTRACTOR FOR SAID SERVICES.
21.	CONTRACTOR SHALL PROVIDE A CONTROLS TRADE SUBCONTRACTOR TO DESIGN AND INSTALL ALL CONTROLS TO MEET THE PROJECT REQUIREMENTS.

### AIR CONDITIONING EQUIPMENT AND CONTROLS SPECIFICATION

- ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONTROL RACEWAY (CONDUIT), WIRE INSTALLATION, CONNECTIONS ETC. IN ACCORDANCE WITH WIRING DIAGRAMS ON AIR EQUIPMENT.
- A/E / ELECTRICAL PLANS OR DIAGRAMS FURNISHED BY MANUFACTURER OF THE EQUIPMENT.
- ALL POWER WIRING FOR THE AIR CONDITIONING EQUIPMENT SHALL BE FURNISHED, INSTALLED AND CONNECTED UNDER THIS SECTION OF THE SPECIFICATION.
- MECHANICAL CONTRACTOR SHALL PROVIDE MOTOR STARTERS FOR ALL AIR CONDITIONING EQUIPMENT. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONNECTIONS TO AIR CONDITIONING EQUIPMENT PER MANUFACTURERS SPECIFICATIONS.
- AIR CONDITIONING EQUIPMENT INCLUDES CONDENSER, COMPRESSOR AND FAN. FAN COIL UNITS, ELECTRICAL STRIP HEATER, THERMOSTAT, ETC.

ELECTRICAL SYMBOL LEGEND	
	FUSE DISCONNECT
	ELECTRICAL CIRCUIT BREAKER
	FACTORY INSTALLED DISCONNECT
	ELECTRICAL PANEL
	ELECTRICAL METER
	LIGHTING CONTROL TIME CLOCK/PANEL
	TELEPHONE BOARD
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	MANUAL MOTOR STARTER
	PUSH BUTTON
	SENSOR DOOR OPENER/CARD READER ** BY OTHERS
	ALARM BY OTHERS **
	ISOLATED GROUND
	ABOVE SHOW WINDOW
	CEILING MOUNTED
	ABOVE COUNTER
	UNDER COUNTER
	AFF ABOVE FINISHED FLOOR
	VF VERIF IN FIELD
	TGB TELEPHONE GROUND BAR
	(E) EXISTING - COORDINATE REPLACING COVER PLATES W/ OWNER/ARCH
	(RE) RELOCATED EXISTING - COORDINATE REPLACING COVER PLATES W/ OWNER/ARCH
	NO SYMBOL NEW

\* NOTE: ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT  
\*\* PROVIDE 12" W/ WITH PULL WIRE UNLESS OTHERWISE NOTED. STUB UP 6" ABOVE CEILING.

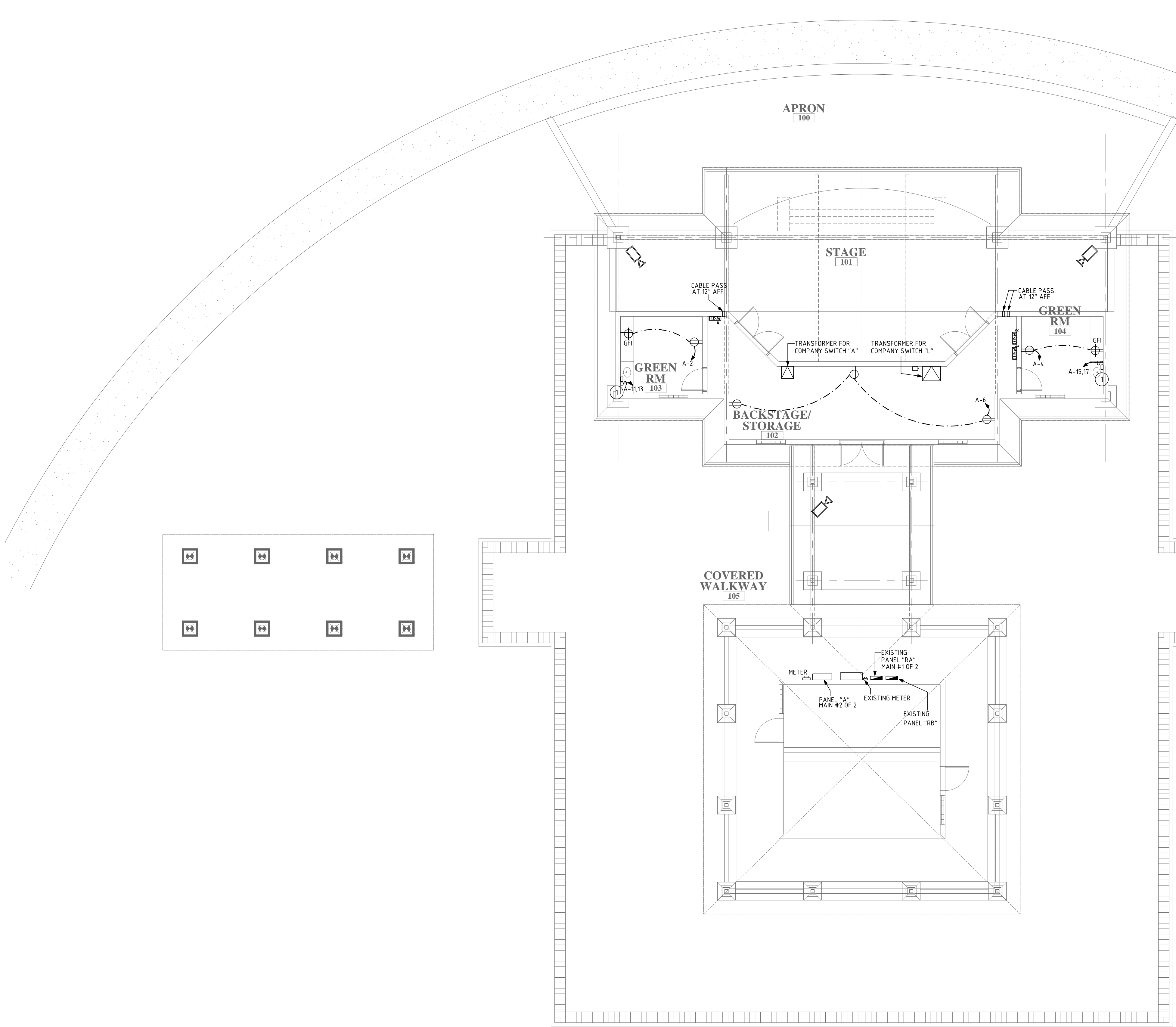
NOTES:  
RECEPTACLES ARE TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.  
SWITCHES ARE TO BE MOUNTED AT 48" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

SPECIAL PURPOSE OUTLET NOTES	
1.	CONTRACTOR IS CAUTIONED TO OBTAIN COMPLETE EQUIPMENT PRODUCT DATA FROM ARCHITECT, PRIOR TO BIDDING AND ROUGH-IN.
2.	CONTRACTOR SHALL PROVIDE NEMA OUTLET TO MEET PROJECT AND EQUIPMENT REQUIREMENTS.
3.	CONTRACTOR TO PROVIDE MATCHING NEMA CAP/CORD AS REQUIRED.

UL LISTING AND NRTL CERTIFICATIONS NOTE	
CONTRACTOR/MANUFACTURER SHALL PROVIDE COMPLETE DOCUMENTATION AND CERTIFICATIONS FOR ANY EQUIPMENT THAT HE PROPOSES WITH A NRTL (NATIONALLY RECOGNIZED TESTING LAB) LISTING AND LABELING EQUIVALENT TO THE BASIS OF DESIGN UL LISTING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ACCEPTABILITY BY THE LOCAL AHJ AND AGENCIES FOR THE NRTL LISTING AND CERTIFICATION FOR THE PRODUCTS HE PROPOSES AND DEMONSTRATE SUCH AS PART OF THE PRODUCT DATA SUBMISSION AND INSTALLATION.	

FLORIDA BUILDING CODE 2014 CONFORMANCE	
1.	CONTRACTOR TO PROVIDE ALL LABOR AND MATERIAL TO CONFORM TO FBC 2014 ENERGY COMPLIANCE, RELATED SECTIONS, AND STANDARDS.
2.	OWNER SHALL PROVIDE SERVICES OF AN INDEPENDENT COMMISSIONING AGENT(CMA) TO PREPARE FUNCTIONAL TEST PROCEDURES (DOCUMENT SYSTEMS PERFORMANCE, WITNESS CONTRACTOR TESTING), AS REQUIRED BY FBC FOR LIGHTING AND HVAC SYSTEMS.
3.	CONTRACTOR SHALL PROVIDE SERVICES TO TEST, BALANCE AND COMMISSION THE SYSTEM VIA AN INDEPENDENT AGENT FOR THE MECHANICAL SYSTEMS ENERGY PERFORMANCE.
4.	CONTRACTOR TO PROVIDE COMPLETE CERTIFICATIONS AND CHECKLISTS AS REQUIRED BY FBC FOR HIS WORK RESPONSIBILITIES.

CONTRACTOR GENERAL CONDITIONS NOTES	
1.	RFIFS: CONTRACTOR SHALL SUBMIT RFIFS WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
2.	SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
3.	SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
4.	LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS. PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
5.	DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.
6.	SUBSTITUTIONS: A. CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS. B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN. C. PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME. D. PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPINION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
7.	AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILT DRAWINGS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSURE. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
8.	INSTALLATION, TESTING AND BALANCING, START UP: COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS: CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.



**COMPANY SWITCH**  
[CSW] A  
POWER IN  
100 AMP, 3 PHASE, 5 WIRE  
120/208 VOLTS

**COMPANY SWITCH**  
[CSW] L  
POWER IN  
200 AMP, 3 PHASE, 5 WIRE  
120/208 VOLTS

**COMPANY SWITCH**  
[CSW] R  
POWER IN  
100 AMP, 3 PHASE, 5 WIRE  
120/208 VOLTS

**PERFORMANCE LIGHTING SYSTEM**

- Lighting system power:
  - A dedicated 1125VA transformer to feed only the performance lighting company switch is required.
  - The transformer shall be k13 rated.
  - The transformer shall be located backstage.
  - All neutral feed conductors shall be sized at 200% of the phase conductors.
  - For conductor sizing and conduit fill all neutral feed conductors are considered current carrying conductors.
- The lighting transformer will feed the following:
  - There is one performance lighting company switch (CO3W-L) back stage left.
  - The company switch requires a 200 amper per phase, three phase, 120/208 Volt 5 wire feed.
- Company switch data:
  - The company switch will be provided by the electrical contractor.
  - The panel will be located in the stage area.
  - The panel shall be a NEMA-type 1 enclosure suitable for outdoor use.
  - The company switch will have a main breaker which is rated at 200 amper +45% etc.
  - The panel is wall mounted.
  - The panel is 21" wide, 15" deep and 37" high.
  - The panel is configured for bottom access of feeder power.

**AUDIO SYSTEM**

1. Audio Video Power:

- A dedicated 450VA transformer to feed only the theatre sound company switch is required.
- The transformer shall be k13 rated.
- The transformer shall be located backstage.
- All neutral feed conductors shall be sized at 200% of the phase conductors.
- For conductor sizing and conduit fill all neutral feed conductors are considered current carrying conductors.

The lighting transformer will feed the following:

- There is one theatre sound lighting company switch (CO3W-A) back stage left.
- The company switch requires a 100 amper per phase, three phase, 120/208 Volt 5 wire feed.

Company switch data:

- The company switch will be provided by the electrical contractor.
- The panel will be located in the stage area.
- The panel shall be a NEMA-type 1 enclosure suitable for outdoor use.
- The company switch will have a main breaker which is rated at 100 amper +45% etc.
- The panel is wall mounted.
- The panel is 21" wide, 15" deep and 37" high.
- The panel is configured for bottom access of feeder power.

**PERFORMANCE RIGGING**

1. Rigging Power:

- A dedicated company switch to feed only the performance rigging is required.
- There is one performance rigging company switch (CO3W-R) back stage left.
- The company switch requires a 100 amper per phase, three phase, 120/208 Volt 5 wire feed.

Company switch data:

- The company switch will be provided by the electrical contractor.
- The panel will be located in the back stage area.
- The panel shall be a NEMA-type 1 enclosure suitable for outdoor use.
- The company switch will have a main breaker which is rated at 100 amper +45% etc.
- The panel is wall mounted.
- The panel is 21" wide, 15" deep and 37" high.
- The panel is configured for bottom access of feeder power.

**THEATRICAL DEVICE LEGEND**

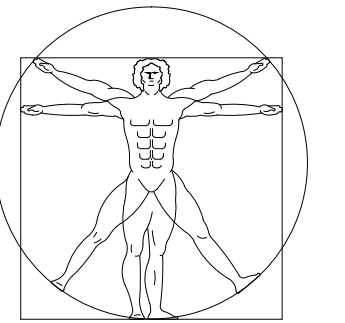
[CSW] A	- COMPANY SWITCH AUDIO (LEX POWERGATE)- - PROVIDED BY ELECTRICAL CONTRACTOR, - SURFACE MOUNT ON WALL - DIMENSIONS D10" X W21" X 37"
[CSW] L	- COMPANY SWITCH AUDIO (LEX POWERGATE)- - PROVIDED BY ELECTRICAL CONTRACTOR, - SURFACE MOUNT ON WALL - DIMENSIONS D10" X W21" X 37"
[CSW] R	- COMPANY SWITCH AUDIO (LEX POWERGATE)- THEATRICAL RIGGING - PROVIDED BY ELECTRICAL CONTRACTOR, - SURFACE MOUNT ON WALL - DIMENSIONS D10" X W21" X 37"

**KEY NOTES**

1	PROVIDE DISCONNECT SWITCH FOR INSTA-HOT. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH SUPPLIER AND OWNER PRIOR TO ROUGH-IN.
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**CONTRACTOR SHALL VERIFY ALL REQUIREMENTS, LOCATION OF EQUIPMENT, WATTAGE, AMPERAGE, MOUNTING, ETC. WITH AUDIOVISUAL EQUIPMENT SUPPLIER, OWNER, AND ARCHITECT PRIOR TO ROUGH-IN.**

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REVISIONS	NO.
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DATE 06-30-16

SCALE AS NOTED

DRAWN RB/FR/JS

CHECKED DA/SR

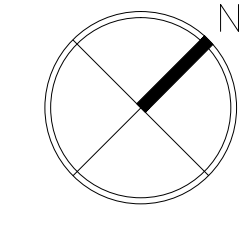
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OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

POWER PLAN

**E1.1**

1 POWER PLAN  
1/8" = 1'-0"



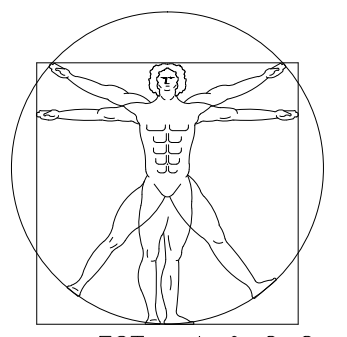
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**PROGRESS SET: 08/22/16**

**FRAE**  
CONSULTING

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EMAIL: INFO@FRAECONSULTING.COM  
DESIGNED BY: RB/SK/JB PM: BJ P/N 16028



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DATE 06-30-16

SCALE AS NOTED

DRAWN RB/FR/JS

CHECKED DA/SR

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LIGHTING PLAN

E2.1

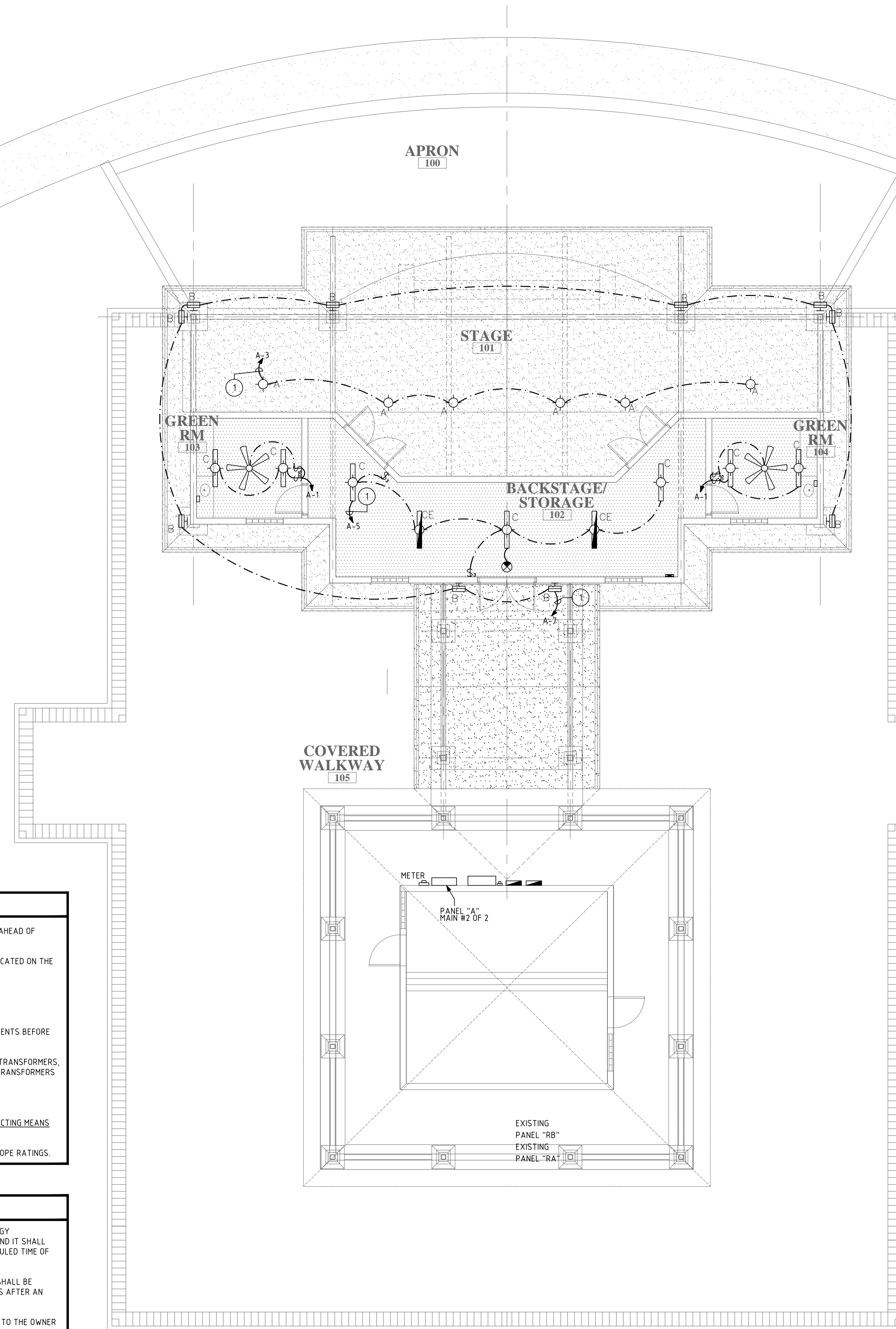
LIGHTING CONTROL SYMBOL LEGEND	
	7-DAY FULL YEAR LIGHTING CONTROL WITH ASTRONOMICAL TIME CLOCK
	WALL MOUNTED OCCUPANCY SENSOR SENSOR SWITCH WSD-PDT
	WALL MOUNTED OCCUPANCY SENSOR 2-POLE MODEL - SENSOR SWITCH WSD-PDT-2P CAPABLE OF SWITCHING SEPARATE VOLTAGES ON EACH POLE
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	OVERRIDE SWITCH WITH PILOT LIGHT; 2 HOUR MAX TIME DELAY MODEL (CH-# (OF BUTTONS))
	CEILING MOUNTED OCCUPANCY SENSOR SENSOR SWITCH (CMR_PDT) LINE VOLTAGE
<b>NOTE:</b> ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT.	

LIGHTING CONTROL SYMBOL LEGEND							
TYPE	DESCRIPTION	MFG	CATALOG NUMBER	VOLTS	LAMPS	WATTS	MOUNTING
(A)	LED DOWNLIGHT	LITHONIA LIGHTING	LDN4-SERIES	120	25W LED	25	CEILING
(B)	WALL MOUNTED FIXTURE	LUMINAIRE LIGHTING	SPC 8 SERIES	120	25W LED	25	WALL
(C)	LED FIXTURE	BEGHELLI LIGHTING	BS 100 LED SERIES	120	80W LED	80	CEILING
(E)	SAME AS TYPE "G" EXCEPT WITH 90 MIN EMERGENCY BACKUP	BEGHELLI LIGHTING	BS 100 LED SERIES	120	80W LED	80	CEILING
(X)	EXIT SIGN	WITH MINIMUM 90 MINUTE BATTERY EVENLITE	TEX SERIES	120	LED		

**NOTES:**  
1. PROVIDE ELECTRONIC BALLAST FOR ALL FLUORESCENT LAMPED FIXTURES.  
2. MINIMUM FLUORESCENT LAMP COLOR TEMPERATURE SHALL BE 3500K.  
3. VERIFY BALLAST REQUIREMENTS FOR ALL FLUORESCENT FIXTURES. PROVIDE ELECTRONIC DIMMING BALLASTS FOR SPECIFIC FIXTURES INDICATED WITH DIMMER CONTROL.  
4. VERIFY ALL FIXTURE SELECTIONS PRIOR TO PURCHASE WITH OWNER/ARCHITECT.

LIGHTING NOTES	
1.	ALL EXIT, EMERGENCY, AND BATTERY PACKS IN FLUORESCENT FIXTURES TO BE WIRED AHEAD OF CONTROL SWITCH.
2.	ALL WALL MOUNTED EMERGENCY LIGHT FIXTURES SHALL BE MOUNTED AT HEIGHTS INDICATED ON THE PLANS.
3.	ALL DIMMER SWITCHES SHALL HAVE A PRESET MINIMUM RATING OF 10 KW.
4.	ALL FIXTURE COUNTS, SELECTIONS, AND EXACT LOCATIONS MUST BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO PURCHASE. CONFIRM ALL LIGHT FIXTURE MODEL NUMBERS, FINISH COLORS AND ELECTRICAL REQUIREMENTS BEFORE ORDERING AND INSTALLATION.
5.	CONTRACTOR TO VERIFY IF ANY LOW VOLTAGE LIGHT FIXTURES REQUIRE STEP-DOWN TRANSFORMERS, QUANTITY AND LOCATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. PROVIDE ALL TRANSFORMERS AND INCLUDE IN BID.
6.	ALL FIXTURES TO HAVE U.L. CERTIFICATION.
7.	ALL EXISTING AND NEW LUMINAIRES SHALL COMPLY WITH SECTION 4.10.130(G) DISCONNECTING MEANS OF THE NEC.
8.	CONTRACTOR TO PROVIDE LUMINAIRES TO CONFORM TO ENERGY CODE, THERMAL ENVELOPE RATINGS.

ENERGY COMPLIANCE NOTE	
1.	AN AUTOMATIC TIME CLOCK SHALL BE THE MEANS OF LIGHTING SHUTOFF PER FBC ENERGY CONSERVATION SECTION FOR ALL AREAS WHERE OCCUPANCY SENSORS ARE NOT USED, AND IT SHALL CONTAIN AN ASTRONOMICAL TIMECLOCK TO SHUT THE TENANT SPACE DOWN AT A SCHEDULED TIME OF DAY.
2.	ALL LIGHT CIRCUITS THAT ARE NOT WIRED THROUGH THE ASTRONOMICAL TIME CLOCK SHALL BE CONTROLLED BY OCCUPANCY SENSORS WHICH MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE.
3.	RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER AS SPECIFIED IN FLORIDA BUILDING CODE ENERGY CONSERVATION SECTION.



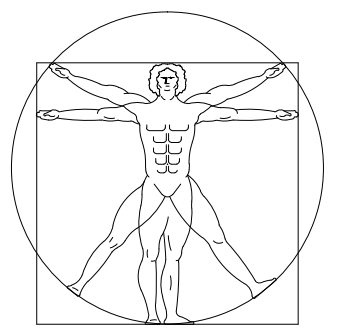
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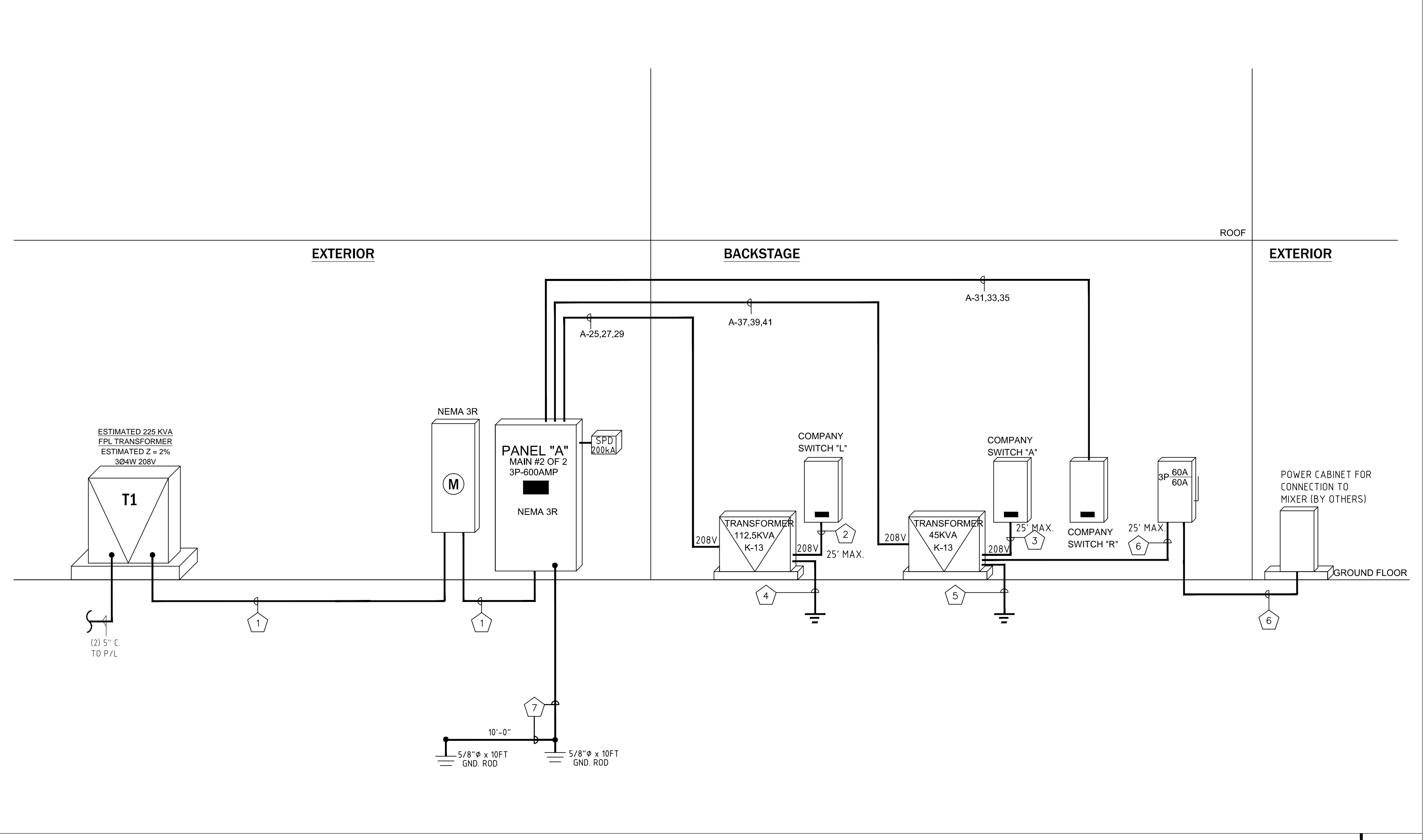
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**ELECTRICAL SERVICE & PANEL NOTES**

- ALL ELECTRICAL SERVICE EQUIPMENT SHALL HAVE MIN A.I.C. RATING OF 22,000 AMPS. ALL EQUIPMENT LOCATED ON EXTERIOR OF BUILDING SHALL BE NEMA-3R RATED.
- ALL ELECTRICAL EQUIPMENT AND WIRE SHALL BE RATED @ 75°C CONTINUOUS DUTY.
- PRIOR TO CONSTRUCTION, THE ELECTRICAL CONTRACTOR SHALL:
  - VERIFY ALL EXISTING CONDITIONS IN FIELD
  - COORDINATE THE ELECTRICAL SERVICE WITH FP&L REPRESENTATIVE
  - NOTIFY THE ENGINEER OF ANY CHANGES REQUIRED TO COMPLETE NEW CONSTRUCTION.
- ALL ELECTRICAL EQUIPMENT SHALL BE FIELD MARKED TO WARN OF POTENTIAL ELECTRICAL ARC FLASH HAZARDS. THE MARKING SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE BEFORE ANY EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE OF THE EQUIPMENT.
- EACH DISCONNECT SHALL BE LEGIBLY MARKED TO INDICATE THE UNIT IT IS FEEDING. THE MARKING SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.

**ALUMINUM NOTES(OWNER/CONTRACTOR BID OPTION)**

- ALL EQUIPMENT USED WITH ALUMINUM CONDUCTORS MUST BE LISTED FOR THE PURPOSE.
- ALL ALUMINUM CONDUCTORS SHALL BE TERMINATED WITH HARDWARE AND COMPRESSION LUGS APPROVED FOR THE PURPOSE.
- ALL COMPRESSION LUGS SHALL BE CHECKED 3, 6, & 11 MONTHS AFTER C.D. AND EVERY THREE YEARS THEREAFTER. BUILDING OWNER SHALL HAVE A MAINTENANCE CONTRACT WITH ELECTRICAL CONTRACTOR OF CHOICE. CONTRACTOR SHALL DOCUMENT ALL MEASUREMENTS AND VERIFICATION IN TABULAR FORM. PROVIDE CORRECTIVE RECOMMENDATIONS, ACTIONS TAKEN, AND TESTING EQUIPMENT UTILIZED.
- THE ELECTRICAL CONTRACTOR MUST TORQUE ALL ALUMINUM TERMINATIONS IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- PRIOR TO TERMINATING ALUMINUM CONDUCTORS, THE CONTRACTOR MUST CLEAN WIRE THOROUGHLY WITH WIRE BRUSH AND APPLY AN ANTI-OXIDANT COMPOUND.
- ALL BRANCH CIRCUITS FROM PANELS MUST BE COPPER.
- ALL GROUNDING SHALL BE COPPER.
- UL LISTED LUGS SHALL BE RATED FOR 90°C WHERE ALUMINUM WIRE IS USED.
- THE ELECTRICAL CONTRACTOR SHALL PERFORM MEGGER TEST ON ALL ALUMINUM FEEDERS AND PROVIDE RESULTS TO ENGINEER.
- PIN CONNECTORS ARE NOT ACCEPTABLE FOR USE.
- ALL ALUMINUM FEEDERS SHALL BE ALUMA FLEX COMPACT STRANDED THWN-2.



RISE  
NO.1

**PROPOSED ELECTRICAL RISER DIAGRAM**

NOT TO SCALE

MFG. SQUARE 'D' OR EQUAL		TYPE		I-LINE		PANEL RATING		AMPS										
VOLTS 120/208V 3Ø4W		"A"		"A"		600												
A	B	C	LOAD	COND.	WIRE SIZE	GND	AMPS	CKT.	BUS	CKT.	AMPS	GND	WIRE SIZE	COND.	LOAD	A	B	C
0.5	0.8		LIGHTING - GREEN ROOMS	1/2"	#12	#12	20	1		2	20	#12	#12	1/2"	RECEPT - GREEN RM	0.6		
			LIGHTING - STAGE	1/2"	#12	#12	20	3		4	20	#12	#12	1/2"	RECEPT - GREEN RM		0.6	
			LIGHTING - BACKSTAGE	1/2"	#12	#12	20	5		6	20	#12	#12	1/2"	RECEPT - BACKSTAGE RM			0.6
0.6	0.4		LIGHTING - EXTERIOR	1/2"	#12	#12	20	7		8	20				SPARE			
			LIGHTING - RESTROOM LTS	1"	#8	#8	20	9		10	20				SPARE			
	1.8		INSTAHOT	3/4"	#10	#10	25	11		12	20				SPARE			
1.8			INSTAHOT	3/4"	#10	#10	25	13		14	20				SPARE			
			SPACE					15		16					SPACE			
			SPACE					17		18					SPACE			
			SPACE					19		20					SPACE			
			SPACE					21		22					SPACE			
			SPACE					23		24					SPACE			
19.2			TRANSFORMER	2-1/2"	#3	#6	200	26		28	100				SPARE			
			COMPANY SWITCH (LTG)					27		28								
			SPACE					29		30	3							
9.6			COMPANY SWITCH	1-1/4"	#3	#8	100	31		32	100				SPARE			
			SPACE					33		34								
			SPACE					35		36	3							
9.6			TRANSFORMER	1-1/4"	#3	#8	100	37		38	3				SPD			
			COMPANY SWITCH (AUDIO)					39		40								
			SPACE					41		42	3							

**REMARKS & KEY NOTES:**

- 3P-60AMP M.C.B. ELECTRICAL CONTRACTOR SHALL PROVIDE AN ACCURATE PER FIELD CONDITIONS, TYPED UP PANEL SCHEDULE UPON COMPLETION OF THE PROJECT.
- VERIFY ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PRIOR TO CONSTRUCTION. ALL EQUIPMENT'S ELECTRICAL REQUIREMENTS SHALL BE CONFIRMED WITH MFG SPECS. VERIFY VOLTAGE, AMPERAGE, AND BREAKER SIZES.
- PER MANUFACTURER RECOMMENDATIONS

\*SEE RISER DIAGRAM FOR INFO

MOUNT SURFACE MIN. A.I.C. 22,000 AMPS

**FEEDER SIZE KEY NOTES**

- 7 SETS OF 4#350MCM THWN CU IN 3" CONDUIT BASED ON 150 FEET DISTANCE - 2% MAX VOLTAGE DROP CONTRACTOR TO VERIFY DISTANCE IN FIELD AND UPGRADE FEEDER IF REQUIRED.
- 3#3/0 PH, 2#3/0 NU, 1#2 EG, THWN CU IN 2-1/2" CONDUIT
- 3#3 PH, 2#3 NU, 1#6 EG, THWN CU IN 1-1/2" CONDUIT
- 1# 1/0 CU GROUNDING CONDUCTOR IN 3/4" SCHEDULE 40 PVC CONDUIT TO NEAREST EFFECTIVELY GROUNDED BUILDING STRUCTURAL STEEL MEMBER.
- 1# 6 CU GROUNDING CONDUCTOR IN 3/4" SCHEDULE 40 PVC CONDUIT TO NEAREST EFFECTIVELY GROUNDED BUILDING STRUCTURAL STEEL MEMBER.
- 4#4, 1# 6 GND THWN CU IN 2" CONDUIT BASED ON 120 FEET DISTANCE - 2% MAX VOLTAGE DROP CONTRACTOR TO VERIFY DISTANCE IN FIELD AND UPGRADE FEEDER IF REQUIRED.
- 1#2/0 CU GND.

Calculation of Fault Current

Fault SCA Source = TA Primary Infinite  
SCA Available = Infinite  
Length Units = Feet  
Motor Load = None  
Motor SCA = None  
Motor SCA Treatment = Motor SCA Not Included

System Voltage = 208  
System Phase = 3 Phase  
Transformers

Name	PH	Size	Pri/V	Sec/V	%Z	SCA,3PH
TA	3-PH	225	208	2	31,228	

S/F

Name	Cond	Cable Size	Qty	Feet	SCA,3PH
S/V5	PVC, ABS	3/c, CU 350	2	156	17,211

Source: EDR, Electrical Designer's Reference  
Software Version: 8.2 (Build 2012). Based on the 2011 NEC.

AC Calculation for Wire Length

Voltage: 208  
Load: 500 Amperes  
Load Circuit: 3-PH, 4-W, Wye  
Power Factor: 0.9  
Insulation Temp: 75°C/167°F  
Conductor: Copper  
Conductors per Phase: 2  
Conduit: PVC/ABS  
Voltage Drop: 2 %  
Conductor Gauge: 350

Results:

Cable Length: 185.56 Feet

Source: EDR, Electrical Designer's Reference  
Software Version: 8.2 (Build 2012). Based on the 2011 NEC.  
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ELECTRICAL  
RISER DIAGRAM

**E3.1**

X:\2016 Projects\REG\61682\_Royal Palm Beach Commons Amphitheatre\MEP\Commons Park\16-07-26\_CTY\16028\_E1.1.dwg 8/22/2016 1:01:40 PM C:\Users\DWG to PDF.pc

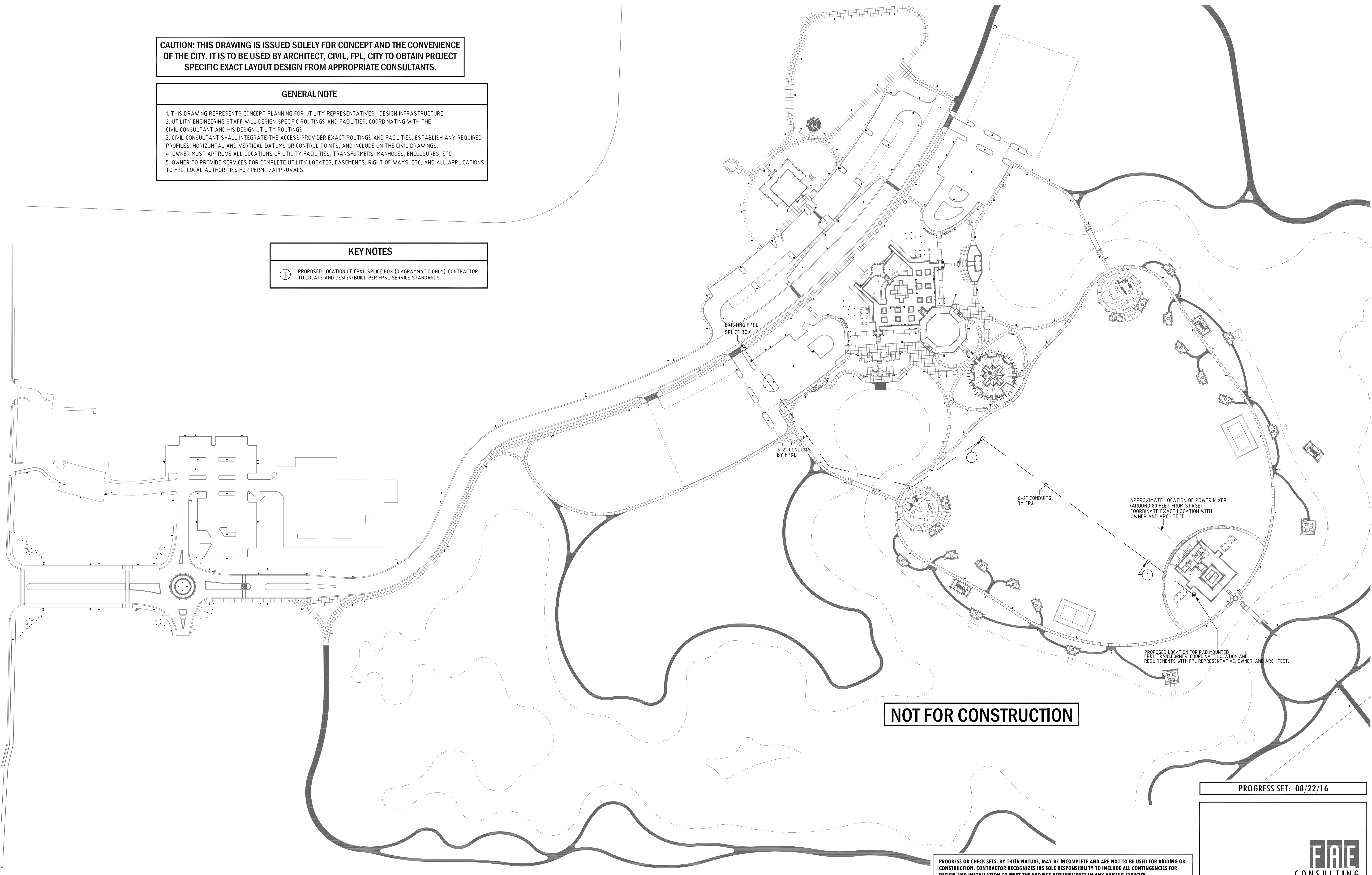
**CAUTION: THIS DRAWING IS ISSUED SOLELY FOR CONCEPT AND THE CONVENIENCE OF THE CITY. IT IS TO BE USED BY ARCHITECT, CIVIL, FPL, CITY TO OBTAIN PROJECT SPECIFIC EXACT LAYOUT DESIGN FROM APPROPRIATE CONSULTANTS.**

**GENERAL NOTE**

1. THIS DRAWING REPRESENTS CONCEPT PLANNING FOR UTILITY REPRESENTATIVES, DESIGN INFRASTRUCTURE.
2. UTILITY ENGINEERING STAFF WILL DESIGN SPECIFIC ROUTINGS AND FACILITIES, COORDINATING WITH THE CIVIL CONSULTANT AND HIS DESIGN UTILITY ROUTINGS.
3. CIVIL CONSULTANT SHALL INTEGRATE THE ACCESS PROVIDER EXACT ROUTINGS AND FACILITIES, ESTABLISH ANY REQUIRED PROFILES, HORIZONTAL AND VERTICAL DATUMS OR CONTROL POINTS, AND INCLUDE ON THE CIVIL DRAWINGS.
4. OWNER MUST APPROVE ALL LOCATIONS OF UTILITY FACILITIES, TRANSFORMERS, MANHOLES, ENCLOSURES, ETC.
5. OWNER TO PROVIDE SERVICES FOR COMPLETE UTILITY LOCATES, EASEMENTS, RIGHT OF WAYS, ETC, AND ALL APPLICATIONS TO FPL, LOCAL AUTHORITIES FOR PERMIT/APPROVALS.

**KEY NOTES**

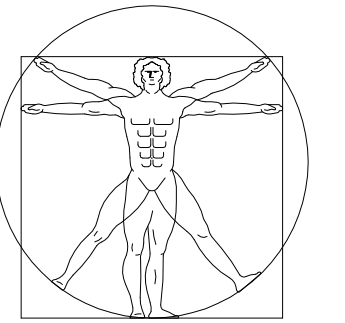
1. PROPOSED LOCATION OF F&P SPLICE BOX (DIAGRAMMATIC ONLY). CONTRACTOR TO LOCATE AND DESIGN/BUILD PER F&P SERVICE STANDARDS.



**NOT FOR CONSTRUCTION**

**ELECTRICAL SITE PLAN**  
 1" = 100'-0"  
 N

**REG**  
 ARCHITECTS  
 INTERIORS  
 PLANNERS  
 INCORPORATED



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**ELECTRICAL  
 SITE PLAN**

**ES1.1**

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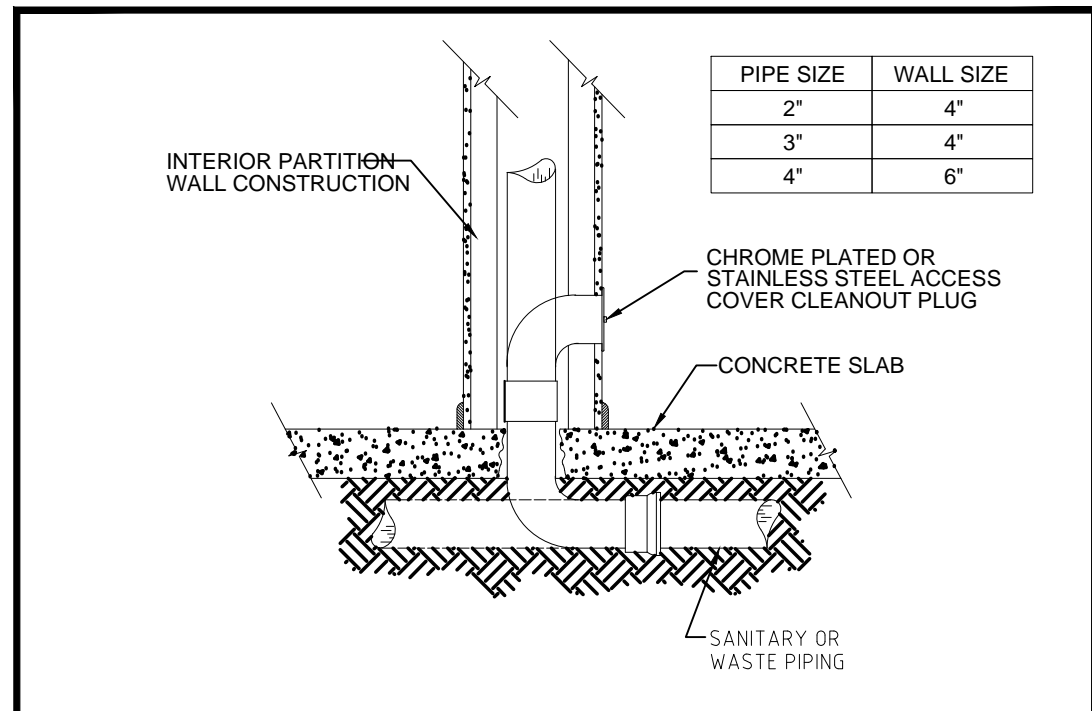
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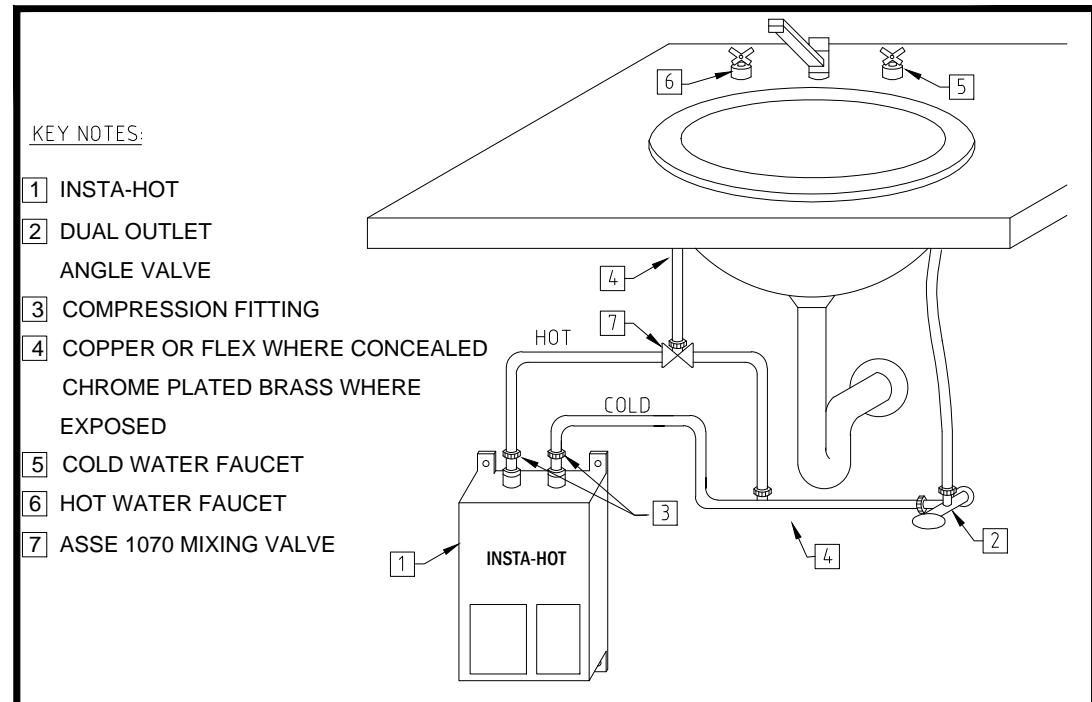
CONTRACTOR GENERAL CONDITIONS NOTES	
1.	RFIS: CONTRACTOR SHALL SUBMIT RFIS WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
2.	SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
3.	SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
4.	LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS, PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION, SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
5.	DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.
6.	SUBSTITUTIONS:  A. CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.  B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.  C. PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME.  D. PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPTION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.  E. CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR.
7.	AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
8.	INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS, DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

SCOPE OF WORK	
THIS PROJECT IS RENOVATION OF EXISTING AMPHITHEATER FOR TWO NEW SINKS. PLUMBING WORK INCLUDES SANITARY AND WATER DESIGN.	

PLUMBING SPECIFICATIONS	
ALL WORK TO BE DONE IN ACCORDANCE WITH THE DISTRICT MASTER SPECIFICATIONS (DMS) AND THE FLORIDA BUILDING CODE 2014, FIFTH EDITION OF THE PLUMBING SECTION, AND TO COMPLY WITH ALL LOCAL RULES AND ORDINANCES.	
1.	ALL WORKMANSHIP & MATERIALS TO BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
2.	CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
3.	ALL MATERIALS TO BE NEW.
4.	ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORK MAN LIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
5.	ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
6.	REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
7.	CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
8.	EXISTING PIPE SIZES TO BE VERIFIED BY THE PLUMBER AND UPGRADED IF NOT LARGE ENOUGH TO ACCOMMODATE LOAD.
9.	ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
10.	THE CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
11.	DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
12.	DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
13.	VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE CONTRACTOR.
14.	INSTALL SIOUX CHIEF 650 SERIES WATER HAMMER ARRESTORS IN PIPING TO QUICK-CLOSING VALVES AS DEFINED IN FLORIDA PLUMBING CODE.
15.	PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
16.	ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
17.	CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO EQUIPMENT AND ACCESSORIES ARE MADE.
18.	SANITARY PIPE 2 1/2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 3" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
19.	WHERE SOIL CONDITIONS REQUIRE THE USE OF PIER OR PILING SUPPORTED GRADE BEAM CONSTRUCTION OR IN FILLED GROUND WHERE THE SOIL COMPACTION IS LESS THAN 95% THE SANITARY PIPING TO BE INSTALLED BY TRENCHING INTO THE FILL AND THEN PUTTING HANGERS WITH SUPPORT RODS ON THE PIPES AS THEY ARE INSTALLED. THE HANGER RODS EXTENDING UPWARD TO BE EMBEDDED IN AND ANCHORED IN THE CONCRETE PER ASTM F2536-06B AND UNDERGROUND PIPE TO CONFORM TO ASTM STANDARD D2665.
20.	DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT.
21.	WATER PIPING TO BE TYPE "L" COPPER ABOVE AND TYPE "K" COPPER BELOW GRADE.
22.	SOIL, WASTE, VENT AND STORM PIPING TO BE PVC SCHEDULE #40 DWV CONFORMING TO ASTM D2665 FOR UNDERGROUND AND AS PER FLORIDA BUILDING CODE PLUMBING 2014 TABLE 702.2 & 702.3. CAST IRON SHALL BE USED IN COMMON PLENUM AREAS.
23.	RAINWATER/STORMWATER TO BE SCHEDULE #40 DWV, INSULATE WITH ARMAFLEX INSULATION WHEN IN COMMON PLENUM.
24.	HOT WATER, TEMPERED WATER AND HOT WATER RETURN PIPES TO BE INSULATED WITH ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER 2014 FBC PLUMBING 607.2.1.
25.	THE DISCHARGE WATER TEMPERATURE FROM LAVATORIES, BIDETS & GROUP WASH FIXTURES LOCATED IN PUBLIC TOILET FACILITIES PROVIDED FOR CUSTOMERS, PATRONS AND VISITORS SHALL BE LIMITED TO A MAXIMUM TEMPERATURE OF 110°F (43°C) BY A WATER TEMPERATURE LIMITING DEVICE CONFORMING TO ASSE 1070 OR CSA B125.3.
26.	WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
27.	ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/OR FLOORS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLY. (EQUAL TO WALL FIRE RATINGS - SEE ARCHITECTURAL DRAWINGS).
28.	HOT WATER EXPANSION LOOPS SHALL BE INSTALLED AS REQUIRED TO PARTLY ABSORB TENSION OR COMPRESSION PRODUCED DURING ANTICIPATED CHANGE IN TEMPERATURE. INSTALL EXPANSION JOINTS OF SIZES OF PIPING IN WHICH THEY ARE INSTALLED. INSTALL ALIGNMENT GUIDES TO GUIDE EXPANSION AND TO AVOID LOADING STRESS.
29.	NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
30.	WHERE CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.
31.	CONDENSATE LINES TO BE COPPER/PVC DEPENDING ON PROJECT REQUIREMENTS. INSULATE WITH ARMAFLEX INSULATION
32.	FLUSH OUT EXISTING WATER PIPING, STERILIZE THE NEW WATER PIPING LINES BY INTRODUCING IN THEM A SOLUTION OF CALCIUM HYPOCHLORITE OR CHLORIDE OF LIME. OPEN AND CLOSE ALL NEW VALVES WHILE SYSTEM IS BEING CHLORINATED. AFTER THE STERILIZING AGENT HAS BEEN APPLIED FOR 24 HOURS, TEST FOR RESIDUAL CHLORINE AT THE ENDS OF LINES. IF LESS THAN 10 PARTS PER MILLION IS INDICATED, REPEAT THE PROCESS. WHEN TESTS SHOW AT LEAST 10 PARTS PER MILLION OF RESIDUAL CHLORINE, FLUSH OUT THE SYSTEM UNTIL ALL TRACES OF THE CHEMICAL USED ARE REMOVED. MAKE NECESSARY CONNECTIONS TO STERILIZE PIPING.
33.	AFTER STERILIZATION HAS BEEN ACCOMPLISHED INITIATE A BACTERIOLOGICAL TEST PERFORMED BY AN APPROVED TESTING LABORATORY. WATER SHALL BE DRAWN FROM THE SYSTEM AT A POINT FURTHEST FROM THE WATER ENTRANCE TO THE BUILDING. A CERTIFIED TEST REPORT OF THESE TESTS RESULTS INDICATING SATISFACTORY COLIFORM COUNT, COLOR AND CHLORINE RESIDUAL SHALL BE PRESENTED TO THE ARCHITECT AND OWNER WHEN THE WATER SUPPLY PIPING SYSTEM IS SUBSTANTIALLY COMPLETED DURING CONSTRUCTION. ANOTHER SIMILAR TEST SHALL BE PERFORMED AT THE TIME OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY WITH ANOTHER CERTIFIED TEST REPORT PRESENTED TO THE ARCHITECT AND OWNER AT THAT TIME.
34.	FEDERAL LAW MANDATES AS OF JANUARY 4, 2014 THE WETTED SURFACE OF EVERY PIPE, FIXTURE AND FITTING INSTALLED IN POTABLE WATER APPLICATIONS SHALL NOT CONTAIN MORE THAN 0.25% LEAD BY WEIGHT. SOLDER AND FLUX SHALL NOT CONTAIN MORE THAN 0.2% LEAD. NON-COMPLIANCE MAY RESULT IN FINES, INSTALLED PRODUCT REMOVAL COSTS, LAWSUITS BY PRIVATE PARTIES OR GOVERNMENT AGENCY.
35.	CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
36.	CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
37.	CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.

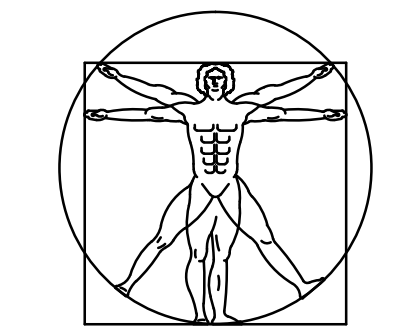
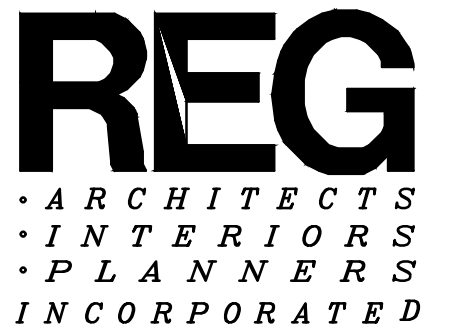


DETAIL NO. 1	WALL CLEAN-OUT	NOT TO SCALE
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DETAIL NO. 2	INSTA-HOT	NOT TO SCALE
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PLUMBING SHEET INDEX	
SHEET#	DESCRIPTION
P0.1	PLUMBING NOTES, DETAILS, & SPECS.
P1.1	RESTROOM PLUMBING PLAN & RISER DIAGRAMS



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DATE 06-30-16

SCALE AS NOTED

DRAWN RB/FR/JS

CHECKED DA/SR

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AMPHITHEATRE  
 SCHEDULES & SPECS.

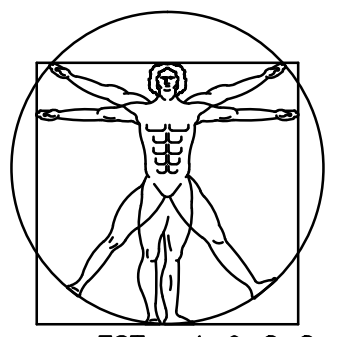
P0.1

PROGRESS SET: 08/22/16

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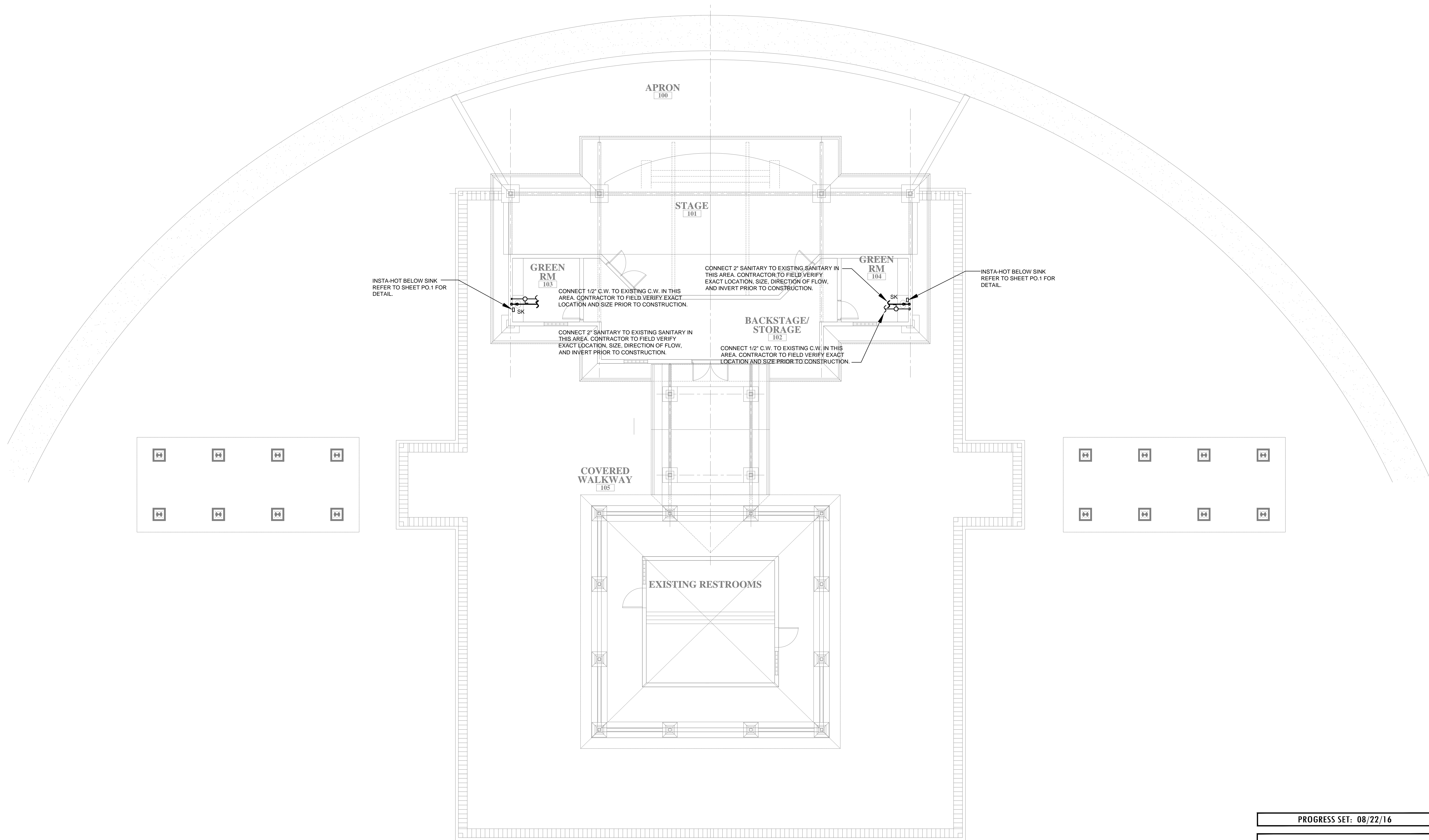
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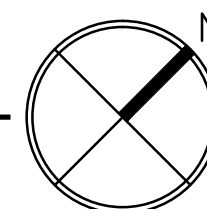
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AMPHITHEATRE  
PLUMBING PLAN

P1.1

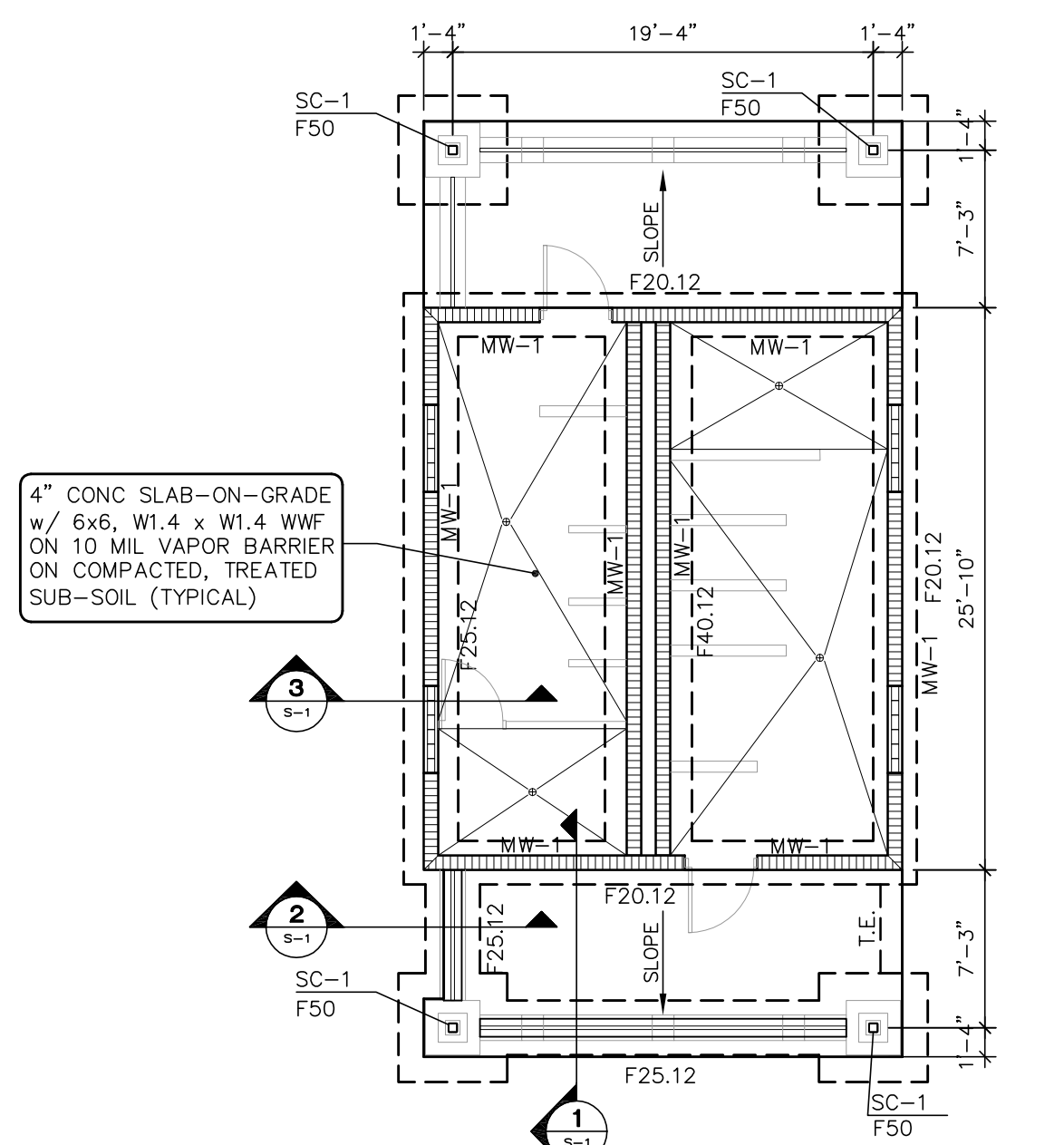


1 AMPHITHEATRE PLUMBING PLAN  
1/8" = 1'-0"



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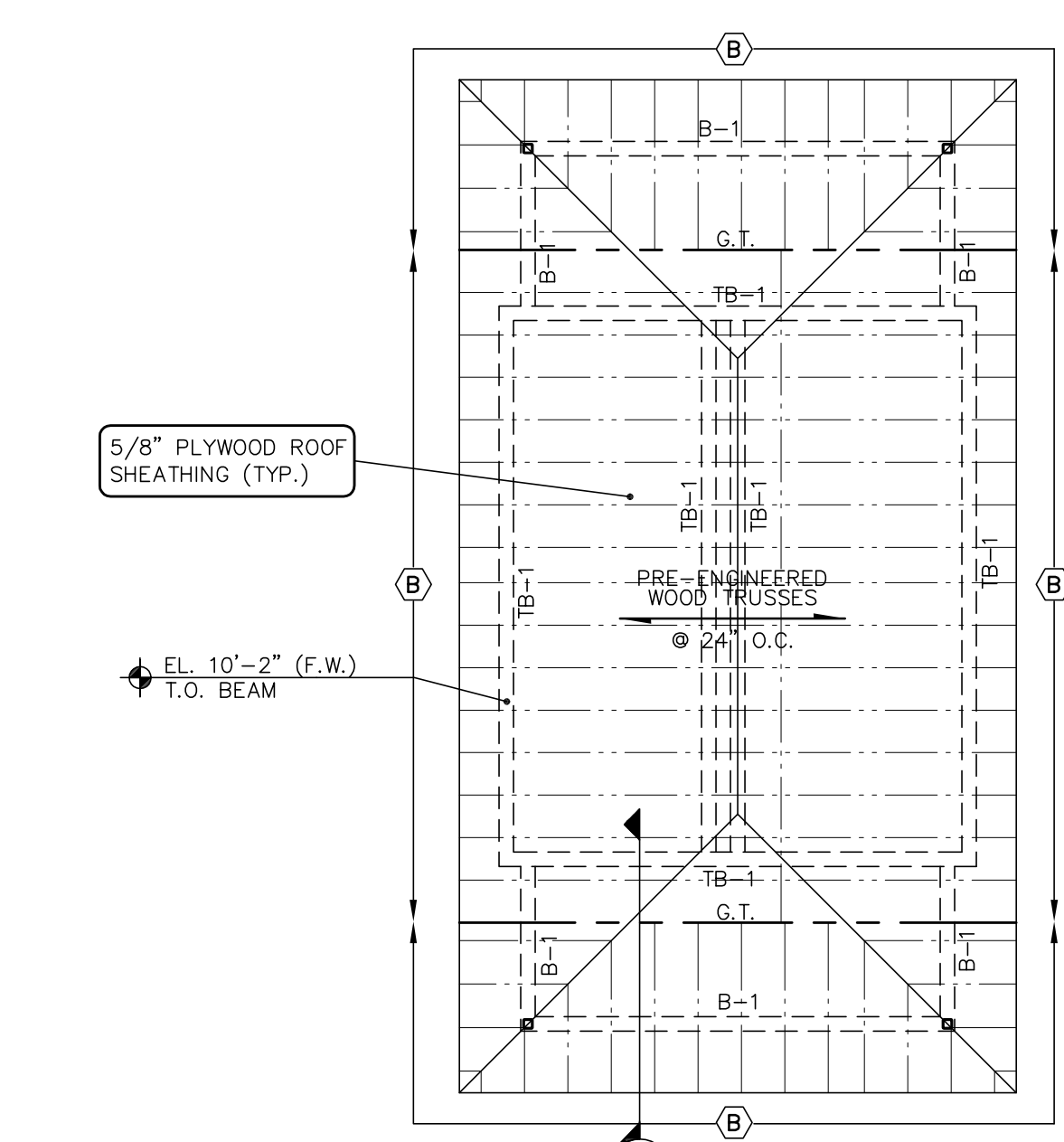


**RESTROOM FOUNDATION PLAN**  
1/8"=1'-0"

- FOUNDATION NOTES:**
- MW-1 MASONRY WALLS SHALL BE 8" CMU w/ #5 @ 48" o.c. U.N.O.
  - DENOTES ADDITIONAL #5 VERTICAL BAR.
  - PROVIDE #5 VERTICAL @ ALL JAMBS, CORNERS AND WALL INTERSECTIONS.
  - TOP OF ALL FOOTINGS SHALL BE 1'-4" BELOW TOP OF SLAB.

**MASONRY WALL NOTES:**

- WALL SEGMENTS SHALL BE REINFORCED WITH 9 GA. GALVANIZED LATERAL REINFORCING @ 16" O.C. HORIZ. EXTEND REINFORCING 6" INTO POURED ELEMENTS AND AROUND ENCASED STEEL.
- ADJACENT TO ANY EXTERIOR/INTERIOR WALL OPENING, PLACE (1) MATCHING VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT.
- ALL MASONRY REINFORCED CELLS SHALL BE FILLED WITH 3000 PSI GROUT MIX.
- AT END, CORNERS, AND INTERSECTION OF WALLS PLACE (1) MATCHING VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT.



**RESTROOM ROOF FRAMING PLAN**  
1/8"=1'-0"

**BEAM SCHEDULE**

B-1 8"x10" w/ (4)#5 w/ #3 STIRRUPS @ 4" o.c.

**FOOTING SCHEDULE**

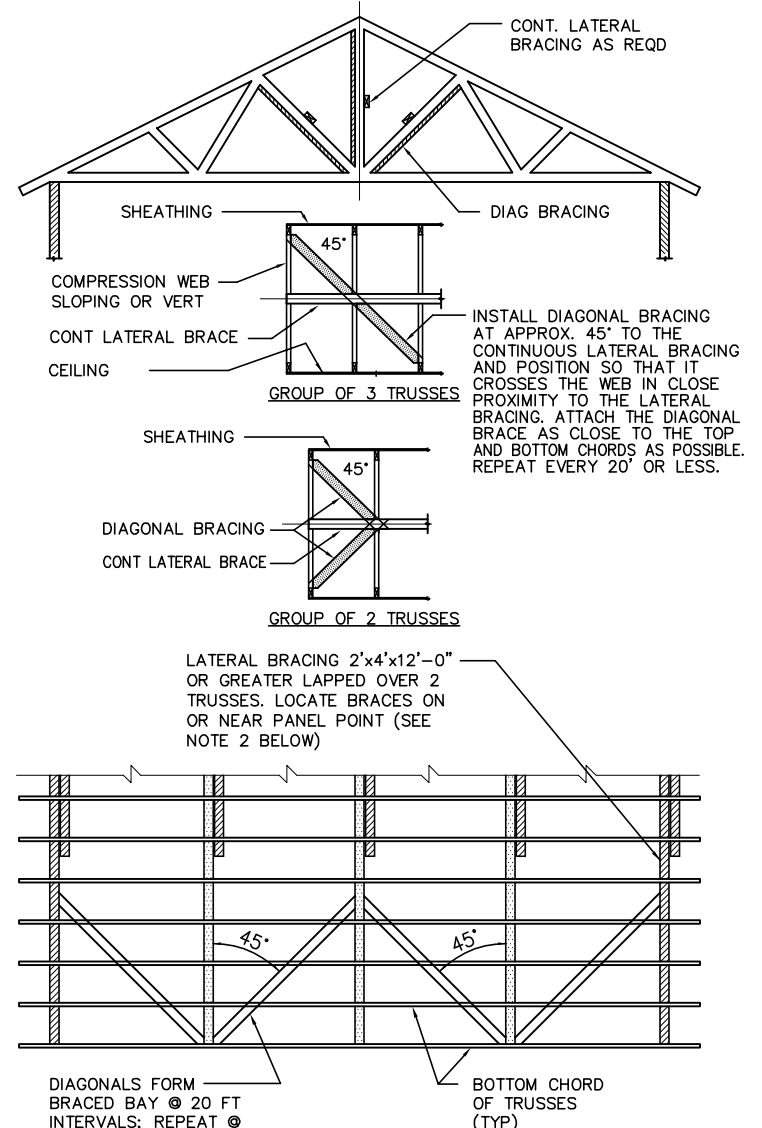
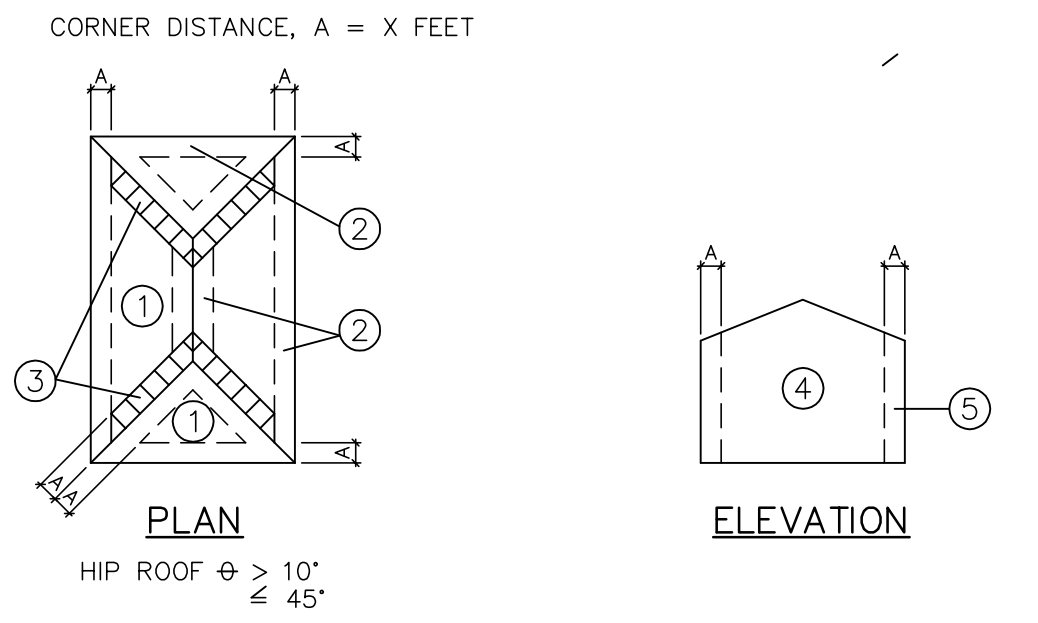
F20.12 2'-0" x 12" x CONT. W/ (2) #5 CONT. BOT. (1) #5 CONT. TOP  
 F25.12 2'-6" x 12" x CONT. W/ (5) #5 CONT. (1) TOP & (4) BOTTOM  
 F40.12 4'-0" x 12" x CONT.  
 F50 5'-0" x 5'-0" x 12" W/ (5) #5 TOP & BOTTOM EACH WAY

**COLUMN SCHEDULE**

SC-1 HSS 3 1/2" x 3 1/2" x 1/4" w/ 3/4"x10"x0'-10" BASE PLATE w/ (4) 3/4" ANCHOR BOLTS

**PLYWOOD SHEATHING NAILING SCHEDULE (WALLS AND ROOF)**

NAIL SIZE	NAIL SPACING	ZONE
8d RING SHANK	4" @ EDGES, 6" @ INTERMEDIATE SUPPORTS	ROOF ③
8d RING SHANK	6" @ EDGES, 6" @ INTERMEDIATE SUPPORTS	ROOF ① ②
8d RING SHANK	4" @ EDGES, 8" @ INTERMEDIATE SUPPORTS	WALL ⑤
8d RING SHANK	6" @ EDGES, 12" @ INTERMEDIATE SUPPORTS	WALL ④



- WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE "TRUSS PLATE INSTITUTE" AND BCSI: GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES. BRACING TO BE INSTALLED IN THE PLAN OF THE WEB MEMBERS.
  - THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
  - LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.
  - A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.
- THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" O.C. WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES. OR IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES BRACING SHALL BE MIN. 2 x 4 @ 36" O.C. NAILED TO THE TOP OF THE BOTTOM CHORD. SECURE BRACING TO BOTTOM CHORD W/ (2) 10d x 3" NAILS IF USING 2x4'S AND (3) 10d x 3" NAILS IF USING 2x6'S (TYP.). DIAGONALS PLACED AT 45° TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END AND AT 20 FOOT INTERVALS IF BUILDING EXCEEDS 60 FEET IN LENGTH. DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.
- TOP CHORD BRACING:
  - IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPHRAGM ACTION, BRACING IS NOT REQUIRED.
  - IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 80 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

**WOOD TRUSS BRACING DETAIL**

**ULTIMATE COMPONENT & CLADDING WIND DESIGN PRESSURES**

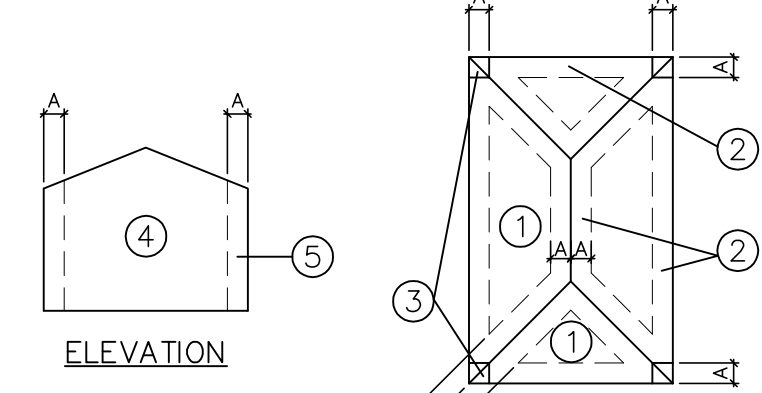
PRESSURES BASED ON V <sub>w</sub>	ROOF WIND LOADS					WALL WIND LOADS	
	(SEE NOTE 1)					(SEE NOTE 1)	
	ROOF AREA (10 SF)					WALL AREA (10 SF)	
Kd IS INCLUDED	1	2	3	4	5		
PRESSURE (PSF)	36.0	36.0	36.0	63.0	63.0		
SUCTION (PSF)	-58.0	-100.0	-100.0	-68.0	-84.0		

- EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH FLORIDA BUILDING CODE 5TH EDITION (2014) BY EITHER BEING DESIGNED FOR IMPACT RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS.
- WIND DESIGN PRESSURES NOTED MAY BE MULTIPLIED BY (.6) FOR COMPARISON TO ALLOWABLE (NOMINAL) WIND PRESSURES OF TESTED ASSEMBLIES. PER SECTION 1609.1.5 OF FBC 5TH EDITION (2014).
- REFER TO STRUCTURAL NOTES FOR ALL WIND LOAD PARAMETERS.
- CORNER DISTANCE, A = 3 FEET

**ALLOWABLE COMPONENT & CLADDING WIND DESIGN PRESSURES**

PRESSURES BASED ON V <sub>w</sub>	ROOF WIND LOADS					WALL WIND LOADS	
	(SEE NOTE 1)					(SEE NOTE 1)	
	ROOF AREA (10 SF)					WALL AREA (10 SF)	
Kd IS INCLUDED	1	2	3	4	5		
PRESSURE (PSF)	22	22	22	38.0	38.0		
SUCTION (PSF)	-35.0	-60.0	-60.0	-41.0	-51.0		

- EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH FLORIDA BUILDING CODE 5TH EDITION (2014) BY EITHER BEING DESIGNED FOR IMPACT RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS.
- REFER TO STRUCTURAL NOTES FOR ALL WIND LOAD PARAMETERS.
- CORNER DISTANCE, A = 3 FEET

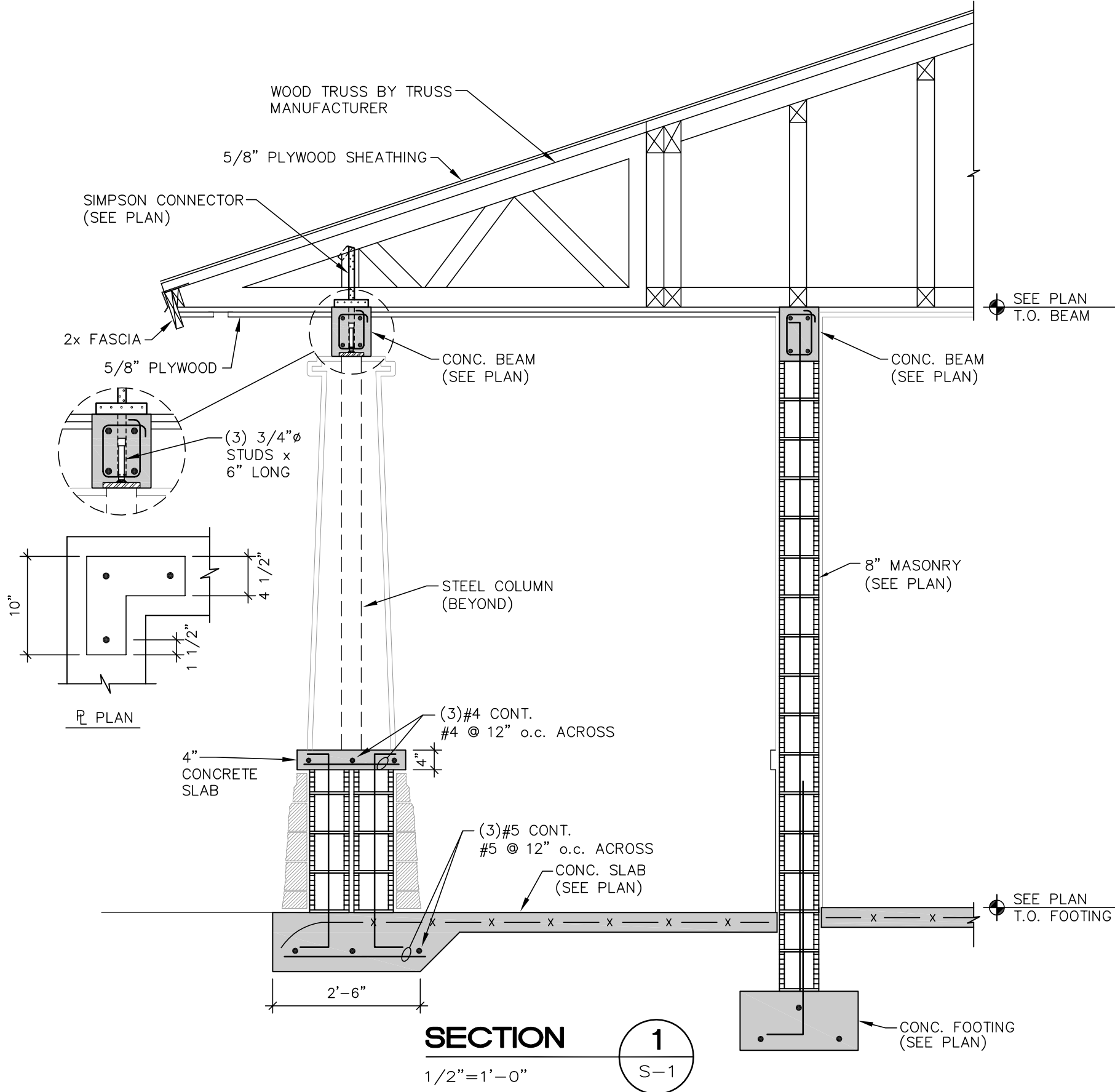


PROVIDE ANCHOR STRAP FROM TABLE BELOW AT EACH BEARING POINT FOR EACH WOOD TRUSS AND EACH GIRDER TRUSS ADEQUATE TO RESIST UPLIFT AS SPECIFIED BY THE WOOD TRUSS MANUFACTURER.

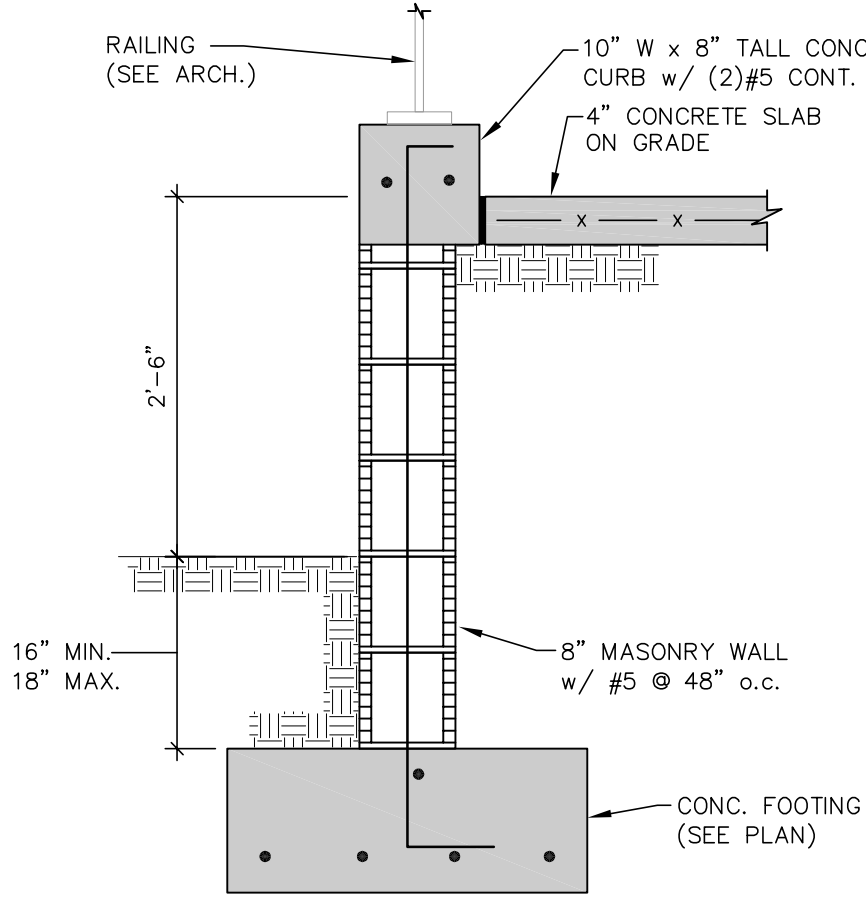
**TRUSS TIE DOWN SCHEDULE**

MARK	MANUF. & MODEL NO.	STRUCTURAL COMPONENT	PRODUCT APPROVAL	NAIS TO COMPONENT	NAIS TO SEAT	BOLTS	ALLOWABLE UPLIFT	LATERAL LOAD PERPENDICULAR TO WALL	LATERAL LOAD PARALLEL TO WALL
(A)	SIMPSON METAL 12	TRUSS/MASONRY OR CONCRETE	FL11473.5	7-10d x 1 1/2"	-	-	1265 # (*)	415 #	1100 #
(B)	SIMPSON METAL 16	TRUSS/MASONRY OR CONCRETE	FL11473.5	14-10d x 1 1/2"	5-10d x 1 1/2"	-	1810 # (*)	415 #	1100 #
(C)	SIMPSON MGT	GIRDER/TRUSS/MASONRY OR CONG.	FL11470.7	22-10d	NOTE 5	5/8"	3965 # (**)	-	-
(D)	-	-	-	-	-	-	-	-	-
(E)	SIMPSON MTS 12	TRUSS/MASONRY OR CONCRETE	FL11473.9	12-10d@ 1/2"	-	-	2235 # (*)	335 #	730 #
(F)	SIMPSON METAL 20	TRUSS/MASONRY OR CONCRETE	FL10456.18	16-10d	NOTE 5	2-3/4"	10980 # (**)	-	-
(G)	SIMPSON MGT-2	GIRDER/TRUSS/MASONRY OR CONG.	FL10456.18	16-10d	(4) 7/8" x 2 3/4" MIN. EMB.	-	850 #	1100 #	1000 #
(H)	HGAM 10	TRUSS / CMU	FL11470.6	4-SBS 1/4" x 1 1/2" MIN. EMB.	(7) 3/4" x 2 1/4" MIN. EMB.	-	2150 # (**)	-	-
(I)	SIMPSON LGT	-	FL11470.6	16-16d SINKER	(4) 3/4" x 2 1/4" TITEN TO BEAM	-	860 # (*)	235 #	190 #
(M)	SIMPSON MTS 16	-	FL11473.2	7-10d	-	-	1265 # (*)	415 #	1100 #

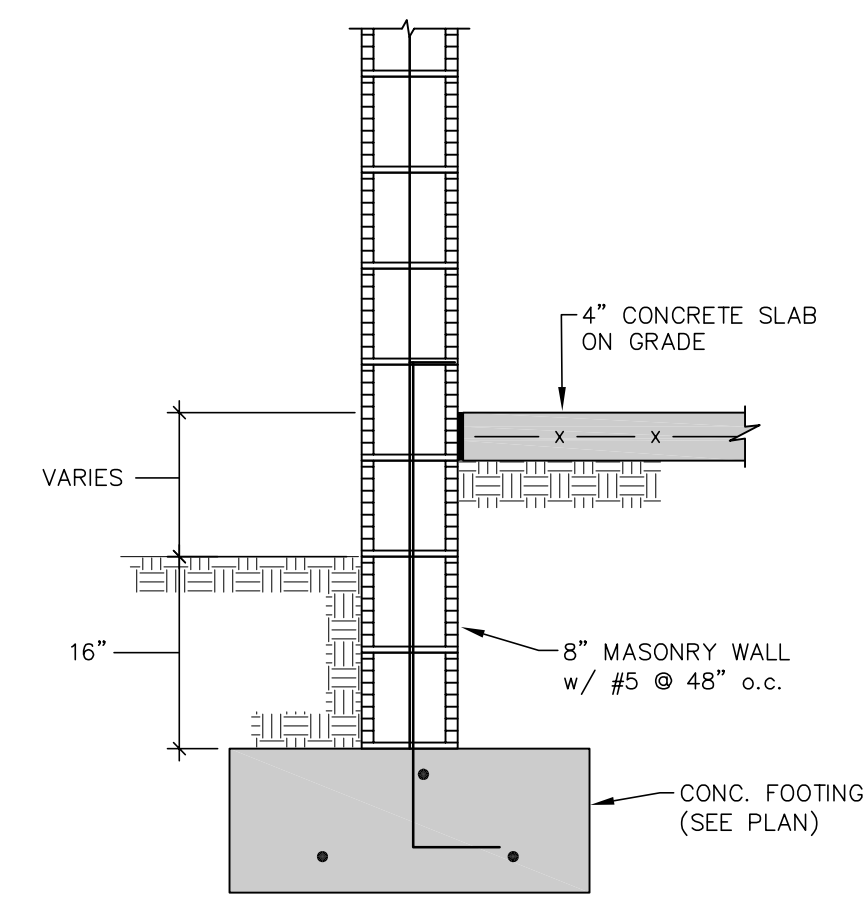
- NOTES:**
- (\*) - ONE PLY MEMBER (\*\*) - TWO PLY (MIN.) MEMBER
  - T.B. - THRU-BOLT
  - U.N.O. - UNLESS NOTED OTHERWISE
  - APPROVED EQUAL OR BETTER TIE DOWNS FOR THE SAME LATERAL & UPLIFT LOADS ARE ACCEPTABLE.
  - USE "ULTRABOND 1" EPOXY W/ 1/2" MIN. EMB.
  - USE "ULTRABOND 1" EPOXY W/ 5/8" MIN. EMB.



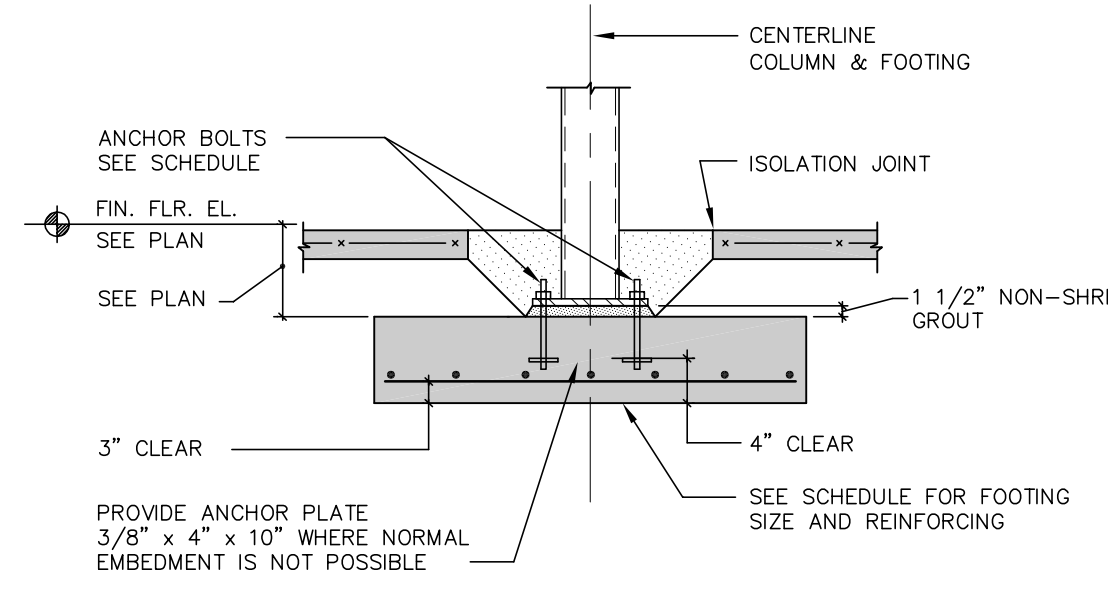
**SECTION 1**  
1/2"=1'-0"



**SECTION 2**  
3/4"=1'-0"



**SECTION 3**  
3/4"=1'-0"



**TYPICAL STEEL COLUMN FOOTING**  
N.T.S.

**NOT FOR CONSTRUCTION**

**DESIGN DEVELOPMENT**  
6/30/16

THESE ARE PROGRESS DRAWINGS, THEREFORE THEY ARE ISSUED PRIOR TO COMPLETION OF THE STRUCTURAL DESIGN, AND OTHER DESIGN DISCIPLINES. INCLUDING BUT NOT LIMITED TO ARCHITECTURAL OR MECHANICAL DESIGN, AND AS SUCH, ARE INCOMPLETE BY NATURE FOR THE COMPREHENSIVE SCOPE OF THE PROJECT. ALLOWANCES FOR STRUCTURAL ELEMENTS REQUIRED DUE TO THE COMPLETION AND CROSS-COORDINATION OF ALL OTHER DISCIPLINES SHOULD BE MADE.

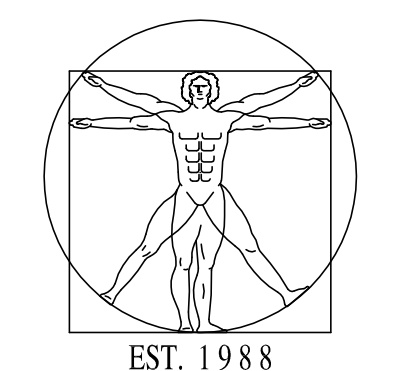
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ROYAL PALM BEACH, FL 33411



**REVISIONS**

NO.	REVISIONS
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4	
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DATE 06-30-16

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**S-1**

Structural Drawing Updated  
Based on Architectural Backgrounds Dated 6-13-16



GENERAL NOTES

- THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS ARE THE LEGAL PROPERTY OF THE ARCHITECT AND ARE INSTRUMENT OF SERVICE NOT TO BE REPRODUCED IN WHOLE OR IN PARTS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE SAME.
- IT IS THE INTENT OF THE ARCHITECT THAT THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER AND IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES, AND REGULATIONS.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- ALL DIMENSIONS SHOWN ARE NOMINAL UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
- SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NO LESS THAN HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
- ALL DESIGN LOADS ARE TO BE AT MINIMUM PER F.B.C. 2014 AND AS OTHERWISE INDICATED IN THE CONTRACT.
- ALL EXTERIOR WINDOWS & DOORS SHALL BE IMPACT RESISTANT.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED, ALL HEADERS ARE DOUBLE MEMBERS UNLESS OTHERWISE NOTED.
- ALL PENETRATIONS THRU ANY RATED ASSEMBLY SHALL BE PROVIDED WITH UL APPROVED PENETRATION RATED MATERIAL.
- HARDWARE, BATHROOM AND LIGHTING FIXTURES, AND OTHER MISCELLANEOUS ITEMS NOT SPECIFICALLY CALLED OUT ON DRAWINGS SHALL BE SELECTED BY OWNER.
- ALL MECHANICAL, PLUMBING AND ELECTRICAL SHALL COMPLY WITH THE F.B.C. 2014 (MECH)/ELECT/PLUMB.
- ALL WORK TO BE TRUE TO LINE, PLUM AND SQUARE AND ADEQUATELY SUPPORTED. FILL ALL VOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET THE ARCHITECT'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY WORKMANSHIP WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WHEN CONFLICTING INFORMATION ARE FOUND IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR DEMOLITION (IF APPLICABLE), CONSTRUCTION, AND OCCUPANCY OF THE PROJECT.
- THE CONTRACTOR SHALL SUBMIT A SCHEDULE FOR DEMOLITION AND CONSTRUCTION PROCEDURES AND OPERATIONAL SEQUENCE FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT/ENGINEER AND OWNER.
- CONTRACTOR IS TO COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THE WORK IS COMPLETED IN A TIMELY MANNER, COMPLYING WITH OWNER/CONTRACTOR AGREEMENT.
- CONTRACTOR SHALL SUBMIT PRODUCT APPROVAL DATA FOR ALL PRODUCTS AND MATERIALS AS REQUIRED BY CODE AND SPECIFIC MUNICIPALITY THE PROJECT IS LOCATED IN.
- CONTRACTOR SHALL SUBMIT, WITHIN 15 DAYS FROM OWNER/CONTRACTOR CONTRACT, A SHOP DRAWING AND SUBMITTAL SCHEDULE FOR ARCHITECT AND OWNER APPROVAL.
- CONTRACTOR SUBMITTALS MUST CONTAIN (3) THREE SETS FOR ARCHITECT/ENGINEER/OWNER RECORDS, PLUS ANY ADDITIONAL SETS REQUIRED FOR PERMITTING AND CONTRACTORS USE. ALL SUBMITTALS MUST BE COMPLETE (NO PARTIAL SUBMITTALS WILL BE RECEIVED). ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTING TO THE ARCHITECT/ENGINEER AND OWNER.
- CONTRACTOR SHALL SUBMIT TO ARCHITECT SIGN & SEAL TRUSS SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
- CONTRACTOR SHALL PROVIDE THE ARCHITECT AND OWNER WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
- ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, APPLICABLE CODES, RULES AND REGULATIONS HAVING JURISDICTION.
- CONTRACTOR SHOULD MAINTAIN THE SITE SAFE AND CLEAR OF DEBRIS. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED FROM THE WORK AREAS DAILY AND FROM THE SITE AT PROPER INTERVALS.
- THE CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION APPROVED BY THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF HIS WORK, INCLUDING BUT NOT LIMITED TO VANDALISM, THEFT, ETC.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF GOODS BEING INSTALLED UNDER THIS CONTRACT, AS WELL AS FOR COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES OR FOR PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT'S CONSTRUCTION.

- THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING BUILDING AND SITE CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCIES BE ENCOUNTERED BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE ARCHITECT/ENGINEER SHOULD BE NOTIFIED IN WRITING 7 DAYS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTARY MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SPECIFIC STANDARDS AND REQUIREMENTS BY CORRESPONDING TESTING AGENCIES ON ASSEMBLIES CALLED OUT IN DRAWINGS & SPECIFICATIONS.
- CONTRACTOR SHALL EMPLOY AND PAY FOR SERVICES OF AN INDEPENDENT, QUALIFIED TESTING LABORATORY TO PERFORM SOIL COMPACTION TEST AS WELL AS COMPRESSIVE STRENGTH TEST IN CONCRETE SAMPLINGS, AS PER ASTM STANDARDS.
- CONTRACTOR SHALL PROVIDE MOCKUP FOR EXTERIOR AND INTERIOR FINISHES AND COLOR SELECTIONS FOR ARCHITECT AND OWNER'S APPROVAL (SEE PROJECT NARRATIVE).
- TO OBTAIN ARCHITECT'S APPROVAL ON APPLICATION FOR PAYMENT, CONTRACTOR SHALL SUBMIT DETAILED SCHEDULE OF VALUES PER TRADE, BROKEN DOWN TO SUFFICIENT LINE ITEMS TO GRANT PAYMENT ON COMPLETED PORTIONS ONLY. NO PAYMENT WILL BE APPROVED ON PARTIALLY COMPLETED LINE ITEMS.
- IN ADDITION TO THE GENERAL NOTES REFERRED TO ABOVE PLEASE REFER TO THE PROJECT'S DESIGN NARRATIVE FURNISHED BY THE CITY OF PALM BEACH GARDENS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

OCCUPANT LOAD CALCULATIONS:		
FIRST FLOOR:		OCCUPANTS:
RESTROOMS	568 SF/ 50G	12
TOTAL		12

BUILDING CODE			
BASED ON FLORIDA BUILDING CODE 2014			
OCCUPANCY:		UTILITY - U	
DESCRIPTION:	REQUIRED:	PROVIDED:	
SPECIAL OCCUPANCY CLASSIFICATIONS:	N/A	N/A	
ALLOWABLE AREA:	5500 SF	550 SF	
AREA MODIFICATIONS:	N/A	N/A	
BUILDING HEIGHT:	40 FT 1-STORY	±15 FT 1-STORY	
OCCUPANCY SEPARATION:	N/A	N/A	
TENANT SEPARATION:	N/A	N/A	
TYPE OF CONSTRUCTION:		TYPE VB	
HOURLY FIRE RATING:		REQUIRED:	PROVIDED:
PRIMARY STRUCTURAL FRAME:	0	0	
BEARING WALLS: EXTERIOR: INTERIOR:	0	0	
FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	0	0	
ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0	0	
MEANS OF EGRESS:		REQUIRED:	PROVIDED:
OCCUPANT LOAD:	(SEE OCCUPANT LOAD CALCULATIONS)		
EGRESS WIDTH:			
STAIRWAYS (0.3" PER OCCUPANT):	N/A	N/A	
OTHER EGRESS COMPONENTS (0.2" PER OCCUPANT):	N/A	N/A	
MIN CLEAR OPENING:	32"	32"	
MIN STAIR WIDTH:	N/A	N/A	
MAX COMMON PATH OF TRAVEL:	100 FT	0 FT	
MAX TRAVEL DISTANCE:	300 FT	24 FT	
MIN CORRIDOR WIDTH:	N/A	N/A	
MAX DEAD END:	20 FT	0 FT	
NUMBER OF EXITS:	1	1	
NOTES:			

AREA CALCULATIONS:	
DESCRIPTION	AREA
EXTERIOR (COVERED)	392 SF
INTERIOR	568 SF
TOTAL	950 SF

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS SET

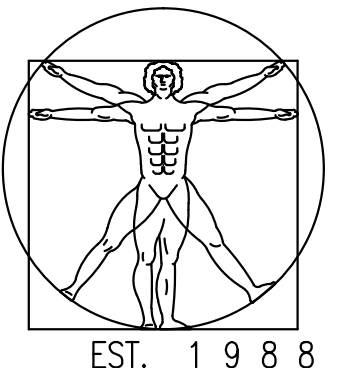
ABV	ABOVE
AC	AIR CONDITIONER
AFB	ABOVE FINISHED FLOOR
AHU	AIR HANDLER UNIT
BLK	BLOCK
BD	BOARD
B.O.	BOTTOM OF
C	CENTRE LINE
CLG	CEILING
CMU	CONCRETE MASONRY UNITS
COL	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DBL	DOUBLE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
DS	DOWNSPOUT
ELEC.	ELECTRICAL
EJ	EXPANSION JOINT
EXT.	EXTERIOR
EXIST.	EXISTING
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FD	FLOOR DRAIN
GA	GAUGE
GALV.	GALVANIZED
GYP	Gypsum
HC	HOLLOW CORE
INS.	INSULATION
INT.	INTERIOR
MAX.	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MO.	MASONRY OPENING
MTL	METAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OH.	OVERHANG
O/C	ON CENTER
OD.	OUTSIDE DIAMETER
P.H.	PAPER HOLDER
P.L.	PROPERTY LINE
PLF	POUNDS PER LINEAR FOOT
P.T.	PRESSURE TREATED
P.T.D.	PAINTED
PLYUD.	PLYWOOD
RD.	ROOF DRAIN
SCP	SCUPPER
S.C.	SOLID CORE
SF	SQUARE FOOT
SH	SINGLE HANG
SHT	SHEET
SIM.	SIMILAR
S.S.	STAINLESS STEEL
STL.	STEEL
SU	SUITCH
SB	SPLASH BLOCK
SD	STORM DRAIN
T.O.	TOP OF
TYP.	TYPICAL
UNO.	UNLESS NOTED OTHERWISE
UL	UNDERWRITERS LABORATORIES
WA.	WEDGE ANCHORS
W	WITH
WC	WATER CLOSET
WD.	WOOD
WH.	WATER HEATER

ARCHITECTURAL SYMBOLS

ELEVATIONS / SECTIONS / DETAILS SYMBOLS

- BUILDING SECTION TAG
- SHEET NUMBER
- WALL OR DETAIL SECTION TAG
- SHEET NUMBER
- BUILDING ELEVATION TAG
- SHEET NUMBER
- PLANS**
- ROOM NAME AND NUMBER
- WALL TYPE TAG (REFER TO WALL TYPE SCHEDULE)
- WINDOW TAG (REFER TO WINDOW SCHEDULE)
- WINDOW NUMBER
- WINDOW TYPE
- DOOR TAG (REFER TO DOOR SCHEDULE)
- DOOR NUMBER
- WHEELCHAIR MANEUVERING FLOOR CLEARANCE AT DOORS IN EGRESS AREAS (FBC/ADA)
- WHEELCHAIR 5 FEET RADIUS TURNING CLEARANCE AT FLOOR IN COMMON AREAS (FBC/ADA)
- ELEVATION NUMBER**
- INTERIOR ELEVATIONS TAG
- SHEET NUMBER
- WALL FINISH
- WALL BASE - FINISH FLOOR SCHEDULE (REFER TO FINISH PLAN)
- FLOOR FINISH
- LIFE SAFETY - ROOM OCCUPANCY LOAD TAG
- NET SF
- MAX. ROOM LOAD SF PER PERSON
- REFERENCE - LIFE SAFETY - EGRESS DOOR LOAD TAG
- MAX. DOOR LOAD
- GENERAL**
- REFERENCE
- REVISION TAG AND CLOUD REVISIONS ARE DONE SHEET BY SHEET.
- EXTENT OF CHANGES SHOWN INSIDE CLOUD
- ENLARGED PLAN OR DETAIL
- SHEET NUMBER
- KEY NOTE TAG (REFER TO KEY NOTES)
- GENERAL NOTE: ALSO REFER TO SPECIFIC PLAN LEGEND**
- FINISH TAG
- VERTICAL ELEVATION TAG

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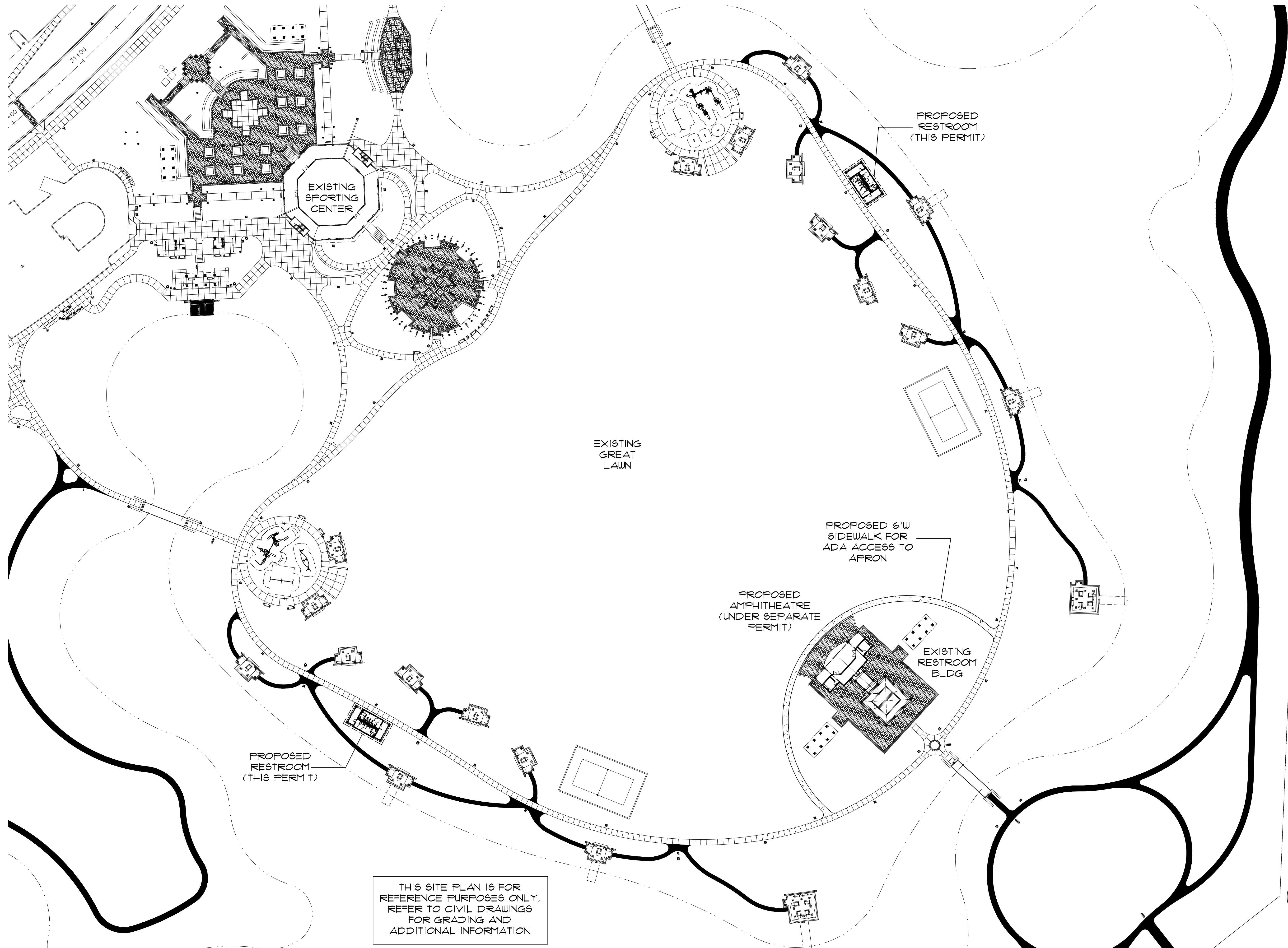
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ARCHITECTURAL  
INFORMATION  
SHEET

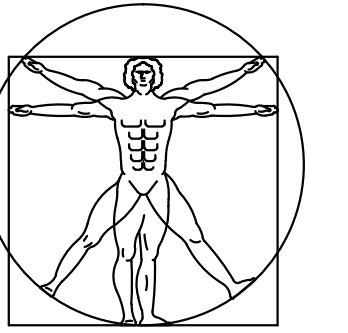
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REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE 08-30-16

SCALE 1"=50'-0"

DRAWN MHA

CHECKED MHA/REG

REG No. 15048

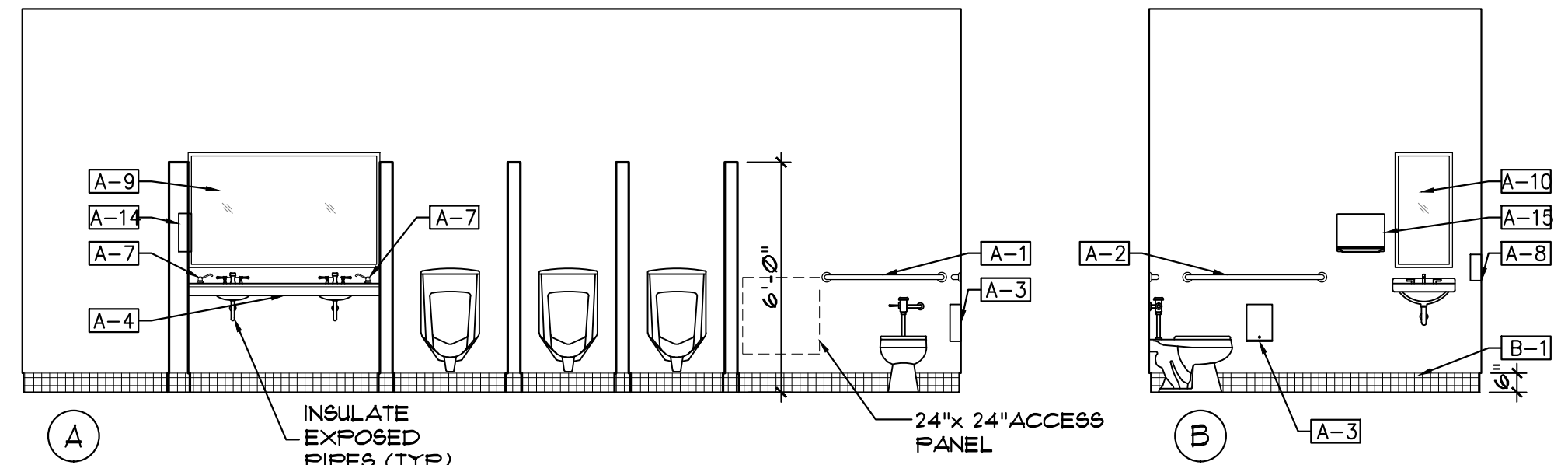
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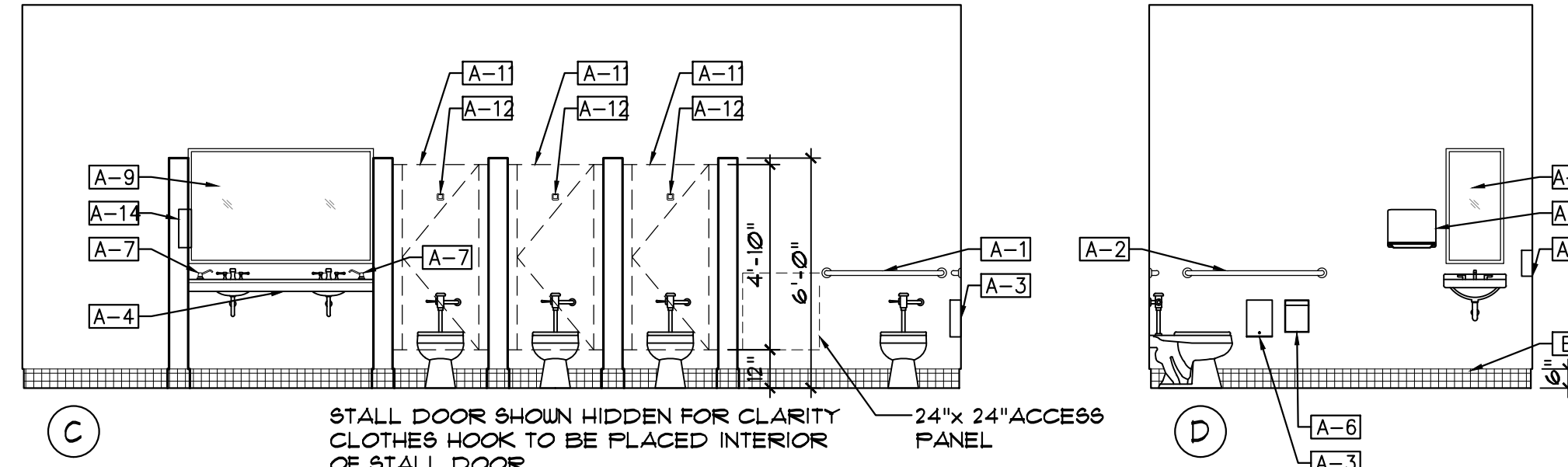
SITE PLAN

NOT FOR PERMIT

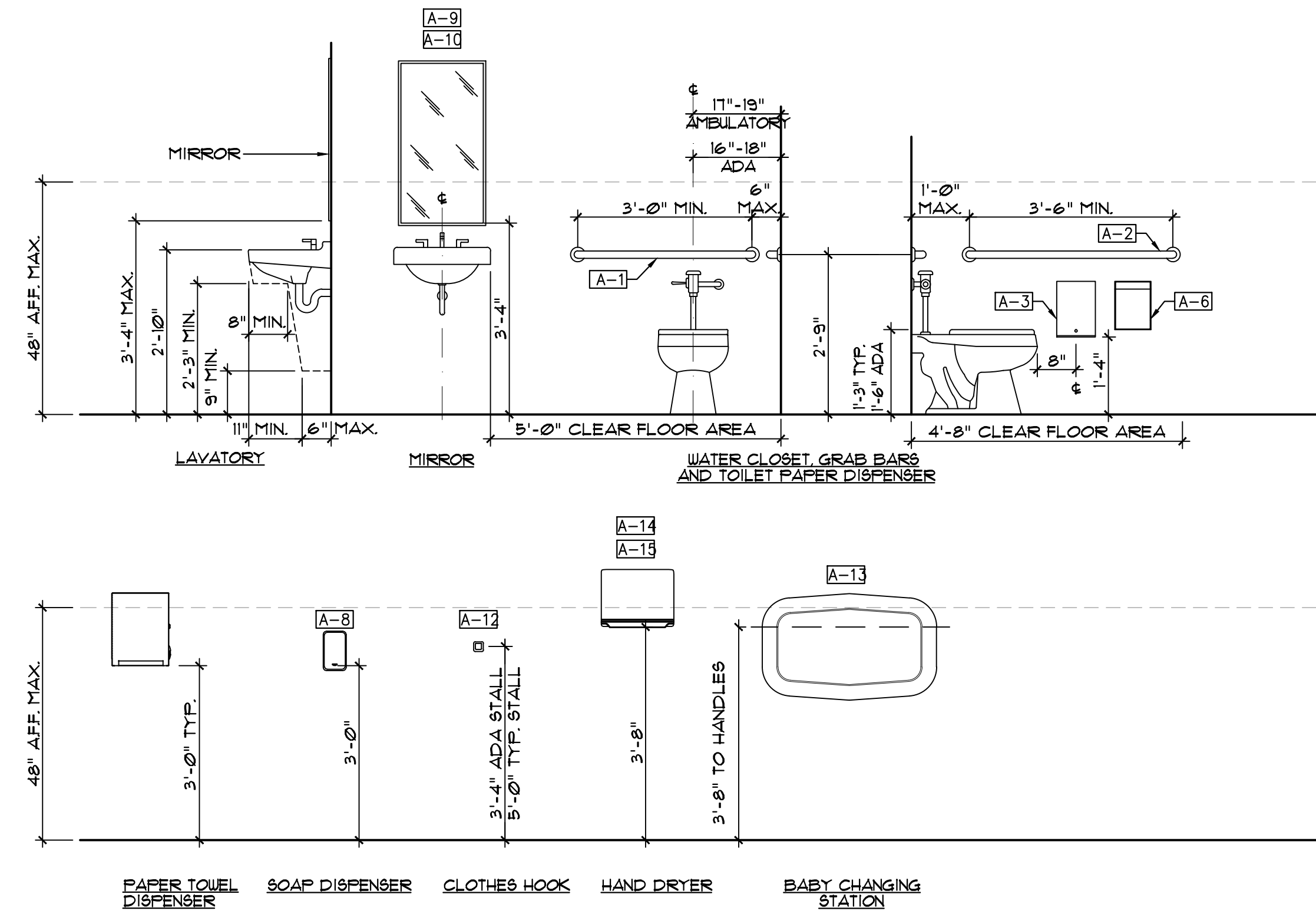
**2A-0.01**



3 MEN'S RESTROOM INTERIOR ELEVATIONS  
1/4" = 1'-0"



2 WOMEN'S RESTROOM INTERIOR ELEVATIONS  
1/4" = 1'-0"



A ADA ACCESSORIES MOUNTING DETAILS  
1/2" = 1'-0"

**DOOR HARDWARE:**

- CYLINDER LOCK (HAGER 3100, US26D)
- HINGES (3 MIN) (HAGER BB191, US26D)
- DOOR CLOSER (LON 1070, ALUM)
- THRESHOLD (ADA) (HAGER 5208, MILL FIN)
- PUSH/FULL PLATES (HAGER 31E & 308, US26D)
- KICK PLATE (HAGER 1908, US32D)

**DOOR AND FRAME SCHEDULE**

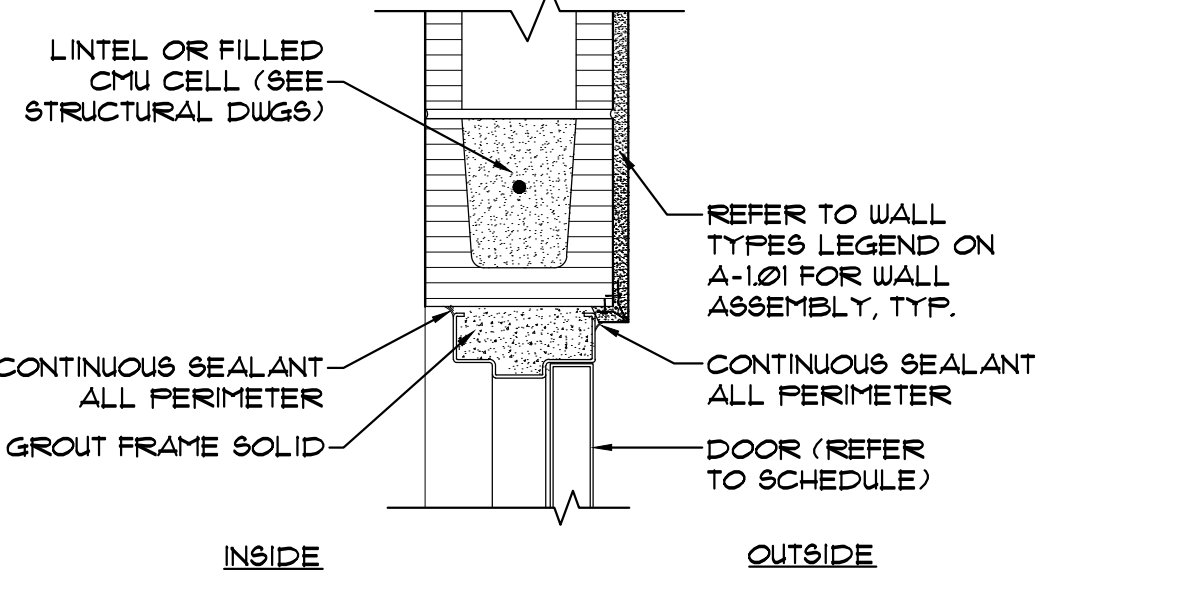
MARK	LOCATION	DOOR		FRAME		DETAILS			FIRE RTNG.	REMARKS
		TYPE	MAT. SIZE (V.I.F.)	TYPE	MAT.	SILL	JAMB	HEAD		
101	RESTROOM MEN	A	HM 36" x 84"	1	MTL	18	1H	1H		
102	RESTROOM WOMEN	A	HM 36" x 84"	1	MTL	18	1H	1H		

**DOORS AND FRAMES TYPES**

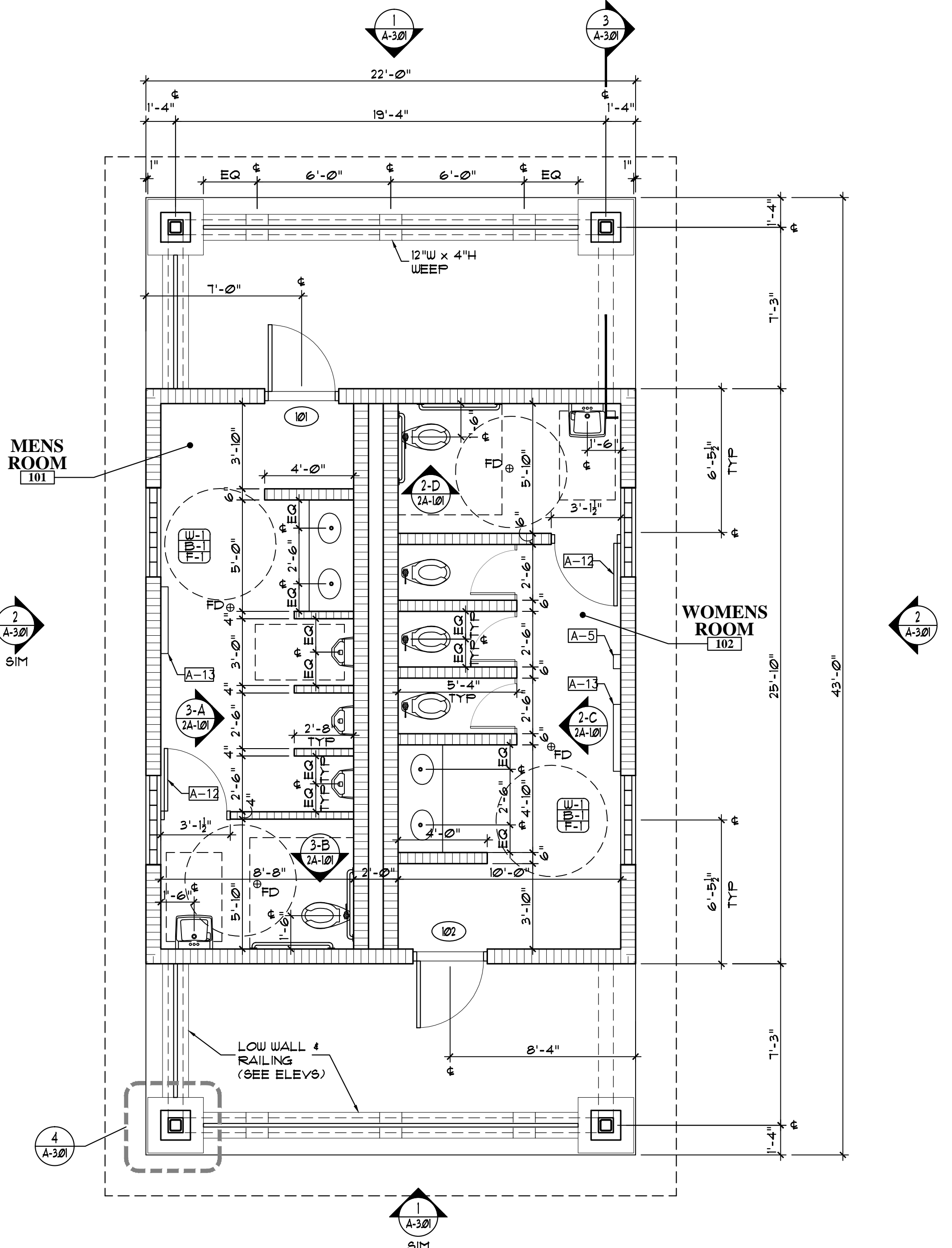
NOTE: SEE SCHEDULE FOR DOOR WIDTH AND HEIGHT BASIS OF DESIGN - CECCO DOORS HURRICANE RESISTANT 16 GAUGE, 1-3/4" THICK, A60, W/ FULLY WELDED FRAMES

**DOORS GENERAL NOTES**

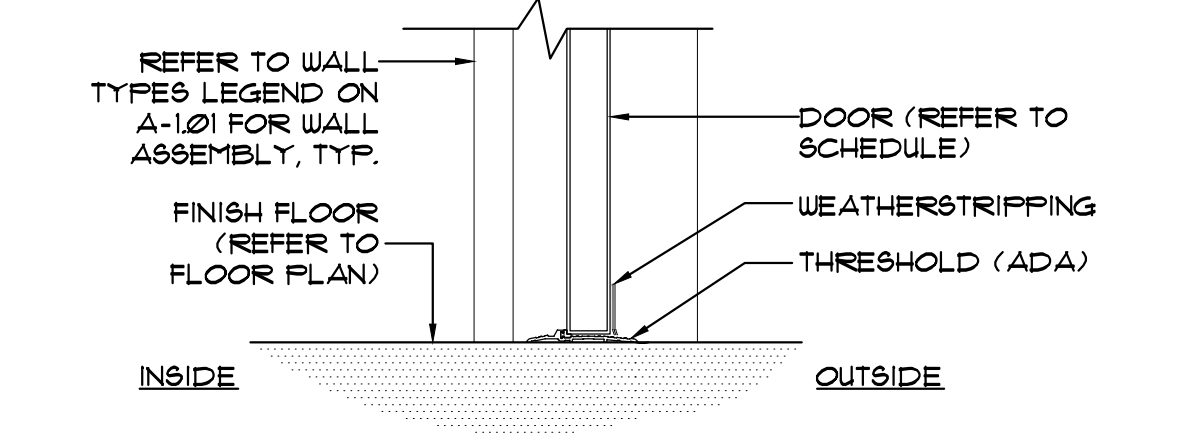
- PROVIDE IMPACT RESISTANT ASSEMBLIES AT ALL OPENINGS THAT COMPLY WITH STATE OF FLORIDA OR MIAMI-DADE COUNTY PRODUCT APPROVAL (AS REQUIRED BY LOCAL BLDG. DEPT.)
- EXTERIOR OPENING ASSEMBLIES SHALL MEET THE MINIMUM WIND LOAD PRESSURE DESIGNS SPECIFIED ON STRUCTURAL DUG'S.
- PROVIDE ANSIBHMA STANDARDS, GRADE I (COMMERCIAL), HARDWARE ON ALL EXTERIOR DOORS. COORDINATE KEYING WITH OWNER.
- PROVIDE SHOP DRAWINGS FOR OWNER & ARCHITECT APPROVAL PRIOR TO PURCHASE ORDERS. WINDOWS, DOORS, HARDWARE & CONNECTIONS. PRODUCT APPROVALS SHALL BE INCLUDED IN SHOP DRAWING SUBMITTAL.



14 DOOR HEAD/JAMB  
1 1/2" = 1'-0"



1 FLOOR PLAN  
1/4" = 1'-0"



15 DOOR SILL  
1 1/2" = 1'-0"

**WALL TYPES NOTES**

- ALL WALLS ARE STANDARD 8" CMU BLOCK UNLESS OTHERWISE NOTED. SEE ELEVATIONS FOR EXTERIOR FINISHES. SEE FINISH SCHEDULE FOR INTERIOR FINISHES.
- ALL INTERIOR SIDES OF BLOCK WALLS SHALL BE SKIM COATED WITH STUCCO, READY TO RECEIVE PAINT FINISH.
- UNLESS OTHERWISE NOTED, FLAN DIMENSIONS ARE TAKEN FROM FACE OF CMU OR CONCRETE TO FACE OF FINISH, OR FACE OF FINISH TO FACE OF FINISH.
- DOORS NOT OTHERWISE DIMENSIONED SHALL BE 8" FROM FACE OF ADJACENT CMU OR CONCRETE WALL TO ROUGH DOOR OPENING AND 4" FROM FACE OF ADJACENT STUD WALL TO ROUGH DOOR OPENING.

**FLOOR FINISH SCHEDULE**

TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
F-1	EPOXY W/ CHEM. RESIST. TOP COAT	TRAFFIC TUFF	GRAY	NEOGARD

**WALL BASE FINISH SCHEDULE**

TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
B-1	EPOXY W/ CHEM. RESIST. TOP COAT	TRAFFIC TUFF	GRAY	NEOGARD

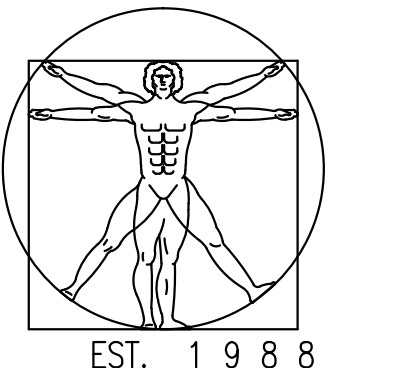
**WALL FINISH SCHEDULE**

TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
W-1	EPOXY PAINT	SUIT008	ALABASTER	SHER WILLIAMS
W-2				

**ACCESSORY SCHEDULE**

TAG	DESCRIPTION	REFERENCE	MANUFACTURER
A-1	36" GRAB BAR	B-6806-36	BOBRICK
A-2	42" GRAB BAR	B-6806-42	BOBRICK
A-3	TISSUE DISPENSER	B-2888	BOBRICK
A-4	VANITY TOPS (SOLID SURFACE)	9032ML	WILSONART
A-5	FEMININE NAPKIN DISPENSER	B-2106-25	BOBRICK
A-6	FEMININE NAPKIN DISPOSAL	B-210	BOBRICK
A-7	LIQUID SOAP DISPENSER	B-8226	BOBRICK
A-8	LIQUID SOAP DISPENSER (ADA)	B-2112	BOBRICK
A-9	MIRROR (VANITY WIDTH X 36" H)	STAINLESS STEEL FRAME	
A-10	MIRROR (18" X 30")	B-293-1030	BOBRICK
A-11	STALL DOOR	SOLID (HDPE)	AMPSCO
A-12	HOOK	B-212	BOBRICK
A-13	BABY CHANGING STATION	KB200-00	KOALA KARE
A-14	HAND DRYER (RECESSED)	B-1750	BOBRICK
A-15	HAND DRYER (SURFACE)	B-1708	BOBRICK

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RESTROOM FACILITIES  
at  
COMMONS PARK

11600 POINCIANA BLVD.  
ROYAL PALM BEACH, FL 33411



**REVISIONS**

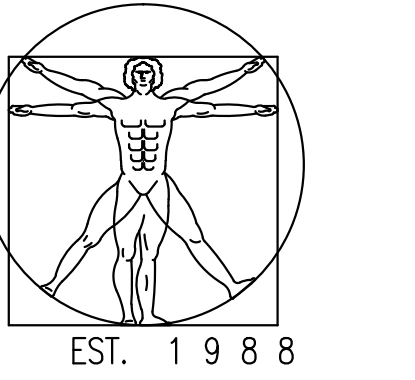
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DATE 08-30-16  
SCALE 1/4"=1'-0"  
DRAWN MHA  
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FLOOR PLAN

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**ROOF PLAN & CEILING PLAN**

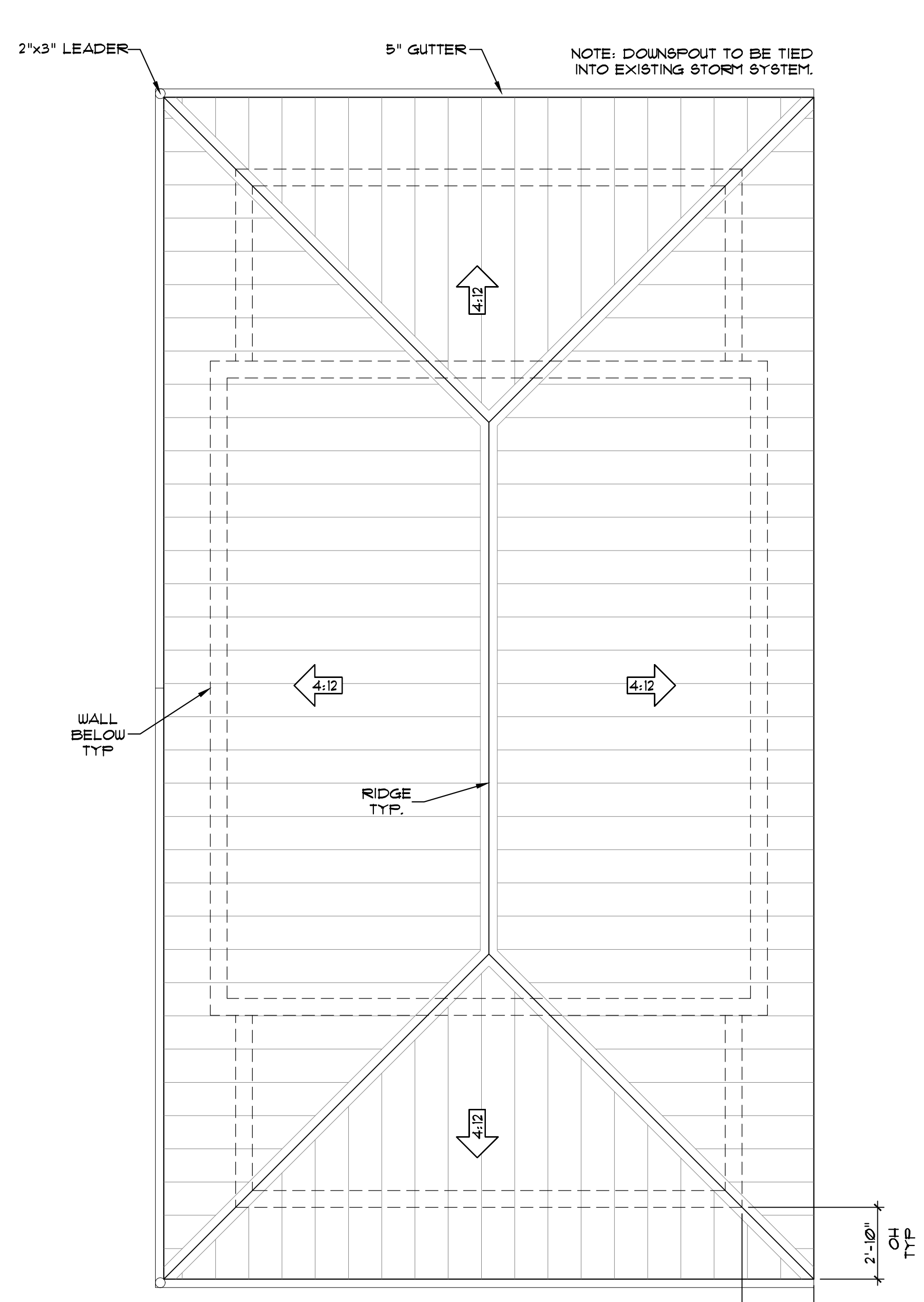
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**2A-2.01**

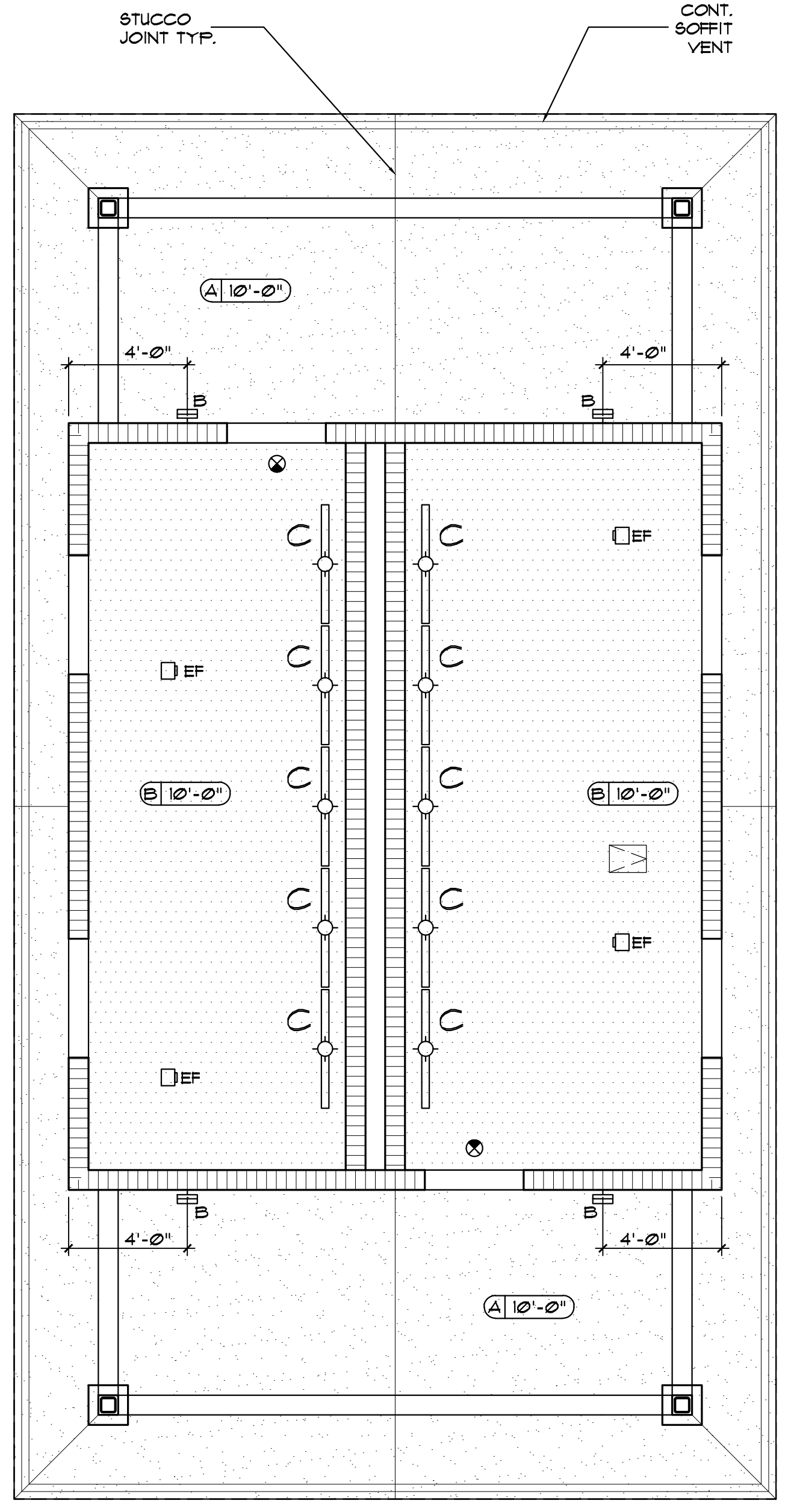
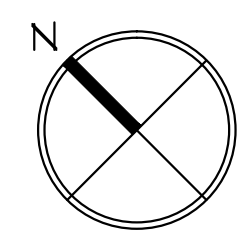
CEILING FINISHES	
TYPE	DESCRIPTION
A	STUCCO CEILING: 5/8" STUCCO SOFFIT OVER HIGH RIBBED METAL LATH ON 1"x4" FT FURRING STRIPS @ 16" O.C.
B	DRYWALL CEILING: 5/8" TYPE "X" MOISTURE RESISTANT GYPSUM BOARD ON 1"x4" FT FURRING STRIPS @ 16" O.C. EPOXY PAINT FINISH TO MATCH WALLS.

CEILING FIXTURE LEGEND	
TYPE	DESCRIPTION
B	WALL SCONCE (VANDAL RESISTANT)
C	SURFACE MOUNTED LINEAR
□ EF	EXHAUST FAN
⊠	22"x30" ATTIC ACCESS PANEL
⊙	EMERGENCY EXIT SIGN
⊞ 9'-0"	CEILING FINISH TYPE AND HEIGHT IDENTIFICATION TAG

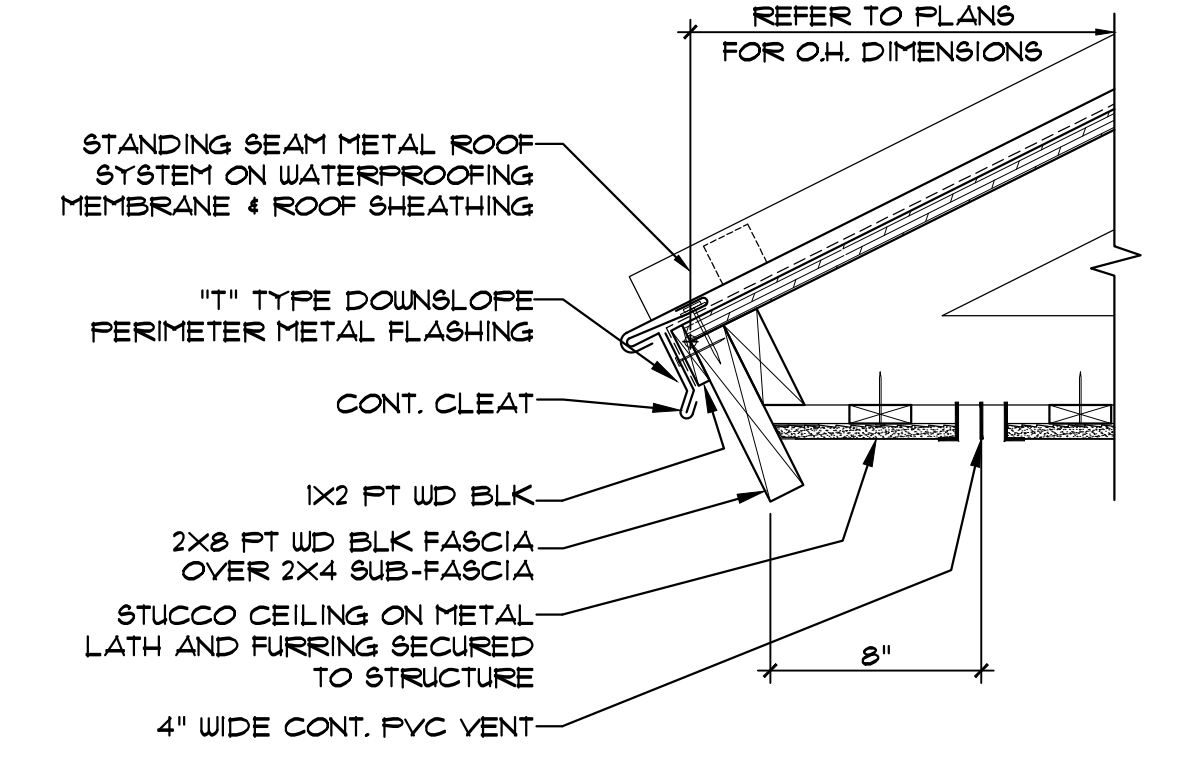
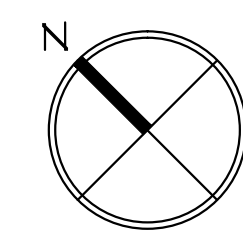
ROOF LEGEND	
▨	STANDING SEAM METAL ROOFING SYSTEM: FIRESTONE UNA-CLAD UC-3 .032" ALUM. PANEL SYSTEM OR/ PETERSON ALUM. SNAP CLAD 22 GA. PANEL SYSTEM W/ KYNAR 500 FINISH OVER 30# FELT WATERPROOFING MEMBRANE OVER PLYWOOD SHEATHING (SEE STRUCTURAL) OVER PRE-ENGINEERED WOOD TRUSSES (SEE STRUCTURAL DWGS)
➔	ROOF SLOPE DIRECTION.



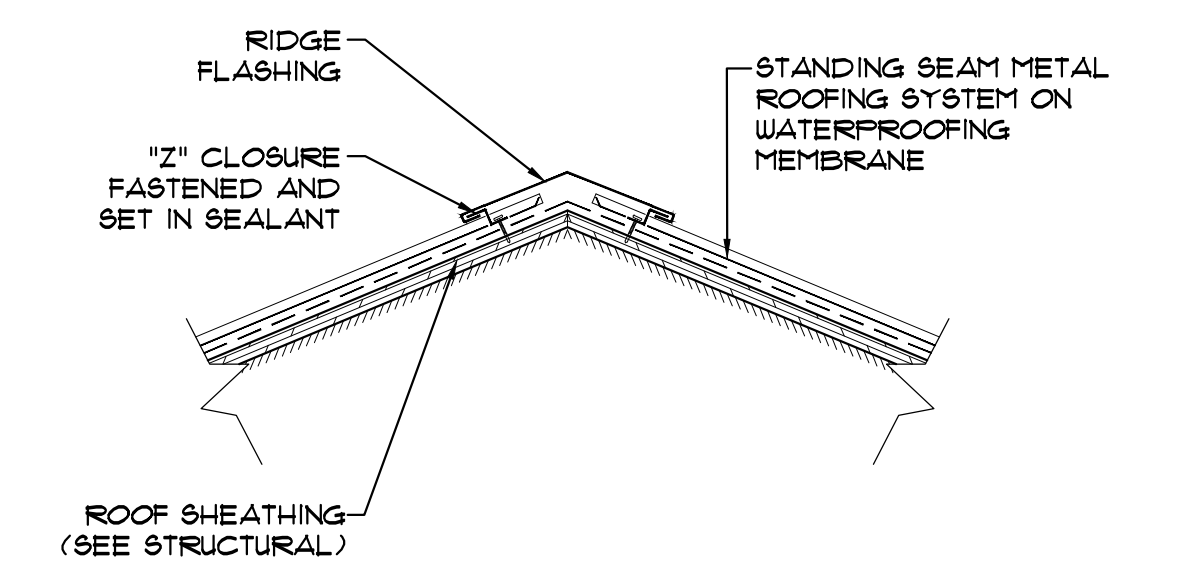
**1 ROOF PLAN**  
 1/4" = 1'-0"



**2 CEILING PLAN**  
 1/4" = 1'-0"

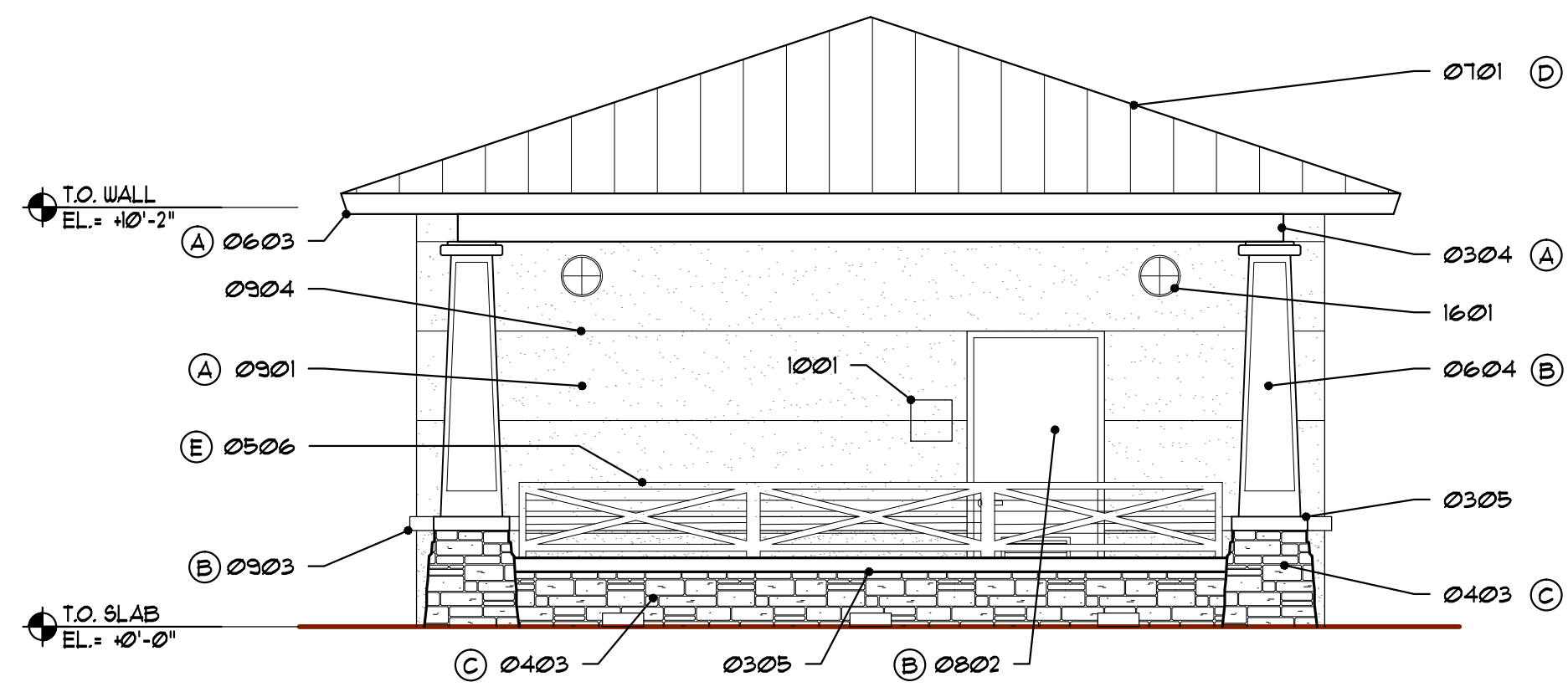


**4 EAVE DETAIL**  
 1 1/2" = 1'-0"

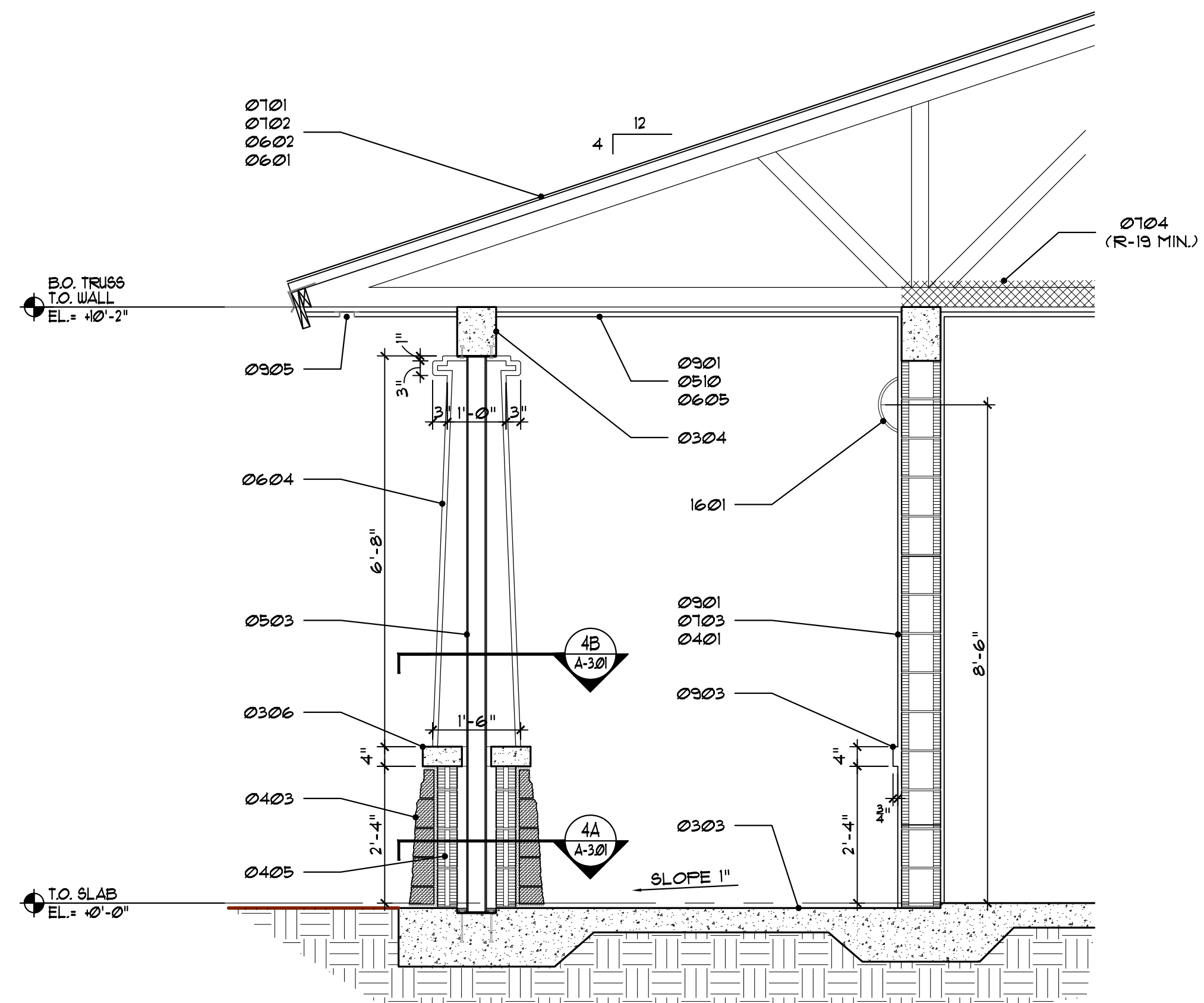


**3 RIDGE CAP FLASHING**  
 1 1/2" = 1'-0"

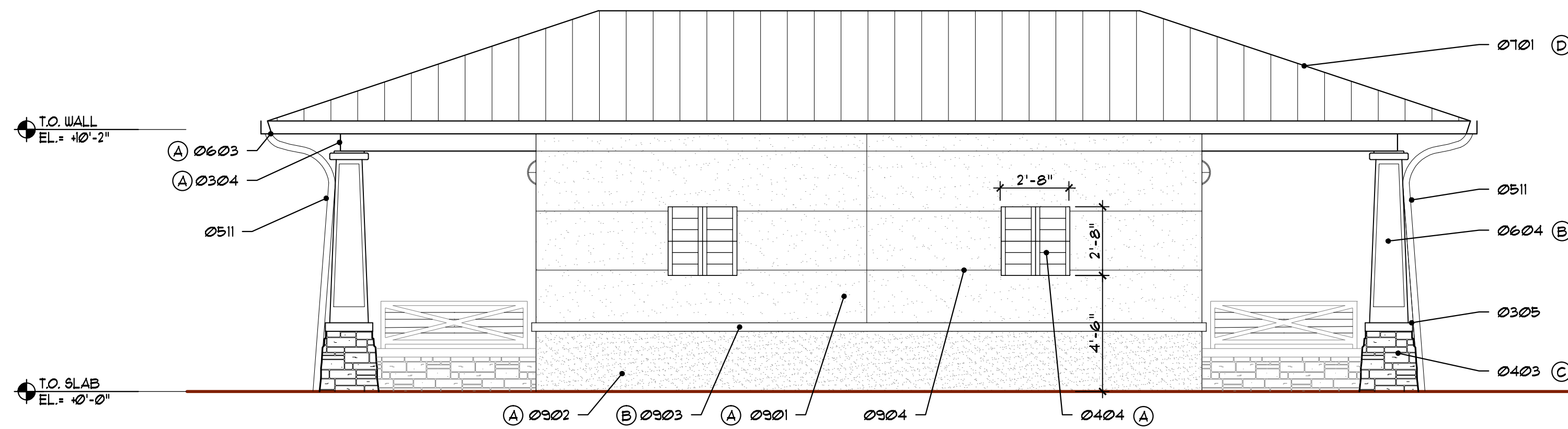




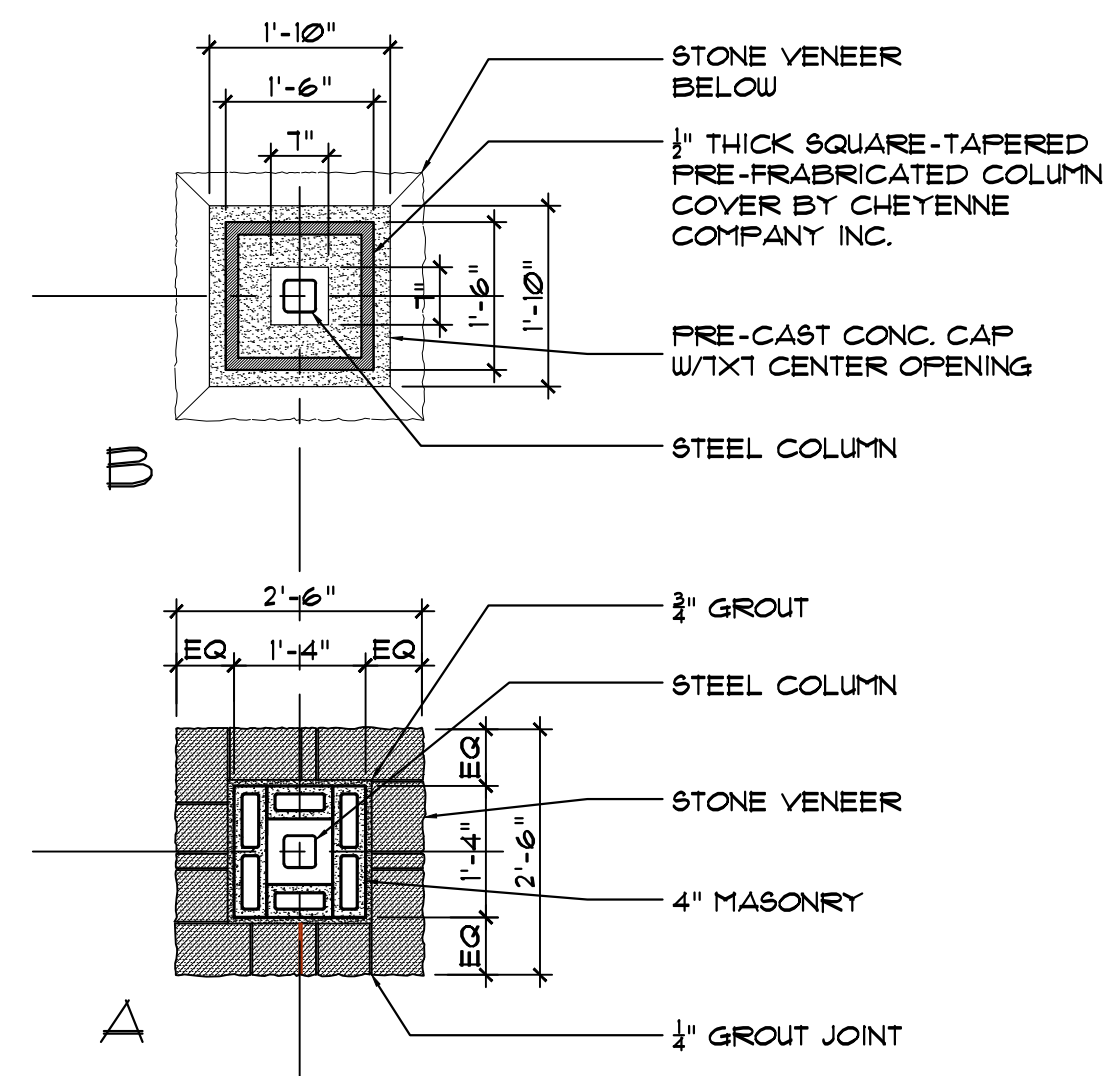
**1 FRONT ELEVATION**  
1/4" = 1'-0" (OPPOSITE SIDE IS A MIRROR)



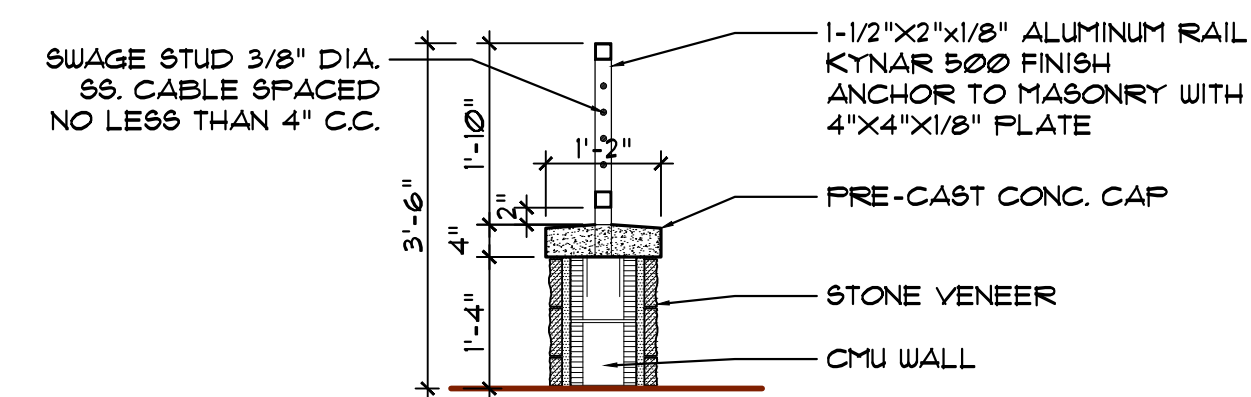
**3 WALL SECTION (TYP)**  
1/2" = 1'-0"



**2 SIDE ELEVATION**  
1/4" = 1'-0" (OPPOSITE SIDE IS A MIRROR)



**4 COLUMN SECTION (TYP)**  
1/2" = 1'-0"



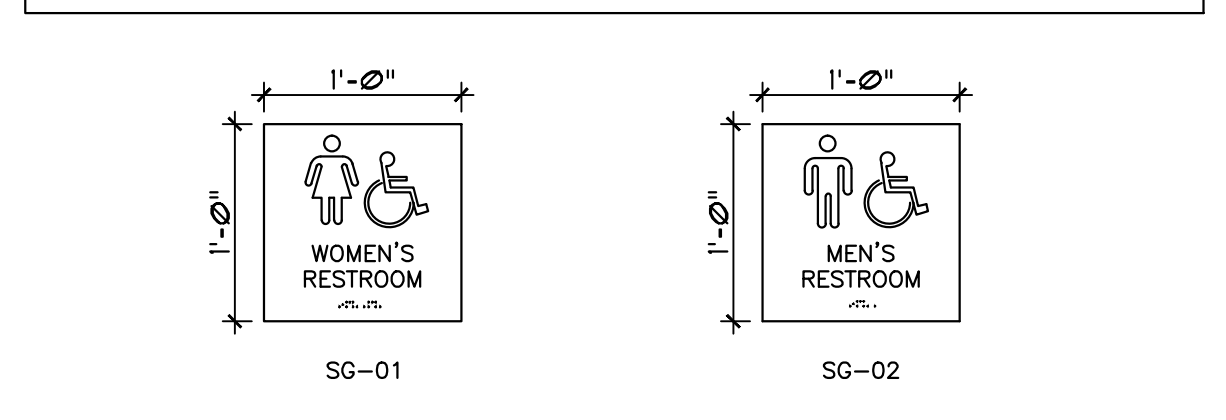
**5 WALL/RAIL DETAIL**  
1/2" = 1'-0"

**ELEVATIONS/SECTIONS/DETAILS KEY NOTES**

- DIVISION 01 - GENERAL NOTES**  
GENERAL NOTES 01  
0101  
0102
- DIVISION 02 - SITE CONSTRUCTION (REFER TO CIVIL)**  
0201 - GRADE  
0202 - CONCRETE SIDEWALK  
0203 - CONCRETE PAVERS
- DIVISION 03 - CONCRETE (REFER TO STRUCTURAL)**  
0301 - CONCRETE FOOTING  
0302 - CONCRETE COLUMN  
0303 - CONCRETE SLAB  
0304 - CONCRETE BEAM  
0305 - PRE-CAST CONCRETE CAP  
0306 - CAST-IN-PLACE CONCRETE STAIR (REFER TO STRUCTURAL)
- DIVISION 04 - MASONRY**  
0401 - CONCRETE MASONRY WALL (REFER TO STRUCTURAL)  
0402 - CONCRETE MASONRY COLUMN (REFER TO STRUCTURAL)  
0403 - STONE VENEER  
0404 - CONCRETE BLOCK LOUVERS  
0405 - 4" CONCRETE BLOCK
- DIVISION 05 - METALS**  
0501 - STEEL JOIST (REFER TO STRUCTURAL)  
0502 - STEEL BEAM (REFER TO STRUCTURAL)  
0503 - STEEL COLUMN (REFER TO STRUCTURAL)  
0504 - METAL DECKING (REFER TO STRUCTURAL)  
0505 - METAL ANGLE (REFER TO STRUCTURAL)  
0506 - PRE-FINISHED ALUMINUM RAILING/ GUARDRAIL (REFER TO DETAILS)  
0507 - 3 5/8" METAL STUDS  
0508 - 1 1/2" METAL FURRING  
0509 - 6" METAL STUDS  
0510 - METAL LATH  
0511 - ALUMINUM GUTTER
- DIVISION 06 - WOOD AND PLASTICS**  
0601 - PRE-ENGINEERED WOOD ROOF TRUSSES (REFER TO STRUCTURAL)  
0602 - SHEATHING (REFER TO STRUCTURAL)  
0603 - PAINTED CEDAR FASCIA (REFER TO ROOF DETAILS)  
0604 - PRE-FABRICATED FIBERGLASS COLUMN "JACKET"  
0605 - WOOD FURRING/BLOCKING
- DIVISION 07 - THERMAL AND MOISTURE PROTECTION**  
0701 - STANDING BEAM METAL ROOFING SYSTEM  
0702 - WATERPROOFING ROOF MEMBRANE  
0703 - CEMENTITIOUS WATERPROOFING MEMBRANE (THOROSEAL OR EQ.)  
0704 - BATT INSULATION  
0705 - SPRAY APPLIED FOAM INSULATION  
0706 - METAL FLASHING (REFER TO ROOF DETAILS)
- DIVISION 08 - DOORS AND WINDOWS (REFER TO SCHEDULE)**  
0801 - EXTERIOR IMPACT RESISTANT WINDOW  
0802 - EXTERIOR IMPACT RESISTANT DOOR  
0803 - INTERIOR DOOR AND FRAME  
0804 - PRE-FINISHED ALUMINUM FRAMED SCREEN
- DIVISION 09 - FINISHES**  
0901 - 5/8" SMOOTH STUCCO, PAINTED  
0902 - 5/8" TEXTURED STUCCO, PAINTED  
0903 - STUCCO TRIM / MOLDING / BAND  
0904 - CONTROL JOINT  
0905 - 4" WIDE SCREEN VENT  
0906 - PRE-FINISHED FAUX WOOD OUTLOOKER / BRACKET  
0907 - METAL FRAME SCREEN ENCLOSURE  
0908 - METAL LOUVER PRIVACY PANEL  
0909 - DRIP EDGE  
0910 - WEEP SCREED  
0911 - 5/8" GYPSUM BOARD (REFER TO WALL TYPES SCHEDULE)  
0912 - STUD PARTITION (REFER TO WALL TYPES SCHEDULE)  
0913 - FINISH CEILING (SEE CEILING PLAN)  
0914 - FLOOR FINISH (SEE FINISH PLAN)  
0915 - MILLWORK (SEE INTERIOR ELEVATIONS)
- DIVISION 10 SPECIALTIES**  
1001 - IDENTITY SIGNAGE
- DIVISION 15 - MECHANICAL**  
1501 - AC UNIT (REFER TO MECHANICAL)  
1502 - LOUVER (REFER TO MECHANICAL)
- DIVISION 16 ELECTRICAL**  
1601 - EXTERIOR WALL MOUNTED LIGHT FIXTURE. (REFER TO LIGHTING)
- GENERAL NOTE: THE KEY NOTES SHOWN ARE FOR REFERENCE ONLY AND DO NOT REFLECT SPECIFICATIONS SECTIONS

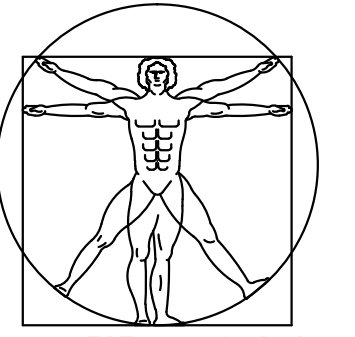
COLOR / MATERIAL SCHEME			
SYMB.	COLOR / MATERIAL	MANUFACTURER	NOTES
(A)	NAVAJO WHITE SW6126	SHERWIN WILLIAMS	FLAT FINISH
(B)	ALABASTER SW1028	SHERWIN WILLIAMS	FLAT FINISH
(C)	MOUNTAIN STRIP STONE S220	CORONADO	
(D)	CITYSCAPE	FIRESTONE	KYNAR 500
(E)	BURGUNDY RAL 3004	UNA-CLAD OR PAC-CLAD	KYNAR 500
(F)	-	-	-

**NOTES**



RAISED LETTER, BRAILLE & SYMBOLS IN ACCORDANCE WITH ADA. WHITE BACKGROUND WITH CONTRASTING LETTERS (MATCH EXISTING) VINYL TAPE MOUNTING. HEIGHT TO BE 60" AFF. TO CENTER OF SIGN. LOCATION ADJACENT TO DOOR OPENING SIDE (SEE ELEVATIONS) SUBMIT SHOP DRAWINGS FOR ARCHITECT/OWNER APPROVAL.

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BUILDING  
ELEVATIONS  
& SECTIONS

NOT FOR PERMIT

2A-3.01

**HVAC GENERAL NOTES**

- HVAC DRAWINGS ARE DIAGRAMMATICAL IN NATURE. DO NOT SCALE FOR EXACT LOCATIONS. THE AIR CONDITIONING CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS AS REQUIRED TO PROVIDE A COMPLETE AND FULLY OPERATIVE SYSTEM.
- DUE TO DRAWINGS BEING DIAGRAMMATICAL IN NATURE, RISERS AND DROPS ARE NOT SHOWN - CONTRACTOR SHALL INCLUDE THESE IN THE BID WHERE POSSIBLE. ALL RISERS AND DROPS SHALL BE CONSTRUCTED USING 45 DEGREE OR LONG RADIUS ELBOWS.
- PROVIDE AND INSTALL NECESSARY DUCTWORK TRANSITIONS AND PIPING INCREASERS/REDUCERS AS REQUIRED FOR EQUIPMENT CONNECTIONS. CONSULT MANUFACTURER'S DATA FOR ACTUAL DUCTWORK AND PIPING CONNECTIONS SIZES, INCLUDING, BUT NOT LIMITED TO THOSE SHOWN.
- IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR FOR THE ADVANCED ORDERING OF LONG LEAD ITEMS SO THAT DELIVERY WILL NOT INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
- IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK SHOWN AND/OR NOTED ON THE DRAWINGS.
- ALL DIMENSIONS ARE IN PHYSICAL UNITS OF INCHES UNLESS OTHERWISE NOTED.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF DUCT SIZE CHANGES ARE REQUIRED BECAUSE OF EXISTING CONDITIONS.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, TESTS, AND ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- AFTER BID SELECTION AND PRIOR TO COMMENCEMENT OF WORK, THE AIR CONDITIONING CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DUCT WORK, EXHAUST FANS, AIR DEVICES, AND EQUIPMENT AS STATED ON SCHEDULES AND OR NOTES. AHR CERTIFICATES FOR ALL EQUIPMENT SHALL BE INCLUDED IN THE SUBMITTAL PACKAGE. IF THE CONTRACTOR PROPOSES TO USE ANY ARTICLE, DEVICE, PRODUCT, OR MATERIAL WHICH IS NOT AS SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVE TO THE ENGINEER THAT THE PROPOSED SUBSTITUTION IS EQUAL AND WILL FIT ALLOCATED SPACE.
- LOCATION OF AIR CONDITIONING DUCTS AND AIR DEVICES MAY CHANGE. VERIFY EXACT LOCATION WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION. DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE FOR THE EXACT LOCATION OF DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF AIR DEVICES.
- PROVIDE MANUAL VOLUME DAMPERS AT ALL LOW PRESSURE BRANCH DUCTS TO INDIVIDUAL DIFFUSERS AND GRILLES AND TO ALL LOW PRESSURE BRANCH DUCTS TO REHEAT COILS. PROVIDE DAMPERS AS CLOSE AS POSSIBLE TO BRANCH CONNECTION TO MAIN. SEE DIFFUSER AND GRILLE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO PIPING, DUCTWORK, OR CONDUIT SHALL BE INSTALLED UNTIL IT IS COORDINATED WITH ALL OTHER TRADES AFFECTED. PROVIDE ALL OFFSETS REQUIRED TO AVOID INTERFERENCE WITH OTHER TRADES, EXISTING CONDITIONS AND WITH THE STRUCTURE, INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN.
- DO NOT BLOCK TUBE PULL OR SERVICE SPACE ON EQUIPMENT WITH PIPING, DUCTWORK, ETC. (FLANGED OR REMOVABLE SECTIONS MAY BE USED IN SOME INSTANCES WHERE TIGHT CLEARANCES EXISTS).
- IF NO SIZE IS SHOWN FOR DUCT SERVING DIFFUSER OR GRILLES, USE SIZE SHOWN ON DIFFUSER AND GRILLE SCHEDULE.
- DUCTWORK ROUTED PARALLEL TO A WALL, RATED OR CORRIDOR SHALL BE INSTALLED WITH MINIMUM 6" CLEARANCE TO ALLOW FOR INSPECTION OF WALL PENETRATIONS. CONTRACTOR SHALL PROVIDE 12" CLEARANCE WHERE POSSIBLE, COORDINATE.
- REFER TO DETAIL SHEETS AND SPECIFICATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS.
- PROVIDE TEMPORARY FILTERS ON ALL RETURN AIR GRILLES AND TRANSFER OPENINGS IN THE WORK AREA.
- INSTALL AHU CONTROL PANELS TO PROVIDE FOR 3'-0" MIN. CLEARANCE IN FRONT OF PANEL.
- UNLESS OTHERWISE NOTED ON PLANS, LOW RETURN AIR GRILLES AND LOW EXHAUST GRILLES SHALL BE 6" TO 8" A.F.F. TO BOTTOM OF GRILLE.
- ALL DIFFUSERS IN SAME SPACE SHALL HAVE THE SAME FULL FACE SIZE USING LARGEST SIZE REQUIRED FROM DIFFUSER AND GRILLE SCHEDULE.
- PROVIDE CLEAR ACCESS TO FIRE DAMPERS, SMOKE DAMPERS, AND VALVES.
- ALL WORK SHALL BE PERFORMED BY A LICENSED AIR CONDITIONING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.
- THE AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS CAUSED BY THE CONTRACTOR DURING THE PERFORMANCE OF WORK.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- THE PLUMBING CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS PER PLUMBING SPECIFICATIONS. (SEE PLUMBING SHEETS)
- COMBUSTIBLE PIPING IS NOT PERMITTED IN RETURN AIR PLENUMS OR CEILING SPACES USED FOR RETURN AIR.
- THE AIR CONDITIONING CONTRACTOR SHALL USE RADIUS TURNS WITH A 15 CENTERLINE TO WIDTH RATIO (15 R/W). VANED ELBOWS, SPLITTER DAMPERS WHERE INDICATED, VOLUME CONTROLS IN ALL BRANCH LINES AND SUPPLY AND RETURN AIR DEVICES UNLESS OTHERWISE NOTED IN AIR DEVICE SCHEDULE).
- THE AIR CONDITIONING CONTRACTOR SHALL SEAL ALL DUCTS IN AN APPROVED MANNER TO INSURE AGAINST LEAKAGE.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY CONFLICTS IN LOCATIONS FOR DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC., IN ORDER TO NOT INTERFERE WITH THE PROGRESS OF CONSTRUCTION.
- THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT, EXCEPT FOR EXHAUST HOODS.
- UNLESS NOTED AS EXISTING TO BE REUSED (E) OR RELOCATED (RE), ALL EQUIPMENT, PIPING, DUCTS, REGISTERS, ETC., SHALL BE NEW.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR UNDERWRITERS LABEL (UL) WHERE APPLICABLE.
- THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE ALL CONTRACTORS, STARTERS, RELAYS, AND THERMOSTATS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS, POWER WIRING AND CONTROL WIRING, UNLESS NOTED OTHERWISE.
- THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE 1" THICK MERV 8 (THROW-AWAY TYPE) FILTERS WITH EACH A/C UNIT (UO).
- ALL PENETRATIONS OF FIRE-RATED WALLS, FLOORS OR CEILINGS SHALL BE FIREPROOFED BY A SEALING METHOD AND RATING AS SPECIFIED ON THE DRAWINGS OR AS REQUIRED BY THE LOCAL OR STATE CODES.
- AIR HANDLING DEVICES IN EXCESS OF 2000 CFM WILL HAVE A DUCT SMOKE DETECTOR TO STOP THE FAN AND ACTIVATE A HORN AND STROBE LIGHT. ALL EQUIPMENT SHALL BE INTERLOCKED AS REQUIRED BY LOCAL CODES OR FIRE SAFETY OFFICIALS.
- ALL WORK SHALL COMPLY WITH BASE BUILDING LIFE SAFETY/SMOKE CONTROL SYSTEM REQUIREMENTS. PROVIDE ALL NECESSARY WIRING, CONTRACTORS, RELAYS, ETC., AS REQUIRED FOR INTERFACE WITH BASE BUILDING SYSTEM.
- THE AIR CONDITIONING CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED, FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS BUILT DRAWINGS TO THE ENGINEER UPON COMPLETION OF INSTALLATION. IF FIELD CHANGES ARE MADE WHICH DEVIATE FROM ENGINEERING DRAWINGS TO THE EXTENT THAT THE BUILDING DEPARTMENT REQUIRES THESE CHANGES BE INCORPORATED PRIOR TO INSPECTION, THE CONTRACTOR SHALL PROVIDE SKETCHES TO THE ENGINEER FOR INCORPORATION INTO THE BUILDING PLANS. ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THAT CONTRACTOR.
- AIR CONDITIONING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF ACCEPTANCE, AND ALL GUARANTEES AND WARRANTIES SHALL BE DELIVERED TO THE OWNER. COMPRESSORS SHALL HAVE EXTENDED FIVE YEAR WARRANTIES.
- PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT WITH THE OWNER'S REPRESENTATIVE AND THE ACTUAL EQUIPMENT BEING FURNISHED.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE HVHZ WIND-LOAD RATED WITH SIGNED AND SEALED DOCUMENTS / DRAWINGS FROM AN INDEPENDENT LICENSED FLORIDA PROFESSIONAL ENGINEER.
- ALL ROOF MOUNTED EQUIPMENT SHALL BE MOUNTED ON CURBS OR STANDS. CURBS AND STANDS AND SHALL BE FLORIDA PRODUCT APPROVED OR MIAMI DADE PRODUCT APPROVED WITH CURRENT NOTICE OF ACCEPTANCE (NOA). CURBS AND STANDS SHALL BE ATTACHED TO THE ROOF STRUCTURE AND THE EQUIPMENT SHALL BE ATTACHED TO THE CURB OR STAND IN ACCORDANCE WITH THE NOA DOCUMENTS.
- IF ANY CONFLICTS OR DISCREPANCIES APPEAR IN THESE DOCUMENTS, THE MORE STRINGENT OF THE REQUIREMENTS ARE TO BE TAKEN.

**CONTRACTOR GENERAL CONDITIONS NOTES**

- RFI'S: CONTRACTOR SHALL SUBMIT RFI'S WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
- SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS. PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
- DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.
- SUBSTITUTIONS:
  - CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
  - PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
  - PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME.
  - PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPTION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
  - CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR.
- AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
- INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

**SCOPE OF WORK**

THIS PROJECT CONSISTS OF A NEW CONSTRUCTION PUBLIC RESTROOM MECHANICAL WORK INCLUDING BUT NOT LIMITED TO NEW VENTILATION.

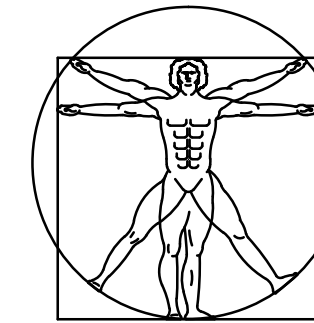
**FAN SCHEDULE**

① FAN TO BE INTERLOCKED WITH TIMER, COORDINATE WITH ELECTRICAL

TAG	MANUFACTURER	MODEL	LOCATION	CFM	E.S.P. (IN W.C.)	VOLTAGE (V/PH/Hz)	OPERATING POWER (W)	RPM	WHEEL SIZE	dBa	DRIVE TYPE	DUCT SIZE CONNECTION	REMARKS
EF-1	GREENHECK	SP-A250	CEILING	250	0.25	115/1/60	67	1000	-	-	DIRECT W/ SPEED CONTROL	8"φ	①
EF-2	GREENHECK	SP-A250	CEILING	250	0.25	115/1/60	67	1000	-	-	DIRECT W/ SPEED CONTROL	8"φ	①
EF-3	GREENHECK	SP-A250	CEILING	250	0.25	115/1/60	67	1000	-	-	DIRECT W/ SPEED CONTROL	8"φ	①
EF-4	GREENHECK	SP-A250	CEILING	250	0.25	115/1/60	67	1000	-	-	DIRECT W/ SPEED CONTROL	8"φ	①

**MECHANICAL SHEET INDEX**

SHEET#	DESCRIPTION
M0.1	MECHANICAL SCHEDULES, GENERAL NOTES & LEGENDS
M1.2	RESTROOM MECHANICAL PLAN
M5.1	MECHANICAL DETAILS AND SPECIFICATIONS



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REVISIONS	NO.
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DATE 06-30-16

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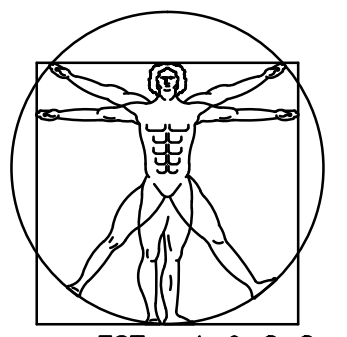
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**M0.1**

**RESTROOM MECHANICAL PLAN**



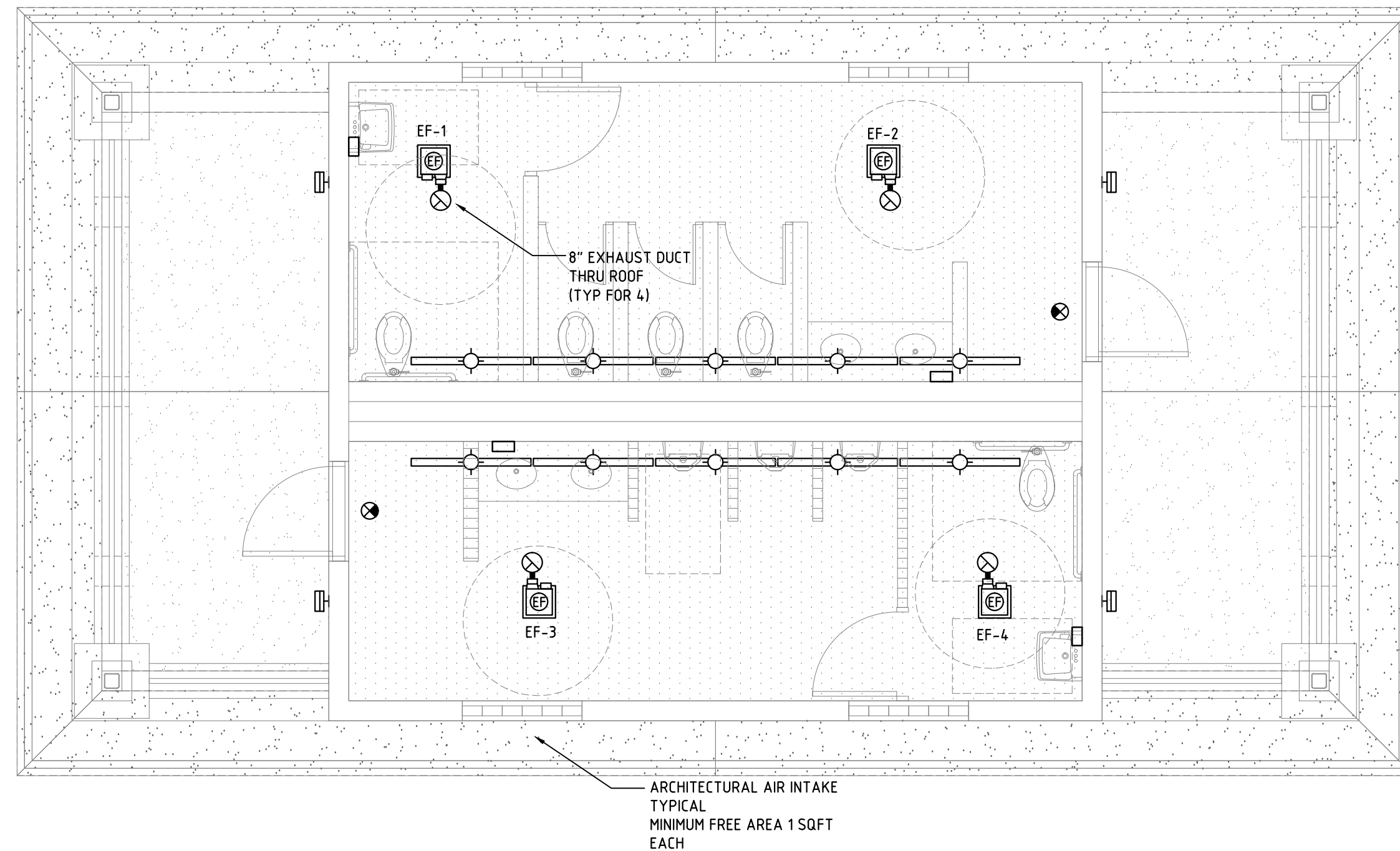
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 PARK

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1 RESTROOM MECHANICAL PLAN  
 1/4" = 1'-0"

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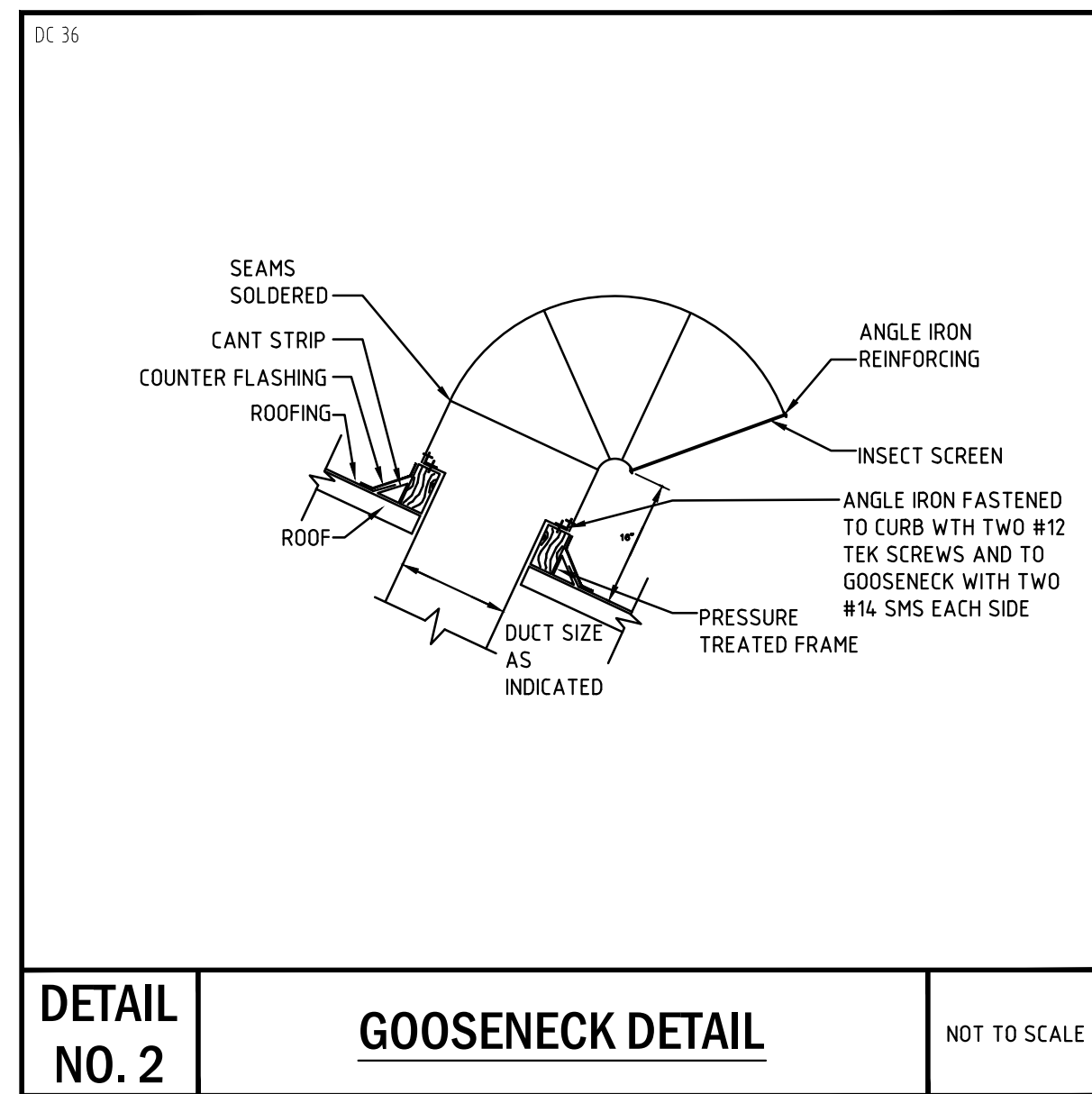
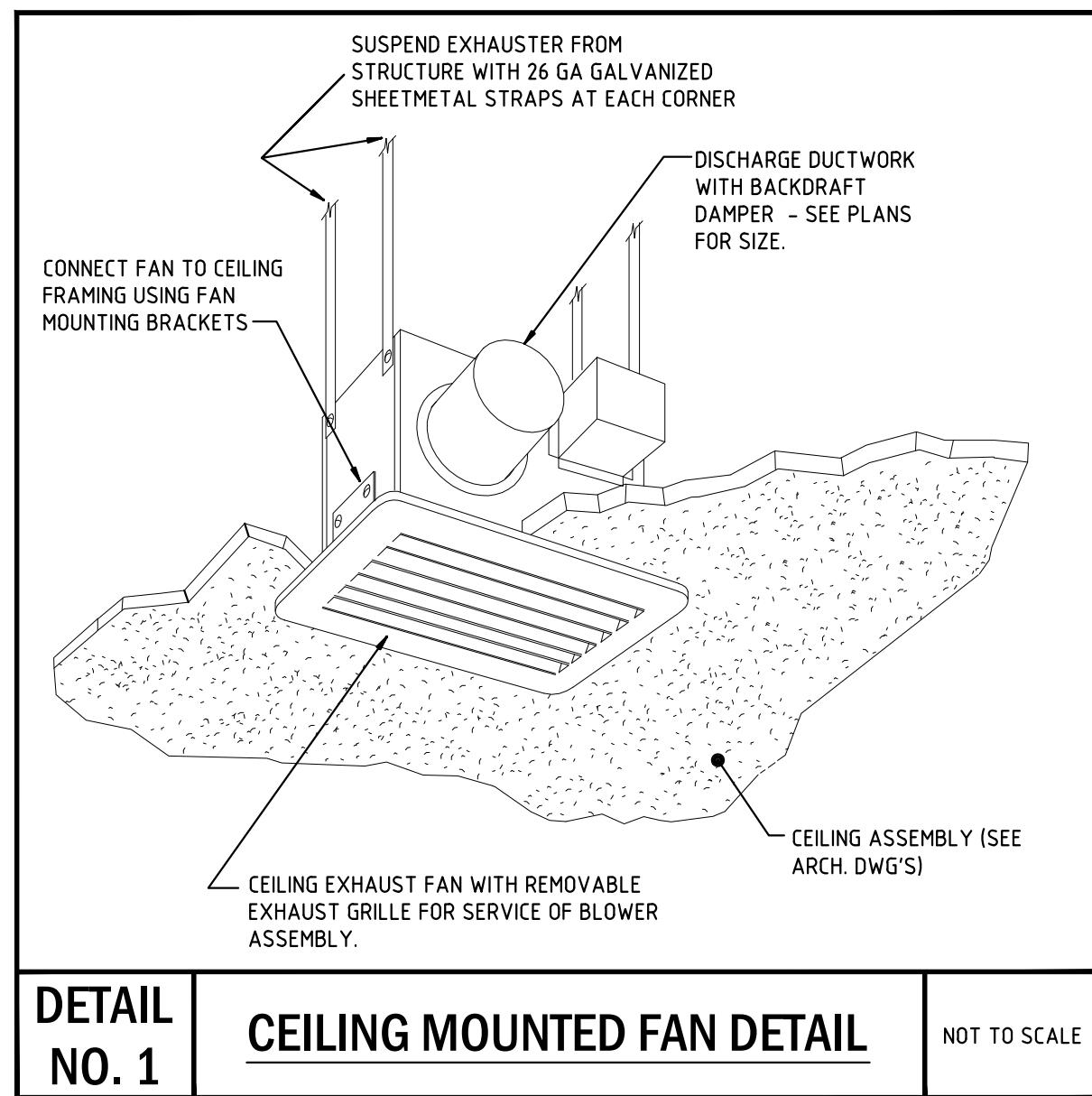
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RESTROOM  
 MECHANICAL PLAN

M1.2

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15010 - BASIC MECHANICAL REQUIREMENTS  
A. CODES & REFERENCES

1. FLORIDA BUILDING CODE 2014 (WITH AMENDMENTS)
2. SMACNA
3. NFPA 101
4. NFPA 90A
5. NFPA 99

B. SCOPE OF WORK

1. PROVIDE ALL REQUIRED PERMITS, LABOR, MATERIAL AND EQUIPMENT REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT SHOWN ON THE DRAWINGS AND READY FOR OCCUPANCY AND USE BY OWNER. THE WORK SHALL INCLUDE BUT IS NOT LIMITED TO:
  - a. REMOVAL, RELOCATION AND RE-INSTALLATION OF EXISTING EQUIPMENT AND SYSTEM
  - b. CONNECTIONS TO EXISTING OR NEW EQUIPMENT AND SYSTEMS
  - c. MODIFICATION OF EXISTING CHILLED OR HOT WATER SYSTEMS, STEAM SYSTEMS, CONDENSATE DRAINAGE, DUCTWORK, TEMPERATURE CONTROLS AND LIFE-SAFETY SYSTEMS
  - d. CUTTING AND PATCHING TO REMOVE EXISTING OR INSTALL NEW WORK
  - e. CLEANING AND TESTING
  - f. INSTRUCTION TO OWNER'S PERSONNEL
2. ALL REMOVAL WORK AND DISRUPTIONS OF EXISTING SERVICES SHALL BE COORDINATED AND SCHEDULED IN ADVANCE WITH OWNER'S REPRESENTATIVES.
3. PROVIDE ALL BUILDING PENETRATIONS REQUIRED TO COMPLETE PROJECT. ALL PENETRATIONS TO BE PATCHED AND SEALED TO BE WATERTIGHT. MAINTAIN FIRE RATINGS OF EXISTING STRUCTURE.
4. PROVIDE ALL NECESSARY DUCT, EQUIPMENT AND PIPE SUPPORTS AND MATERIALS REQUIRED FOR INSTALLATION. PER THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL CODES.
5. NOT ALL COMPONENTS REQUIRED ARE INDICATED ON THESE DRAWINGS. REFER TO MANUFACTURERS INSTRUCTIONS FOR ADDITIONAL REQUIREMENTS INCLUDING CONNECTION LOCATIONS, TYPES AND SIZES. PROVIDE ISOLATING VALVES AND UNIONS AT ALL EQUIPMENT CONNECTIONS.

C. REQUIRED SHOP DRAWINGS:

1. INSULATION
2. AIR DEVICES
3. VALVES
4. DUCTWORK COORDINATION DRAWINGS
5. CONTROLS
6. AIR HANDLING EQUIPMENT
7. THERMOSTATS
8. PUMPS
9. FANS
10. TERMINAL BOXES
11. FILTERS
12. FIRE AND SMOKE DAMPERS

D. MAINTENANCE MANUALS

1. PROVIDE MAINTENANCE MANUALS TO OWNER(S) FOR ALL NEW EQUIPMENT CONTAINING ALL OPERATING AND MAINTENANCE DATA, SUBMITTALS, WARRANTIES, DIAGRAMS, AHRI CERTIFICATES, INSPECTION REPORTS AND VALVE LISTS IN A 3 RING BINDER WITH POCKETS FOR DRAWINGS. PROVIDE OWNER WITH 2 COPIES.
2. PROVIDE AN INDEX INSIDE THE BINDER COVER WITH A LIST OF EACH EQUIPMENT ITEM. EACH ITEM SHALL BE INDIVIDUALLY TABBED.
3. PROVIDE A LIST OF ALL REQUIRED REGULAR MAINTENANCE ACTIONS.
4. MAINTENANCE LIST SHALL REFERENCE TABULATED ITEM AND SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT.

E. AS-BUILT DRAWINGS

1. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ALL CHANGES MADE TO THE CONTRACT DOCUMENTS (AS-BUILT).
2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER 2 SETS OF COMPLETED AS-BUILT DRAWINGS.
3. THE PROJECT WILL NOT BE CONSIDERED COMPLETE UNTIL ACCURATE AS-BUILTS ARE DELIVERED.

F. SUBSTITUTIONS

1. EQUIPMENT AND DESIGN OF SYSTEMS INDICATED ON THE DESIGN DRAWINGS AND WITHIN THESE SPECIFICATIONS SHALL BE CONSIDERED AS "SPECIFIED STANDARD" OF QUALITY. NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER 10 DAYS PRIOR TO BID DATE.
2. ANY DEVIATION FROM SPECIFIED EQUIPMENT THAT AFFECTS THE ELECTRICAL REQUIREMENTS SHALL BE COORDINATED BY THE MECHANICAL CONTRACTOR AND EQUIPMENT VENDOR WITH THE ELECTRICAL CONTRACTOR PRIOR TO SUBMITTING BIDS.

G. WIND LOADS

1. ALL EQUIPMENT TO BE MOUNTED OUTSIDE SHALL BE FURNISHED WITH A NDA (NOTICE OF ACCEPTANCE) FOR WINDS FORM OR BE FURNISHED WITH AN ENGINEERED DETAIL GOOD FOR THE LOCAL WIND RATE.

15890 - SHEETMETAL DUCTWORK

- A. ALL DUCT TO BE INSTALLED ACCORDING TO LATEST SMACNA STANDARDS
- B. ALL DUCT EXCEPT THAT SPECIFICALLY SHOWN IS TO BE GALVANIZED. RETURN, EXHAUST AND DUCT DOWNSTREAM OF CV BOXES TO BE 0-2" PRESSURE CLASS. SUPPLY DUCT FROM FAN TO CV OR VAV BOX TO BE 4" CLASS
- C. ALL SYSTEMS TO BE LEAKAGE TESTED

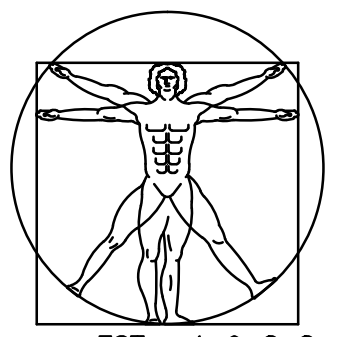
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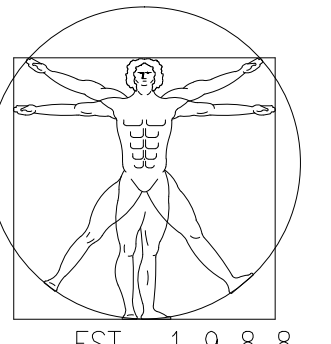
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RESTROOM  
MECHANICAL PLAN

M5.1



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**ELECTRICAL  
SPECS, LEGEND,  
INDEX**

**E0.1**

ELECTRICAL SHEET INDEX	
SHEET #	DESCRIPTION
E0.1	ELECTRICAL SPECS, LEGEND & INDEX
ES.1	ELECTRICAL SITE PLAN
E1.1	ELECTRICAL PLAN
E3.1	RISER DIAGRAM AND PANEL SCHEDULES

FBC NOTE	
1.	CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.1). PROVIDE OWNER WITH A RECORD SET DRAWING OF COMPLETE INSTALLATION DRAWINGS.
2.	CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.2). PROVIDE OWNER WITH OPERATIONAL MANUALS AND MAINTENANCE MANUALS.

LOW VOLTAGE NOTES	
PROVIDE A STRUCTURED CABLING SYSTEM (SCS) FOR THE TV/CABLE/TELEPHONE DROPS. COORDINATE DESIGN, TYPE OF CABLE, AND FINAL LOCATIONS WITH OWNER/ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR TO DESIGN/BUILD AND COMPLY WITH NEC AND EIA/TIA STANDARDS.	

FIRE RATING NOTE	
ALL DEVICES PENETRATING FIRE RATED WALLS SHALL BE PROVIDED WITH UL APPROVED FIRE RATED ASSEMBLIES. (EQUAL TO WALL FIRE RATINGS - SEE ARCHITECTURAL DRAWINGS)	

COORDINATION NOTES	
CONTRACTOR TO COORDINATE ALL FINAL LOCATIONS, ANY TYPES OF ALL DEVICES, AND EQUIPMENT WITH ARCHITECT PRIOR TO BID AND ROUGH-IN.	
CONTRACTOR TO COORDINATE VARIOUS TRADES TO AVOID ABOVE CEILING CONFLICTS.	

LIGHTING NOTES	
1.	ELECTRICAL CONTRACTOR TO VERIFY IF ANY LIGHTING FIXTURES REQUIRE STEP-DOWN TRANSFORMERS. QUANTITY AND LOCATION OF THE TRANSFORMERS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION CONSULT ARCHITECT FOR LOCATIONS PRIOR TO BIDDING. PROVIDE ALL TRANSFORMERS AND INCLUDE IN BID.
2.	ALL LIGHTING FIXTURES AND FANS TO BE SELECTED & LOCATED BY OWNER /ARCHITECT/INTERIOR DESIGNER, UNLESS OTHERWISE NOTED.
3.	ARCHITECT TO SET MOUNTING HEIGHTS FOR ALL FIXTURES WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
4.	CONTRACTOR TO PROVIDE LUMINAIRES TO CONFORM TO ENERGY CODE, THERMAL ENVELOPE RATINGS.

EQUIPMENT/FEEDER REMOVAL NOTES	
SALVAGED MATERIALS, EQUIPMENT, AND FEEDERS SHALL BE DELIVERED TO THE OWNER AT HIS PROPERTY AND STORED WITHIN THE BUILDING WHERE DIRECTED. ANY REMOVED MATERIALS OR EQUIPMENT WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.	

SCOPE OF WORK	
THE PROJECT CONSISTS OF A PROVIDING POWER TO NEW LIGHTING FIXTURES AND EXHAUST FANS IN RESTROOM BUILDINGS.	

GENERAL DEMOLITION NOTES	
1.	CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN RELOCATING WIRING DEVICES, EQUIPMENT AND LIGHTING FIXTURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT OTHER WIRING DEVICES, EQUIPMENT, AND LIGHTING FIXTURES THAT MAY BE CONNECTED ON THE SAME CIRCUIT REMAIN OPERATIONAL AND ACTIVE.
2.	INFORMATION SHOWN ON THESE DOCUMENTS ARE DIAGRAMMATIC IN NATURE. CONTRACTOR TO FIELD VERIFY ELECTRICAL CIRCUIT HOME RUNS TO ALL ELECTRICAL ITEMS SCHEDULED FOR DEMOLITION AND PERFORM THE WORK AS INTENDED AND DEPICTED ON THE DRAWINGS.
3.	UPDATE ALL ELECTRICAL PANEL BOARD DIRECTORIES THAT ARE AFFECTED BY THE DEMOLITION AND/OR RENOVATIONS. DIRECTORIES SHALL BE TYPED.
4.	STORE ITEMS INDICATED TO BE RETURNED TO THE OWNER IN A DRY, CLEAN, AND PROTECTED AREA. NOTIFY OWNER WHEN ITEMS ARE READY TO BE REMOVED.
5.	COORDINATE ANY ALTERATION AND CHANGES TO THE ELECTRICAL SERVICE WITH THE LOCAL UTILITY COMPANY.
6.	PRE SCHEDULE ALL POWER INTERRUPTIONS WITH OWNER. GIVE OWNER 48 HOURS NOTICE PRIOR TO DISCONNECTING POWER TO ANY PORTION OF THE BUILDING AND MAKE ARRANGEMENTS TO MAINTAIN POWER TO ALL CRITICAL EQUIPMENT AS NEEDED AND REQUESTED BY OWNER.
7.	CONTRACTOR IS RESPONSIBLE OF BECOMING FULLY INFORMED AS TO EXISTING CONDITIONS AT THE SITE. NEITHER THE OWNER NOR THE A/E MAKES ANY REPRESENTATION WARRANTY AS TO SITE CONDITIONS.
8.	CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE NATURE AND EXTENT OF THE WORK TO BE PERFORMED AND LOCAL CONDITIONS THAT MAY AFFECT THE WORK.
9.	DUE TO REMOVAL OR CORRECTION TO ANY WALLS OR OTHER CONSTRUCTION NECESSITATING CAPPING OF EXISTING ELECTRICAL WIRING DEVICES OR ANY OTHER ELECTRICAL EQUIPMENT INCLUDING RECONNECT OF SUCH EXISTING ITEMS IS CONSIDERED TO BE PART OF THE WORK UNDER THIS CONTRACT. ALL EXISTING OUTLETS SHOWN TO REMAIN WILL REMAIN ACTIVE. THE REWIRING SHALL BE INCLUDED UNDER THIS CONTRACT WITHOUT ADDITIONAL COST TO OWNER.
10.	ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES: NATIONAL ELECTRICAL CODE (NEC) NATIONAL FIRE PROTECTION AGENCY (NFPA) FLORIDA BUILDING CODE.
11.	WHERE CONDUIT IS INACCESSIBLE, REMOVE CONDUCTORS AND CUT BACK CONDUIT FLUSH WITH SLAB OR WALL. PATCH OPENING TO MATCH EXISTING FINISH. WHERE EXISTING WIRING EXTENDS OUTSIDE OF THE AREA BY NATURE OF THE ORIGINAL INSTALLATION, CONTRACTOR SHALL MODIFY EXISTING WIRING AS REQUIRED TO MAINTAIN CONTINUITY OF EXISTING CIRCUITRY SUCH THAT NO EQUIPMENT TO REMAIN IS LEFT WITHOUT SERVICE.
12.	THE CONTRACTOR IS TO GIVE THE OWNER AN OPPORTUNITY TO ACCEPT ANY ELECTRICAL ITEMS THAT WERE REMOVED FOR THEIR USE, SALVAGED MATERIALS, AND EQUIPMENT THE OWNER DOES NOT WISH TO KEEP SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.
13.	CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTING WHERE REQUIRED DURING DEMOLITION AND CONSTRUCTION SCOPE OF WORK.
14.	THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE TAKEN FROM ORIGINAL DRAWINGS PROVIDED BY THE OWNER AND FIELD INVESTIGATION. THE ACTUAL CONDITIONS MAY VARY. ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. THE CONDITIONS SHOWN ARE INTENDED TO SHOW THE LOCATIONS OF THE EXISTING EQUIPMENT, AND IN NO WAY RELIEVES THE CONTRACTOR FROM PROVIDING ANY AND ALL COORDINATION REQUIRED TO COMPLETE THE NEW WORK. FIELD CONDITIONS SHALL GOVERN.
15.	THE DEMOLITION PLAN IS NOT INCLUSIVE OF ALL ELECTRICAL DEVICES WITHIN THE PROJECT AREA. IT IS INTENDED TO PROVIDE THE CONTRACTOR WITH A GENERAL KNOWLEDGE OF THE EXISTING CONDITIONS WITHIN THE PROJECT AREA. ANY DISCREPANCIES OR CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
16.	ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONDUITS, NEW OR EXISTING WITHIN THE PROJECT AREA ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
17.	THE CONTRACTOR SHALL PHASE DEMOLITION WORK AS REQUIRED OR DIRECTED BY THE OWNER.
18.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR PATCHING ANY DAMAGE WHICH MAY OCCUR DURING DEMOLITION ACTIVITIES. REPAIRS TO BE DONE TO LOGICAL EDGES OF SURFACES AFFECTED, AND SHALL MATCH IMMEDIATE ADJACENT AREAS IN CONSTRUCTION, MATERIAL, FIRE RATING, FINISH AND COLOR.
19.	ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND SHALL BE COORDINATED WITH OTHER TRADES.

VOLTAGE DROP NOTE	
THE CONTRACTOR, AS PART OF HIS PRICING AND BIDDING, SHALL INCLUDE ALL LABOR, MATERIAL, EQUIPMENT AND TERMINATIONS, INCLUDING PER AND UTILITY REQUIREMENTS AND APPROVALS FOR ALL CONDUITING AND TERMINATIONS, TO SATISFY THE PROJECT REQUIREMENTS. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND INCLUDE ALL HIS BRANCH CIRCUIT, FEEDER, AND SERVICE CONDUCTOR CONDUITING AND WIRING LENGTHS AND ROUTING BASED ON HIS PROPOSED INSTALLATION MEANS AND METHODS. WIRING LENGTHS, SHOWN AS THE BASIS OF DESIGN LENGTHS, ARE MERELY AN APPROXIMATION BY THE CONSULTANT. THE CONTRACTOR SHALL USE THOSE BASIS OF DESIGN CONDUCTOR LENGTHS AND WIRING SIZES AS THE MINIMUM, NOT LIMITED TO, REQUIREMENTS FOR THE PROJECT BIDDING. THE CONTRACTOR, PRIOR TO BIDDING, SHALL CONFIRM ALL HIS PROPOSED LENGTHS, MAKE ANY AND ALL ADJUSTMENTS AS MAY IMPACT THE ELECTRICAL SYSTEMS AND EQUIPMENT FOR CODE COMPLIANCE AND CONSTRUCTABILITY, AND DOCUMENT ALL PROPOSED CHANGES AND ADJUSTMENTS TO THE ARCHITECT AS PART OF HIS BID RESPONSE. THE CONTRACTOR SHALL SUBMIT COMPLETE SCALED PROPOSED ROUTINGS FOR SERVICES AND FEEDERS, QUANTITIES AND CONDUITING, SECTIONS THRU BUILDING FOR RACKING, DUCT/BANK CROSS SECTIONS FOR CLEARANCES AND COORDINATED AS FREE OF ALL INTERFERENCES, ETC. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION TO THE ARCHITECT FOR REVIEW NO LATER THAN 3 WEEKS AFTER NOTICE TO PROCEED.	

GENERAL ELECTRICAL NOTES	
1.	DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFORM WITH OWNERS REPRESENTATIVES. CONTRACTOR SHALL REFER TO THE ENTIRE SET OF CONTRACT DOCUMENTS FOR PROJECT COORDINATION.
2.	ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EDITIONS CURRENTLY ADOPTED BY THE LOCAL AUTHORITIES HAVING JURISDICTION OF THE FOLLOWING: THE NATIONAL ELECTRICAL CODE (NFPA 70), NFPA 72, NFPA 75, THE FIRE PREVENTION CODE INCLUDING NFPA 1 & NFPA 101, NFPA 110, AND THE FBC, AND THE FFPC.
3.	UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THIN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THIN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THIN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS MUST COMPLY WITH ARTICLE 310 OF THE N.E.C.
4.	OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
5.	DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
6.	THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
7.	THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL BE PROVIDED TO MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
8.	ALL MATERIALS SHALL BE NEW AND SHALL BEAR UL LABELS WHERE APPLICABLE.
9.	ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR.
10.	THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY, TELEPHONE COMPANY, AND BROADBAND PROVIDER.
11.	CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS, BALANCE LOADS ON EACH PHASE.
12.	SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.
13.	FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY OWNER.
14.	ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
15.	CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED.
16.	ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
17.	CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS AND START UP.
18.	ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVERSE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF ENGINEER/ARCHITECT.
19.	ALL SYSTEMS AND ROUGH-IN SHALL BE CONCEALED IN FINISHED AREAS. COORDINATE WITH ARCHITECT.
20.	THE ELECTRICAL PORTION OF THE CONTRACT DOCUMENTS ARE COORDINATED WITH THE BASIS OF DESIGN EQUIPMENT SPECIFIED BY DIVISION 16 AND OTHER DIVISIONS. WHERE THE CONTRACTOR ELECTS TO SUBSTITUTE A PRODUCT IN LIEU OF PROVIDING THE DESIGN BASIS, AND SAID SUBSTITUTION IS ACCEPTED BY THE A/E AND OWNER, THE CONTRACTOR SHALL MAKE ALL CORRECTIONS TO THE ELECTRICAL SYSTEM NECESSARY IN ORDER TO ENSURE A COMPLETE AND OPERATIONAL INSTALLATION OF THE EQUIPMENT AT NO ADDITIONAL COSTS. WHERE THE CONTRACTOR'S DECISION TO SUBSTITUTE PRODUCTS OR MODIFY DESIGN REQUIRES A/E SERVICES, THE A/E RESERVES THE RIGHT TO REQUEST COMPENSATION FROM THE CONTRACTOR FOR SAID SERVICES.
21.	CONTRACTOR SHALL PROVIDE A CONTROLS TRADE SUBCONTRACTOR TO DESIGN AND INSTALL ALL CONTROLS TO MEET THE PROJECT REQUIREMENTS.

AIR CONDITIONING EQUIPMENT AND CONTROLS SPECIFICATION	
1.	ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONTROL RACEWAY (CONDUIT), WIRE INSTALLATION, CONNECTIONS ETC. IN ACCORDANCE WITH WIRING DIAGRAMS ON AIR EQUIPMENT.
2.	A/E ELECTRICAL PLANS OR DIAGRAMS FURNISHED BY MANUFACTURER OF THE EQUIPMENT.
3.	ALL POWER WIRING FOR THE AIR CONDITIONING EQUIPMENT SHALL BE FURNISHED, INSTALLED AND CONNECTED UNDER THIS SECTION OF THE SPECIFICATION.
4.	MECHANICAL CONTRACTOR SHALL PROVIDE MOTOR STARTERS FOR ALL AIR CONDITIONING EQUIPMENT. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONNECTIONS TO AIR CONDITIONING EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
5.	AIR CONDITIONING EQUIPMENT INCLUDES CONDENSER, COMPRESSOR AND FAN, FAN COIL UNITS, ELECTRICAL STRIP HEATER, THERMOSTAT, ETC.

ELECTRICAL SYMBOL LEGEND			
	110V RECEPTACLE		FUSE DISCONNECT
	QUAD-PLEX RECEPTACLE		ELECTRICAL CIRCUIT BREAKER
	WATER PROOF WITH WR TYPE RECEPTACLE		FACTORY INSTALLED DISCONNECT
	GROUND FAULT CIRCUIT INTERRUPTER		ELECTRICAL PANEL
	RECEPTACLE MOUNTED ABOVE COUNTER		ELECTRICAL METER
	VERIFY MOUNTING HEIGHT WITH OWNER/ARCHITECT PRIOR TO ROUGH-IN		LIGHTING CONTROL TIME CLOCK/PANEL
	SPECIAL PURPOSE OUTLET (VERIFY)		TELEPHONE BOARD
	FLOOR RECEPTACLE WITH COVER PLATE, FLUSH WITH FLOOR		SWITCH
	CEILING RECEPTACLE		3-WAY SWITCH
	FLOOR RECEPTACLE/TELE/FAX/DATA WITH COVER PLATE, FLUSH WITH FLOOR		4-WAY SWITCH
	FLOOR TELE/FAX/DATA PORT WITH COVER PLATE, FLUSH WITH FLOOR		DIMMER SWITCH
	TELE/FAX/DATA PORT **		MANUAL MOTOR STARTER
	CEILING TELE/FAX/DATA PORT **		PUSH BUTTON
	TELEVISION JACK **		SENSOR DOOR OPENER/CARD READER ** BY OTHERS
	JUNCTION BOX		ALARM BY OTHERS **
	POWER POLE		ISOLATED OTHERS
	RECESSED JUNCTION BOX FOR SYSTEM FURNITURE POWER		ABOVE SHOW WINDOW
	RECESSED JUNCTION BOX FOR SYSTEM FURNITURE TELEPHONE/DATA		CEILING MOUNTED
	EXHAUST FAN		ABOVE COUNTER
	THERMOSTAT		UNDER COUNTER
	REMOTE ALARM TEST STATION		ABOVE FINISHED FLOOR
	SMOKE DUCT DETECTOR		VERIFY IN FIELD
	STEP DOWN TRANSFORMER		TELEPHONE GROUND BAR
	CENTRAL CONTROL PANEL		EXISTING - COORDINATE REPLACING COVER PLATES W/ OWNER/ARCH
	SECURITY CAMERA ** BY OTHERS		RELOCATED EXISTING - COORDINATE REPLACING COVER PLATES W/ OWNER/ARCH
	NO SYMBOL		NEW

* NOTE: ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT
** PROVIDE 1" WITH PULL WIRE UNLESS OTHERWISE NOTED. STUB UP 6" ABOVE CEILING.
NOTES: RECEPTACLES ARE TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED. SWITCHES ARE TO BE MOUNTED AT 48" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

SPECIAL PURPOSE OUTLET NOTES	
1.	CONTRACTOR IS CAUTIONED TO OBTAIN COMPLETE EQUIPMENT PRODUCT DATA FROM ARCHITECT, PRIOR TO BIDDING AND ROUGH-IN.
2.	CONTRACTOR SHALL PROVIDE NEMA OUTLET TO MEET PROJECT AND EQUIPMENT REQUIREMENTS.
3.	CONTRACTOR TO PROVIDE MATCHING NEMA CAP/CORD AS REQUIRED.

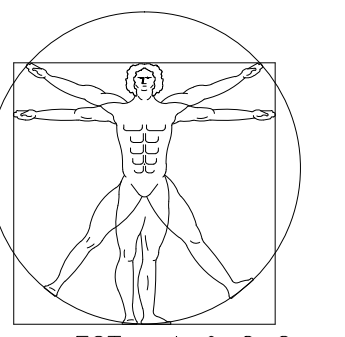
UL LISTING AND NRTL CERTIFICATIONS NOTE	
CONTRACTOR/MANUFACTURER SHALL PROVIDE COMPLETE DOCUMENTATION AND CERTIFICATIONS FOR ANY EQUIPMENT THAT HE PROPOSES WITH A NRTL (NATIONALLY RECOGNIZED TESTING LAB) LISTING AND LABELING EQUIVALENT TO THE BASIS OF DESIGN UL LISTING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ACCEPTABILITY BY THE LOCAL AHJ AND AGENCIES FOR THE NRTL LISTING AND CERTIFICATION FOR THE PRODUCTS HE PROPOSES AND DEMONSTRATE SUCH AS PART OF THE PRODUCT DATA SUBMISSION AND INSTALLATION.	

FLORIDA BUILDING CODE 2014 CONFORMANCE	
1.	CONTRACTOR TO PROVIDE ALL LABOR AND MATERIAL TO CONFORM TO FBC 2014. ENERGY COMPLIANCE, RELATED SECTIONS, AND STANDARDS.
2.	OWNER SHALL PROVIDE SERVICES OF AN INDEPENDENT COMMISSIONING AGENT(A) TO PREPARE FUNCTIONAL TEST PROCEDURES (DOCUMENT SYSTEMS PERFORMANCE, WITNESS CONTRACTOR TESTING), AS REQUIRED BY FBC FOR LIGHTING AND HVAC SYSTEMS.
3.	CONTRACTOR SHALL PROVIDE SERVICES TO TEST, BALANCE AND COMMISSION THE SYSTEM VIA AN INDEPENDENT AGENT FOR THE MECHANICAL SYSTEMS ENERGY PERFORMANCE.
4.	CONTRACTOR TO PROVIDE COMPLETE CERTIFICATIONS AND CHECKLISTS AS REQUIRED BY FBC FOR HIS WORK RESPONSIBILITIES.

PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.
PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.



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REVISIONS	NO.
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DATE 06-30-16

SCALE AS NOTED

DRAWN RB/FR/JS

CHECKED DA/SR

REG No. 16028

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OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

RESTROOM ELECTRICAL PLAN

E1.1

LIGHTING NOTES

1. ALL EXIT, EMERGENCY, AND BATTERY PACKS IN FLUORESCENT FIXTURES TO BE WIRED AHEAD OF CONTROL SWITCH.
2. ALL WALL MOUNTED EMERGENCY LIGHT FIXTURES SHALL BE MOUNTED AT HEIGHTS INDICATED ON THE PLANS.
3. ALL DIMMER SWITCHES SHALL HAVE A PRESET MINIMUM RATING OF 10 KW.
4. ALL FIXTURE COUNTS, SELECTIONS, AND EXACT LOCATIONS MUST BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO PURCHASE. CONFIRM ALL LIGHT FIXTURE MODEL NUMBERS, FINISH COLORS AND ELECTRICAL REQUIREMENTS BEFORE ORDERING AND INSTALLATION.
5. CONTRACTOR TO VERIFY IF ANY LOW VOLTAGE LIGHT FIXTURES REQUIRE STEP-DOWN TRANSFORMERS, QUANTITY AND LOCATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. PROVIDE ALL TRANSFORMERS AND INCLUDE IN BID.
6. ALL FIXTURES TO HAVE ILL CERTIFICATION.
7. ALL EXISTING AND NEW LUMINAIRES SHALL COMPLY WITH SECTION 4.10.130(G) DISCONNECTING MEANS OF THE NEC.
8. CONTRACTOR TO PROVIDE LUMINAIRES TO CONFORM TO ENERGY CODE, THERMAL ENVELOPE RATINGS.

ENERGY COMPLIANCE NOTE

1. AN AUTOMATIC TIME CLOCK SHALL BE THE MEANS OF LIGHTING SHUTOFF PER FBC ENERGY CONSERVATION SECTION FOR ALL AREAS WHERE OCCUPANCY SENSORS ARE NOT USED, AND IT SHALL CONTAIN AN ASTRONOMICAL TIMECLOCK TO SHUT THE TENANT SPACE DOWN AT A SCHEDULED TIME OF DAY.
2. ALL LIGHT CIRCUITS THAT ARE NOT WIRED THROUGH THE ASTRONOMICAL TIME CLOCK SHALL BE CONTROLLED BY OCCUPANCY SENSORS WHICH MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE.
3. RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER AS SPECIFIED IN FLORIDA BUILDING CODE ENERGY CONSERVATION SECTION.

ENERGY COMPLIANCE NOTE

1. AN AUTOMATIC TIME CLOCK SHALL BE THE MEANS OF LIGHTING SHUTOFF PER FBC ENERGY CONSERVATION SECTION FOR ALL AREAS WHERE OCCUPANCY SENSORS ARE NOT USED, AND IT SHALL CONTAIN AN ASTRONOMICAL TIMECLOCK TO SHUT THE TENANT SPACE DOWN AT A SCHEDULED TIME OF DAY.
2. ALL LIGHT CIRCUITS THAT ARE NOT WIRED THROUGH THE ASTRONOMICAL TIME CLOCK SHALL BE CONTROLLED BY OCCUPANCY SENSORS WHICH MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE AND SHALL EITHER BE MANUAL ON OR TURN ON AUTOMATICALLY TO NOT MORE THAN 50% OF FULL POWER.
3. RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER AS SPECIFIED IN FLORIDA BUILDING CODE ENERGY CONSERVATION SECTION.

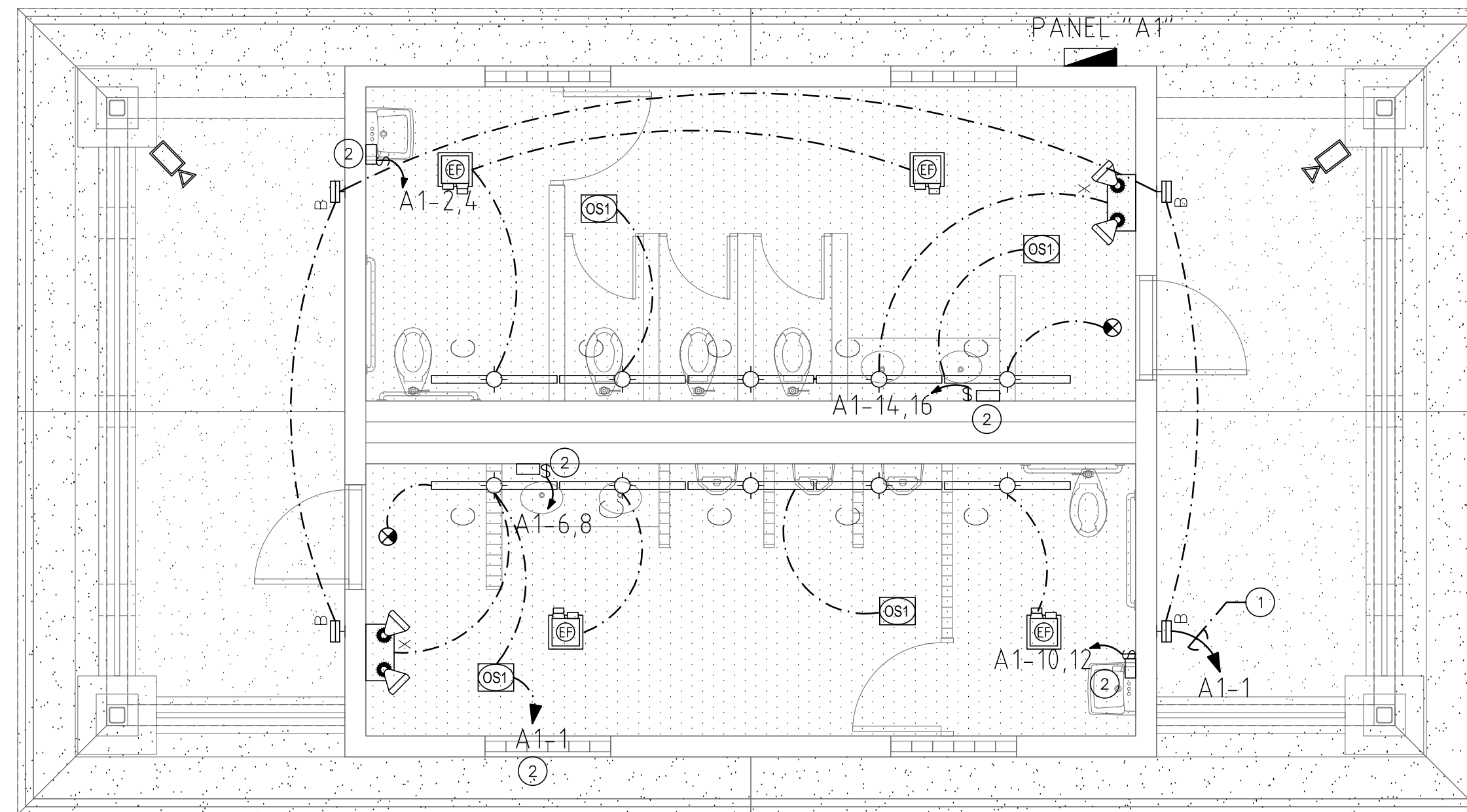
KEY NOTES

1. CIRCUIT CONTROLLED THROUGH AN ASTRONOMICAL TIME CLOCK, FOR COMPLIANCE WITH FBC FBC ENERGY CONSERVATION SECTION. TIME CLOCK MOUNTED AT EXISTING AMPHITHEATRE.
2. PROVIDE DISCONNECT SWITCH FOR INSTAHOT. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH SUPPLIER AND OWNER PRIOR TO ROUGH-IN.



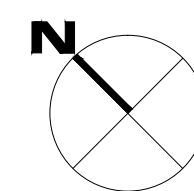
KEY PLAN

N.T.S.



RESTROOM (TYPICAL OF 2) ELECTRICAL PLAN

1/4" = 1'-0"



LIGHTING CONTROL SYMBOL LEGEND	
	7-DAY FULL YEAR LIGHTING CONTROL WITH ASTRONOMICAL TIME CLOCK. LCD BLUE BOX
	WALL MOUNTED OCCUPANCY SENSOR SWITCH WSD-PDT
	WALL MOUNTED OCCUPANCY SENSOR 2-POLE MODEL - SENSOR SWITCH WSD-PDT-2P CAPABLE OF SWITCHING SEPARATE VOLTAGES ON EACH POLE
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	LCD OVERRIDE SWITCH WITH PILOT LIGHT, 4 HOUR MAX TIME DELAY MODEL CH-W (OF BUTTONS)
	CEILING MOUNTED OCCUPANCY SENSOR SWITCH CMR PDT 9 LINE VOLTAGE
	CEILING MOUNTED OCCUPANCY SENSOR SWITCH CMR PDT 10 LINE VOLTAGE
	EXHAUST FAN
<b>NOTE:</b> ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT.	

LIGHTING CONTROL SYMBOL LEGEND

TYPE	DESCRIPTION	MFG	CATALOG NUMBER	VOLTS	LAMPS	WATTS	MOUNTING
(B)	WALL MOUNTED FIXTURE	LUMINAIRE LED	NRV13 SERIES	120	(1) 25W LED	25	WALL
(L)	WALL MOUNTED FIXTURE	EATON	FCC SERIES	120	(1) 45.2W LED	45.2	WALL
(X)	EMERGENCY UNIT	WITH MINIMUM 90 MINUTE BATTERY	TO BE SPECIFIED BY OWNER, FURNISHED AND AND INSTALLED BY CONTRACTOR	120	LED		

**NOTES:**

1. PROVIDE ELECTRONIC BALLAST FOR ALL FLUORESCENT LAMPED FIXTURES.
2. MINIMUM FLUORESCENT LAMP COLOR TEMPERATURE SHALL BE 3500K.
3. VERIFY BALLAST REQUIREMENTS FOR ALL FLUORESCENT FIXTURES. PROVIDE ELECTRONIC DIMMING BALLASTS FOR SPECIFIC FIXTURES INDICATED WITH DIMMER CONTROL.
4. VERIFY ALL FIXTURE SELECTIONS PRIOR TO PURCHASE WITH OWNER/ARCHITECT.

PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFYABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PROGRESS SET: 08/22/16



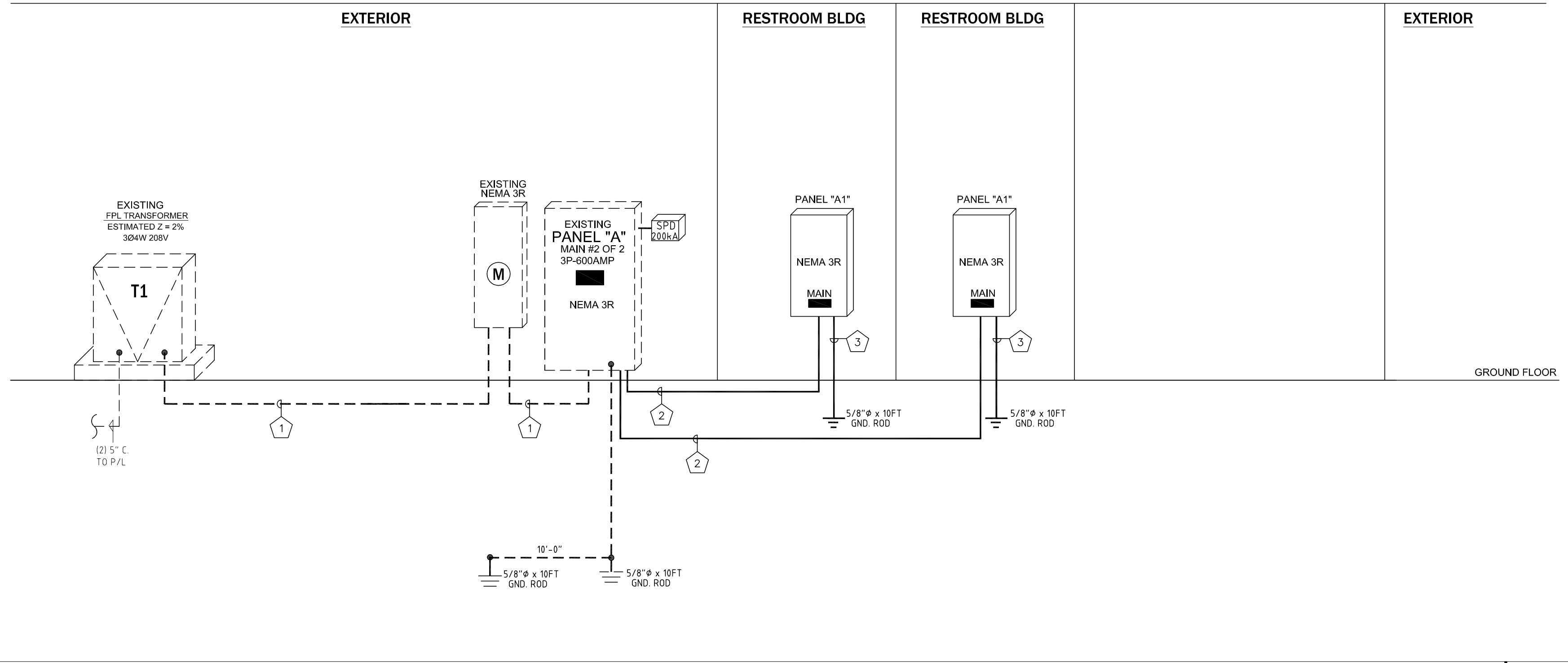
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CERTIFICATE OF AUTHORIZATION NO. 2B107  
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DESIGNED BY: RB/FR/JS PM: BJ P/N 16028

**ELECTRICAL SERVICE & PANEL NOTES**

- ALL ELECTRICAL SERVICE EQUIPMENT SHALL HAVE MIN A.I.C. RATING OF 22,000 AMPS. ALL EQUIPMENT LOCATED ON EXTERIOR OF BUILDING SHALL BE NEMA-3R RATED.
- ALL ELECTRICAL EQUIPMENT AND WIRE SHALL BE RATED @ 75°C CONTINUOUS DUTY.
- PRIOR TO CONSTRUCTION, THE ELECTRICAL CONTRACTOR SHALL:
  - VERIFY ALL EXISTING CONDITIONS IN FIELD.
  - COORDINATE THE ELECTRICAL SERVICE WITH FP&L REPRESENTATIVE.
  - NOTIFY THE ENGINEER OF ANY CHANGES REQUIRED TO COMPLETE NEW CONSTRUCTION.
- ALL ELECTRICAL EQUIPMENT SHALL BE FIELD MARKED TO WARN OF POTENTIAL ELECTRICAL ARC FLASH HAZARDS. THE MARKING SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE BEFORE ANY EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE OF THE EQUIPMENT.
- EACH DISCONNECT SHALL BE LEGIBLY MARKED TO INDICATE THE UNIT IT IS FEEDING. THE MARKING SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.

**ALUMINUM NOTES(OWNER/CONTRACTOR BID OPTION)**

- ALL EQUIPMENT USED WITH ALUMINUM CONDUCTORS MUST BE LISTED FOR THE PURPOSE.
- ALL ALUMINUM CONDUCTORS SHALL BE TERMINATED WITH HARDWARE AND COMPRESSION LUGS APPROVED FOR THE PURPOSE.
- ALL COMPRESSION LUGS SHALL BE CHECKED 3, 6, & 11 MONTHS AFTER C.O. AND EVERY THREE YEARS THEREAFTER. BUILDING OWNER SHALL HAVE A MAINTENANCE CONTRACT WITH ELECTRICAL CONTRACTOR OF CHOICE. CONTRACTOR SHALL DOCUMENT ALL MEASUREMENTS AND VERIFICATION IN TABULAR FORM. PROVIDE CORRECTIVE RECOMMENDATIONS, ACTIONS TAKEN, AND TESTING EQUIPMENT UTILIZED.
- THE ELECTRICAL CONTRACTOR MUST TORQUE ALL ALUMINUM TERMINATIONS IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.
- PRIOR TO TERMINATING ALUMINUM CONDUCTORS, THE CONTRACTOR MUST CLEAN WIRE THOROUGHLY WITH WIRE BRUSH AND APPLY AN ANTI-OXIDANT COMPOUND.
- ALL BRANCH CIRCUITS FROM PANELS MUST BE COPPER.
- ALL GROUNDING SHALL BE COPPER.
- UL LISTED LUGS SHALL BE RATED FOR 90°C WHERE ALUMINUM WIRE IS USED.
- THE ELECTRICAL CONTRACTOR SHALL PERFORM MEGGER TEST ON ALL ALUMINUM FEEDERS AND PROVIDE RESULTS TO ENGINEER.
- PIN CONNECTORS ARE NOT ACCEPTABLE FOR USE.
- ALL ALUMINUM FEEDERS SHALL BE: ALUMA FLEX COMPACT STRANDED THWN-2.



**RISER NO.1** **PROPOSED ELECTRICAL RISER DIAGRAM** **NOT TO SCALE**

MFG. SQUARE D <sup>®</sup> OR EQUAL		TYPE NO. 12		PANEL RATING 100		AMPS	
VOLTS 120/208V 3Ø4W		PANEL "A1"					
BUS KVA	LOAD	COND.	WIRE SIZE	GND	AMPS	CKT.	AMPS
0.5	LIGHTING - RESTROOM	1/2"	#12	#12	20	1	25
	SPACE	-	-	-	-	3	4
	SPACE	-	-	-	-	5	6
	SPACE	-	-	-	-	7	8
	SPACE	-	-	-	-	9	10
	SPACE	-	-	-	-	11	12
	SPACE	-	-	-	-	13	14
	SPACE	-	-	-	-	15	16
	SPACE	-	-	-	-	17	18
KVA ØA 5.9		KVA ØB 5.4		KVA ØC 3.6		REMARKS & KEY NOTES:	
AMP ØA 49.2		AMP ØB 45.0		AMP ØC 30.0		① 3P-100AMP M.C.B. ELECTRICAL CONTRACTOR SHALL PROVIDE AN ACCURATE PER FIELD CONDITIONS, TYPED UP PANEL SCHEDULE UPON COMPLETION OF THE PROJECT. ② VERIFY ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PRIOR TO CONSTRUCTION. ALL EQUIPMENT'S ELECTRICAL REQUIREMENTS SHALL BE CONFIRMED WITH MFG SPECS. VERIFY VOLTAGE, AMPERAGE, AND BREAKER SIZES. ③ PER MANUFACTURER RECOMMENDATIONS	

MFG. EXISTING		TYPE EXISTING 12		PANEL RATING 600		AMPS	
VOLTS 120/208V 3Ø4W		PANEL "A"					
BUS KVA	LOAD	COND.	WIRE SIZE	GND	AMPS	CKT.	AMPS
0.5	LIGHTING - GREEN ROOMS	1/2"	#12	#12	20	1	25
	LIGHTING - STAGE	1/2"	#12	#12	20	3	4
	LIGHTING - BACKSTAGE	1/2"	#12	#12	20	5	6
	LIGHTING - EXTERIOR	1/2"	#12	#12	20	7	8
	SPARE	-	-	-	-	9	10
	INSTAHOT	3/4"	#10	#10	25	11	12
	INSTAHOT	3/4"	#10	#10	25	13	14
	INSTAHOT	3/4"	#10	#10	25	15	16
	SPACE	-	-	-	-	17	18
	SPACE	-	-	-	-	19	20
	SPACE	-	-	-	-	21	22
	SPACE	-	-	-	-	23	24
	TRANSFORMER COMPANY SWITCH (LTG)	2-1/2"	#3	#6	200	25	28
	COMPANY SWITCH	1-1/4"	#3	#8	100	27	28
	TRANSFORMER COMPANY SWITCH (AUDIO)	1-1/4"	#3	#8	100	30	31
	COMPANY SWITCH	1-1/4"	#3	#8	100	32	33
	COMPANY SWITCH	1-1/4"	#3	#8	100	34	35
	COMPANY SWITCH	1-1/4"	#3	#8	100	36	37
	COMPANY SWITCH	1-1/4"	#3	#8	100	38	39
	COMPANY SWITCH	1-1/4"	#3	#8	100	40	41
KVA ØA 53.7		KVA ØB 52.8		KVA ØC 50.4		REMARKS & KEY NOTES:	
AMP ØA 447.5		AMP ØB 440.0		AMP ØC 420		① 3P-600AMP M.C.B. ELECTRICAL CONTRACTOR SHALL PROVIDE AN ACCURATE PER FIELD CONDITIONS, TYPED UP PANEL SCHEDULE UPON COMPLETION OF THE PROJECT. ② VERIFY ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PRIOR TO CONSTRUCTION. ALL EQUIPMENT'S ELECTRICAL REQUIREMENTS SHALL BE CONFIRMED WITH MFG SPECS. VERIFY VOLTAGE, AMPERAGE, AND BREAKER SIZES. ③ PER MANUFACTURER RECOMMENDATIONS ④ EXISTING CIRCUIT BREAKER AND BRANCH CIRCUIT TO REMAIN ⑤ CONNECT FEEDER TO EXISTING SPARE BREAKER AS INDICATED	

**FEEDER SIZE KEY NOTES**

- EXISTING 600AMP FEEDER
- 4#3/0 & 1#6 GND THWN CU IN 3-1/2" C (BASED ON 500 FEET AND Vd = 2% MAX)
- 1 # 6 CU

**LEGEND**

NEW ————

EXISTING - - - - -

REVISIONS	NO.

DATE 06-30-16

SCALE AS NOTED

DRAWN RB/FR/JS

CHECKED DA/SR

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**PROGRESS SET: 08/22/16**

**F&E CONSULTING**

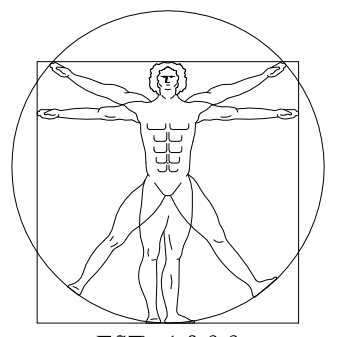
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**ELECTRICAL RISER, PANEL SCHEDULES**

**E3.1**



EST. 1988

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 at  
**COMMONS PARK**

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**ELECTRICAL SITE PLAN**

**ES1.1**



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**1 ELECTRICAL SITE PLAN**  
 1" = 100'-0"



**CONTRACTOR GENERAL CONDITIONS NOTES**

- RFIS: CONTRACTOR SHALL SUBMIT RFIS WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
- SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS, PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
- DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.
- SUBSTITUTIONS:
  - CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
  - PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
  - PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME.
  - PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPTION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
  - CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR.
- AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
- INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS: CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

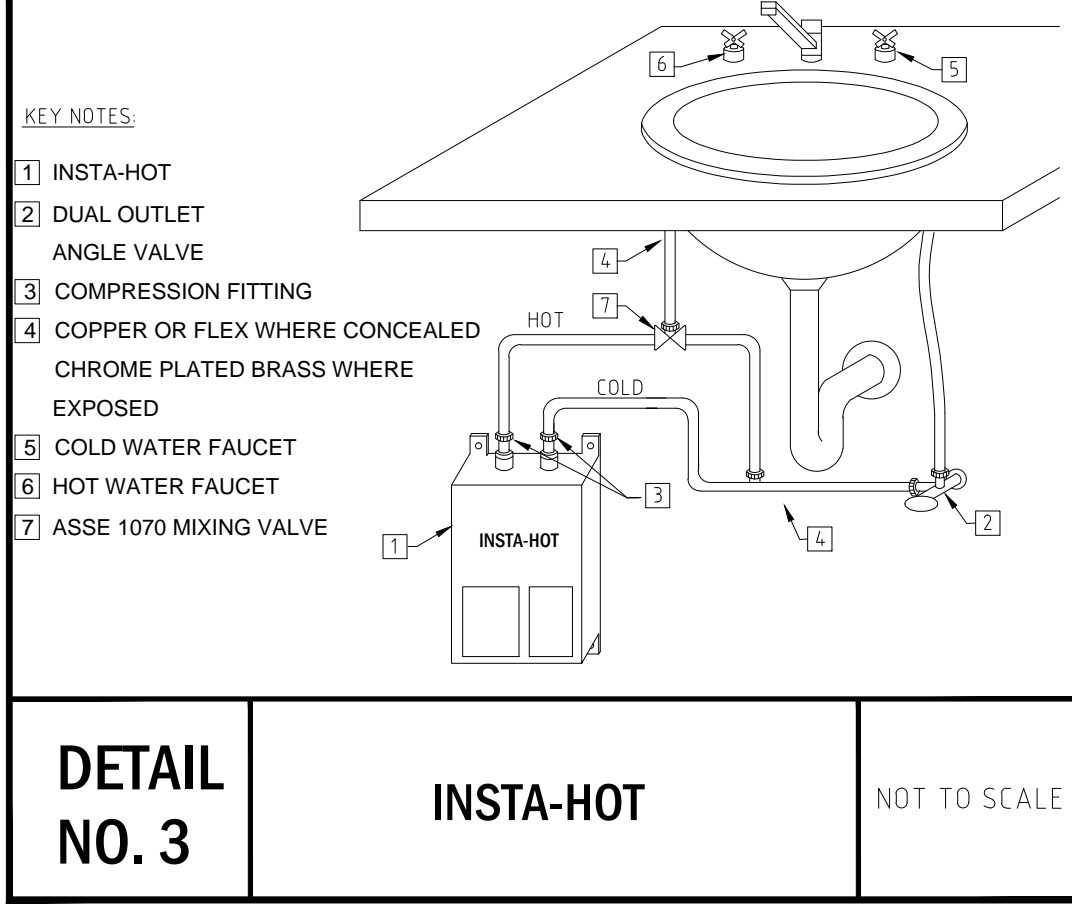
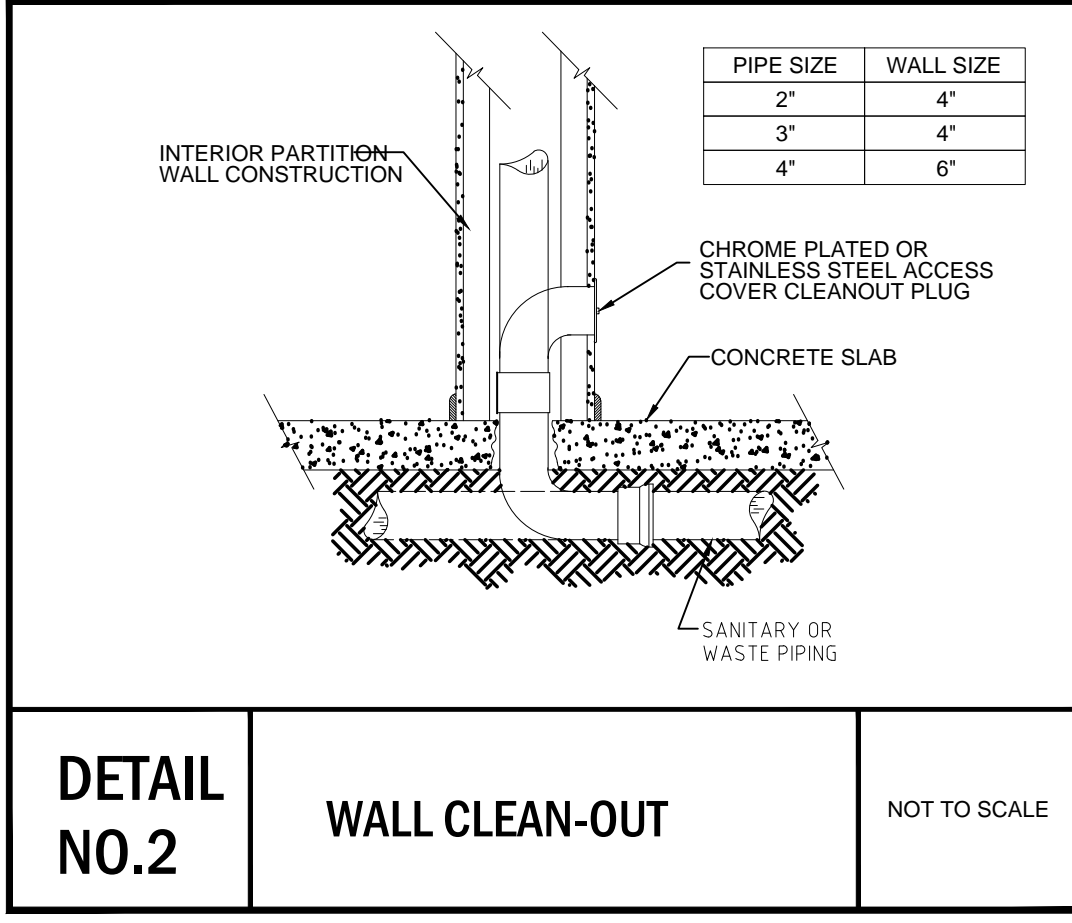
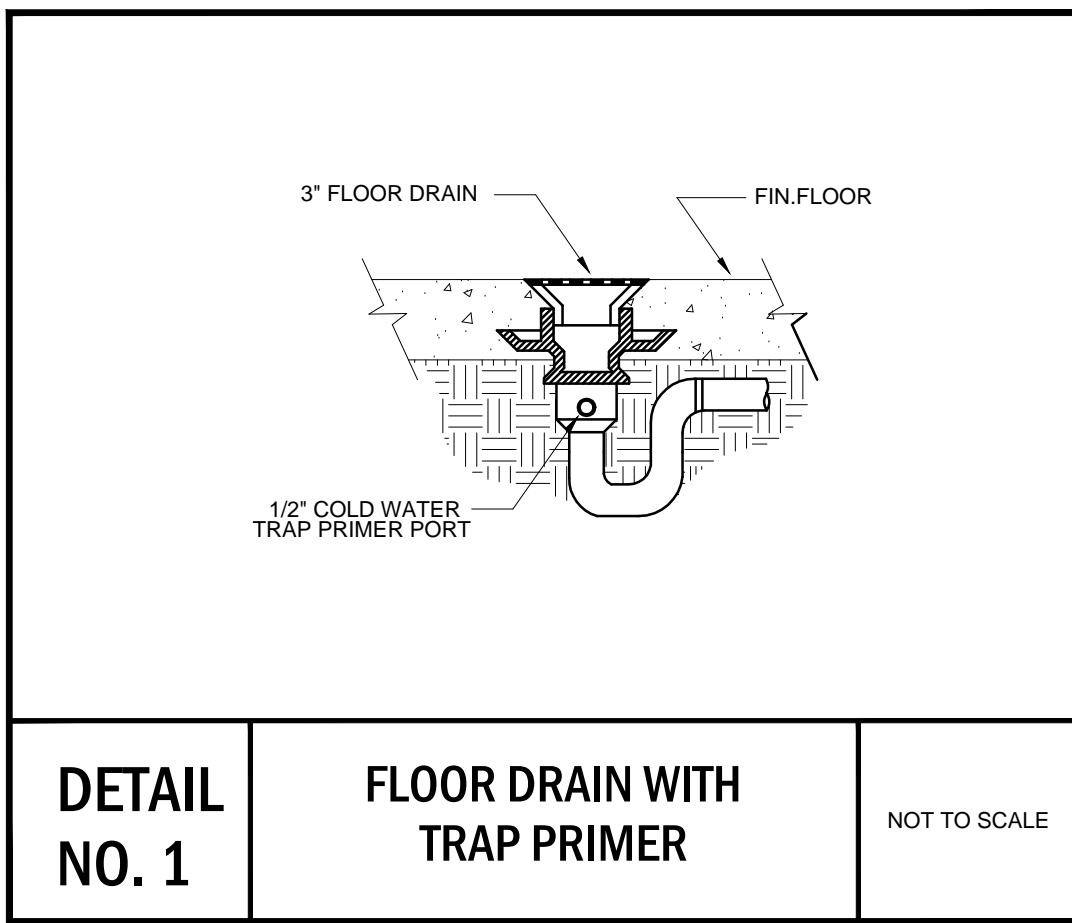
**SCOPE OF WORK**

THIS PROJECT IS NEW CONSTRUCTION OF A RESTROOM. PLUMBING WORK INCLUDES SANITARY AND WATER DESIGN OF NEW BATHROOMS.

**PLUMBING SPECIFICATIONS**

ALL WORK TO BE DONE IN ACCORDANCE WITH THE DISTRICT MASTER SPECIFICATIONS (DMS) AND THE FLORIDA BUILDING CODE 2014, FIFTH EDITION OF THE PLUMBING SECTION AND TO COMPLY WITH ALL LOCAL RULES AND ORDINANCES.

- ALL WORKMANSHIP & MATERIALS TO BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
- CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- ALL MATERIALS TO BE NEW.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORKMAN MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
- ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
- EXISTING PIPE SIZES TO BE VERIFIED BY THE PLUMBER AND UPGRADED IF NOT LARGE ENOUGH TO ACCOMMODATE LOAD.
- ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- THE CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
- DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
- DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
- VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE CONTRACTOR.
- INSTALL SIOUX CHIEF 650 SERIES WATER HAMMER ARRESTORS IN PIPING TO QUICK-CLOSING VALVES AS DEFINED IN FLORIDA PLUMBING CODE.
- PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
- ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
- CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO EQUIPMENT AND ACCESSORIES ARE MADE.
- SANITARY PIPE 2 1/2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 3" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
- WHERE SOIL CONDITIONS REQUIRE THE USE OF PIER OR PILING SUPPORTED GRADE BEAM CONSTRUCTION OR IN FILLED GROUND WHERE THE SOIL COMPACTION IS LESS THAN 95% THE SANITARY PIPING TO BE INSTALLED BY TRENCHING INTO THE FILL, AND THEN PUTTING HANGERS WITH SUPPORT RODS ON THE PIPES AS THEY ARE INSTALLED. THE HANGER RODS EXTENDING UPWARD TO BE EMBEDDED IN AND ANCHORED IN THE CONCRETE PER ASTM F2536-06B AND UNDERGROUND PIPE TO CONFORM TO ASTM STANDARD D2665.
- DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT.
- WATER PIPING TO BE TYPE "L" COPPER ABOVE AND TYPE "K" COPPER BELOW GRADE.
- SOIL, WASTE, VENT AND STORM PIPING TO BE PVC SCHEDULE #40 DWV CONFORMING TO ASTM D2665 FOR UNDERGROUND AND AS PER FLORIDA BUILDING CODE PLUMBING 2014 TABLE 702.2 & 702.3. CAST IRON SHALL BE USED IN COMMON PLENUM AREAS.
- RAINWATER/STORMWATER TO BE SCHEDULE #40 DWV, INSULATE WITH ARMAFLEX INSULATION WHEN IN COMMON PLENUM.
- HOT WATER, TEMPERED WATER AND HOT WATER RETURN PIPES TO BE INSULATED WITH ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER 2014 FBC PLUMBING 607.2.1.
- THE DISCHARGE WATER TEMPERATURE FROM LAVATORIES, BIDETS & GROUP WASH FIXTURES LOCATED IN PUBLIC TOILET FACILITIES PROVIDED FOR CUSTOMERS, PATRONS AND VISITORS SHALL BE LIMITED TO A MAXIMUM TEMPERATURE OF 110°F (43°C) BY A WATER TEMPERATURE LIMITING DEVICE CONFORMING TO ASSE 1070 OR CSA B125.3.
- WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
- ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/OR FLOORS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLY. (EQUAL TO WALL FIRE RATINGS - SEE ARCHITECTURAL DRAWINGS).
- HOT WATER EXPANSION LOOPS SHALL BE INSTALLED AS REQUIRED TO PARTLY ABSORB TENSION OR COMPRESSION PRODUCED DURING ANTICIPATED CHANGE IN TEMPERATURE. INSTALL EXPANSION JOINTS OF SIZES OF PIPING IN WHICH THEY ARE INSTALLED. INSTALL ALIGNMENT GUIDES TO GUIDE EXPANSION AND TO AVOID LOADING STRESS.
- NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
- WHERE CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.
- CONDENSATE LINES TO BE COPPER/PVC DEPENDING ON PROJECT REQUIREMENTS. INSULATE WITH ARMAFLEX INSULATION
- FLUSH OUT EXISTING WATER PIPING, STERILIZE THE NEW WATER PIPING LINES BY INTRODUCING IN THEM A SOLUTION OF CALCIUM HYPOCHLORITE OR CHLORIDE OF LIME. OPEN AND CLOSE ALL NEW VALVES WHILE SYSTEM IS BEING CHLORINATED. AFTER THE STERILIZING AGENT HAS BEEN APPLIED FOR 24 HOURS, TEST FOR RESIDUAL CHLORINE AT THE ENDS OF LINES. IF LESS THAN 10 PARTS PER MILLION IS INDICATED, REPEAT THE PROCESS. WHEN TESTS SHOW AT LEAST 10 PARTS PER MILLION OF RESIDUAL CHLORINE, FLUSH OUT THE SYSTEM UNTIL ALL TRACES OF THE CHEMICAL USED ARE REMOVED. MAKE NECESSARY CONNECTIONS TO STERILIZE PIPING.
- AFTER STERILIZATION HAS BEEN ACCOMPLISHED INITIATE A BACTERIOLOGICAL TEST PERFORMED BY AN APPROVED TESTING LABORATORY. WATER SHALL BE DRAWN FROM THE SYSTEM AT A POINT FURTHEST FROM THE WATER ENTRANCE TO THE BUILDING. A CERTIFIED TEST REPORT OF THESE TESTS RESULTS INDICATING SATISFACTORY COLIFORM COUNT, COLOR AND CHLORINE RESIDUAL SHALL BE PRESENTED TO THE ARCHITECT AND OWNER WHEN THE WATER SUPPLY PIPING SYSTEM IS SUBSTANTIALLY COMPLETED DURING CONSTRUCTION. ANOTHER SIMILAR TEST SHALL BE PERFORMED AT THE TIME OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY WITH ANOTHER CERTIFIED TEST REPORT PRESENTED TO THE ARCHITECT AND OWNER AT THAT TIME.
- FEDERAL LAW MANDATES AS OF JANUARY 4, 2014 THE WETTED SURFACE OF EVERY PIPE, FIXTURE AND FITTING INSTALLED IN POTABLE WATER APPLICATIONS SHALL NOT CONTAIN MORE THAN 0.25% LEAD BY WEIGHT. SOLDER AND FLUX SHALL NOT CONTAIN MORE THAN 0.2% LEAD. NON-COMPLIANCE MAY RESULT IN FINES, INSTALLED PRODUCT REMOVAL COSTS, LAWSUITS BY PRIVATE PARTIES OR GOVERNMENT AGENCY.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
- CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.



**PLUMBING SHEET INDEX**

SHEET#	DESCRIPTION
P0.1	PLUMBING NOTES, DETAILS, & SPECS.
P1.2	RESTROOM PLUMBING PLAN & RISER DIAGRAMS

**PLUMBING FIXTURE UNIT CALCULATION**

SANITARY SIZING FIXTURE TYPE	NO.	F.U./EACH	TOTAL	MIN. TRAP SIZE
WATER CLOSET	5	4.0	20	3"
LAVATORY	6	1.0	6	1 1/4"
FLOOR DRAIN	2	2.0	4	2"
URNAL	3	4.0	12	
<b>TOTAL</b>	<b>33</b>		<b>42</b>	

TOTAL SANITARY FIXTURE UNITS = 42  
 MINIMUM SIZE SANITARY LINE @ 1/8" SLOPE = 4"  
 HOT & COLD WATER SIZING PER TABLE E103.3(2) F.B.C. 2014 (PLUMBING)

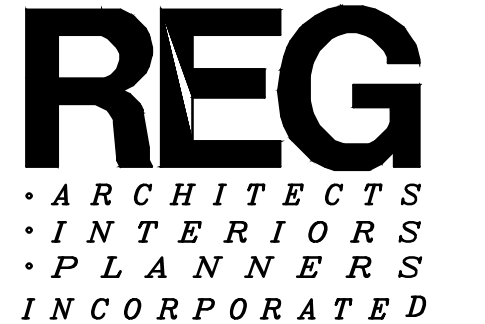
FIXTURE TYPE	NO.	C.W.F.U./EA.	H.W.F.U./EA.	PER FIXTURE TOTAL	MULTIPLIED TOTAL
WATER CLOSET	5	10.0		10.0	50
LAVATORY	6	1.5	1.5	2.0	12
URNAL	3	5.0	5.0	5.0	15
<b>TOTAL</b>	<b>14</b>				<b>77</b>

TOTAL C.W.F.U. = 77.161 GPM  
 MINIMUM SIZE WATER SERVICE = 2"

**PLUMBING FIXTURE SPECIFICATIONS**

- WATER CLOSET (HANDICAP) AMERICAN STANDARD "MADERA" FLO WISE WITH FLUSHOEMETER SLOAN CHROME MODEL#111-1.28 HET
- URNAL (HANDICAP) AMERICAN STANDARD WASHBROOK WALL HUNG URNAL WHITE MODEL #6590.001 W/ SLOAN FLUSHOEMETER CHROME MODEL#111-1.28 HET
- LAVATORY (HANDICAP) AMERICAN STANDARD "OHIO OVAL" COUNTER TOP LAVATORY MODEL #9439.004US, COLOR WHITE, ELECTRONIC FAUCET SET SLOAN ET#880-4-B-ADM, MCGUIRE OFFSET GRID STRAINER WITH TAIL PIPE MODEL #155WC, MCGUIRE 17 GAUGE CAST BRASS P-TRAP MODEL #8972, MCGUIRE WATER SUPPLY/STOP MODEL #170LK
- LAVATORY (HANDICAP) AMERICAN STANDARD "LUCERNE" WALL HUNG LAVATORY WHITE MODEL #9356.015 W/ ELECTRONIC FAUCET SET SLOAN ET#880-4-B-ADM MODEL#6053.205

- NOTES:  
OR APPROVED EQUAL TO BE SELECTED BY OWNER
- MOUNTING HEIGHT PER ADA STANDARD. INSULATE WATER AND DRAIN LINE.
  - PLUMBING CONTRACTOR TO PROVIDE AND INSTALL ALL PLUMBING FIXTURES COMPLETELY. PROVIDE CUT SHEETS FOR REVIEW PRIOR TO PURCHASE.
  - PLUMBING FIXTURES TO COMPLY WITH TABLE 604.4 F.B.C
  - ALL WALL HUNG PLUMBING FIXTURES SHALL COMPLY WITH F.B.C. 2517.5.1.1, 2517.5.1.2 AND 2517.5.1.3
  - ALL EXPOSED PIPING AND SURFACES UNDER LAVATORIES SHALL COMPLY WITH FBC.



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 CORPORATION NUMBER AA-0002447

**RESTROOM FACILITIES at COMMONS PARK**

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411

REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE 06-30-16  
 SCALE AS NOTED  
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**RESTROOM SCHEDULES & SPECS.**

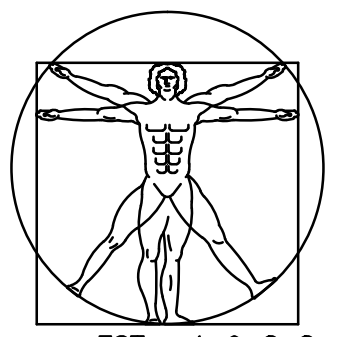
**P0.1**



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REVISIONS	NO.
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DATE 06-30-16

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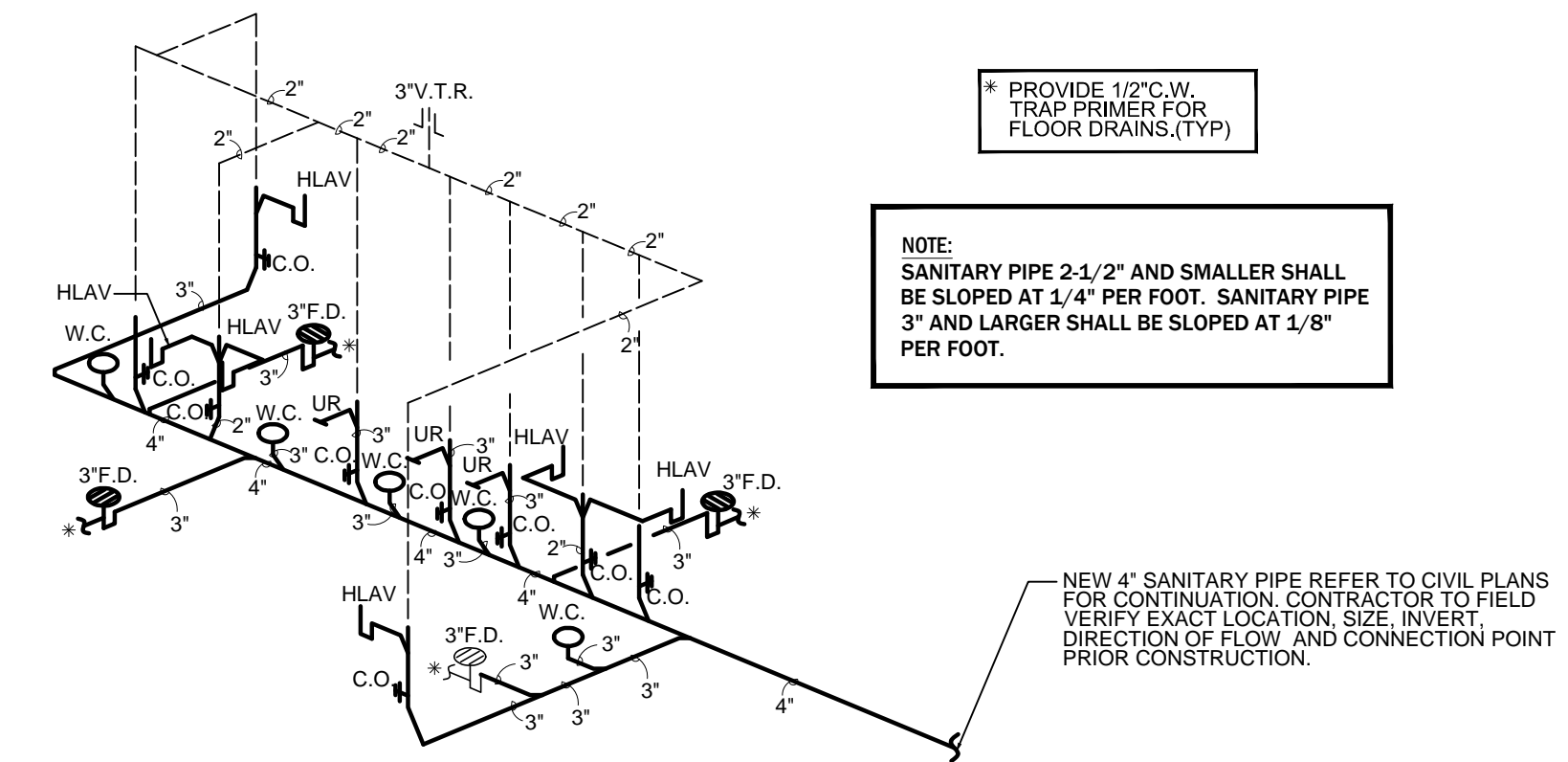
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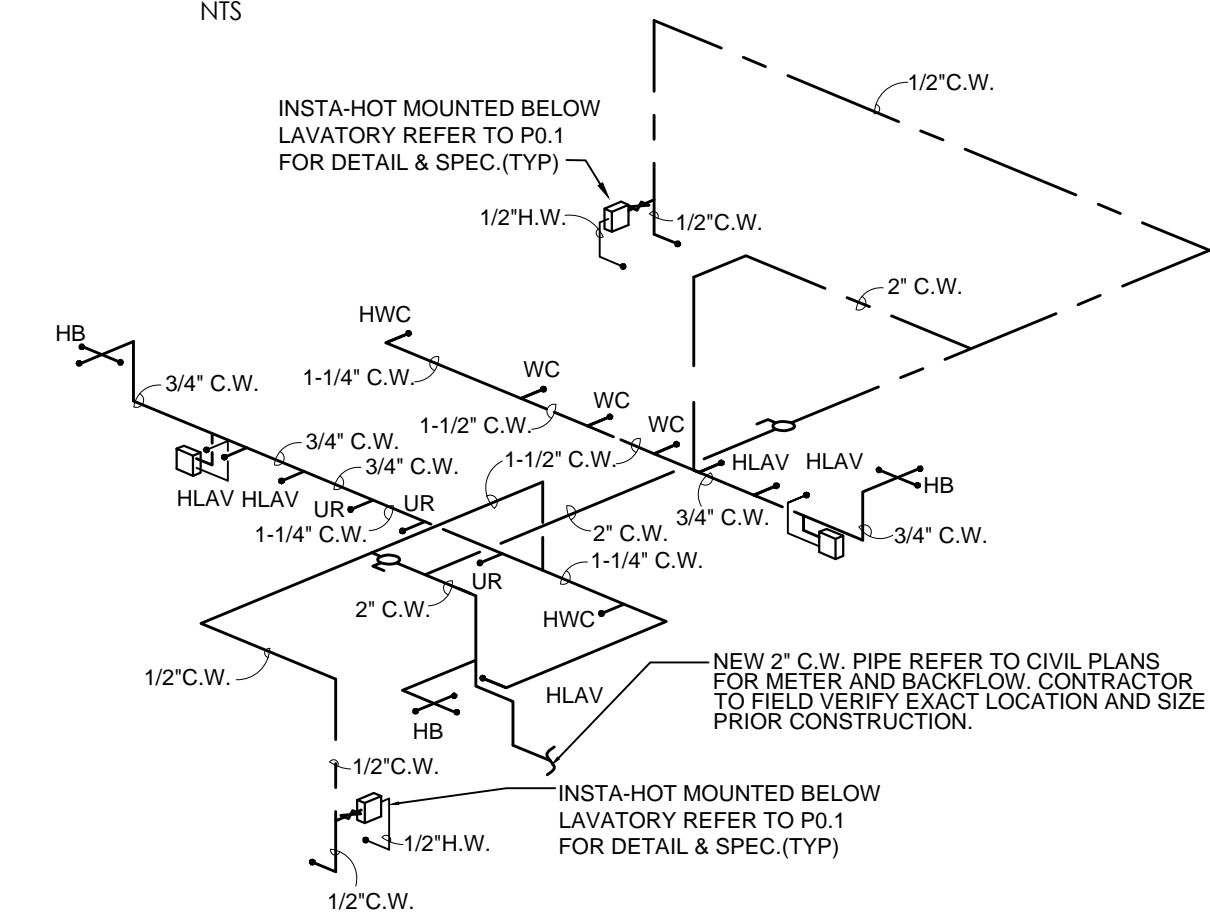
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**RESTROOM  
 PLUMBING PLAN  
 & RISER DIAGRAMS**

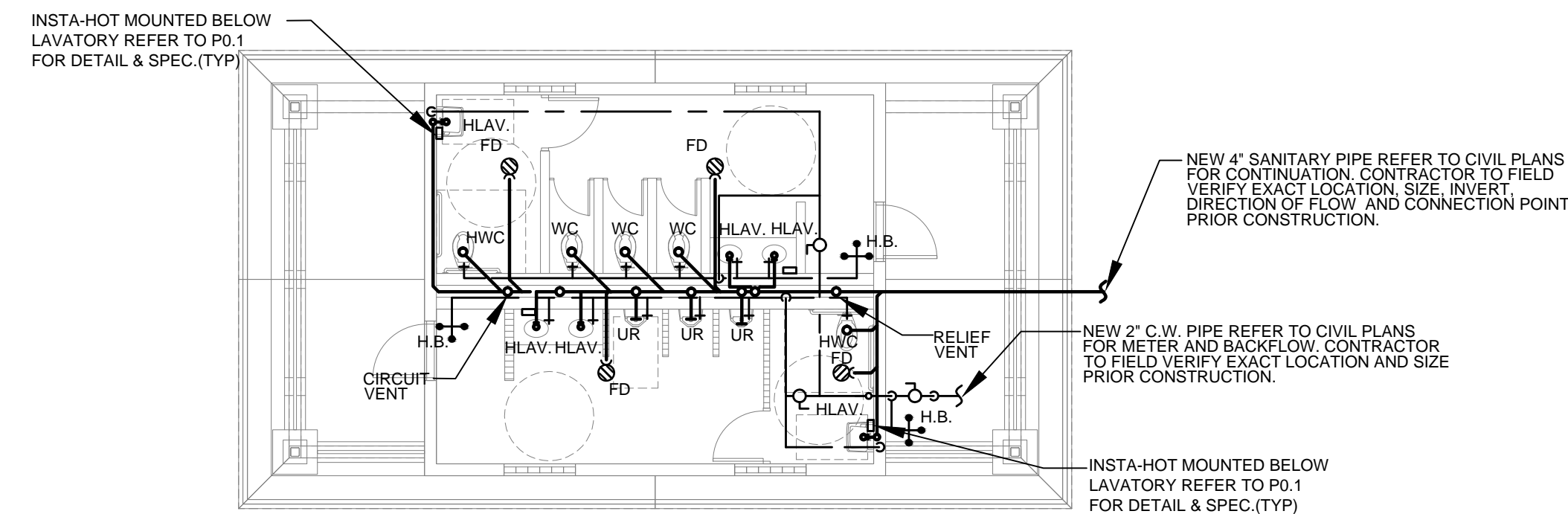
**P1.2**



**SANITARY RISER**



**WATER RISER**



1 RESTROOM PLUMBING PLAN  
 1/8" = 1'-0"

**PLUMBING LEGEND**

---	COLD WATER PIPING(C.W.)
---	SANITARY PIPING
---	VENT PIPING
→	PIPE TURN DOWN
←	PIPE TURN UP
○	STOP VALVE(ISO)
+	STOP VALVE(FLOOR PLAN)
⊕	TRAP
⊙	BALL VALVE
⊖	SHOCK ARRESTOR
⊗	FLOOR DRAIN (F.D.)
⊙	CONNECTION POINT
⊕	EWC ELECTRIC WATER COOLER
⊕	H.W.C. HANDICAP WATER CLOSET
⊕	HLAV. HANDICAP LAVATORY
⊕	C.O. CLEAN OUT
⊕	WC WATER CLOSET
⊕	UR URINAL

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