# AMPHITHEATRE / RESTROOMS

# AT ROYAL PALM BEACH COMMONS PARK

11600 POINCIÁNA BLVD. ROYAL PALM BEACH, FLORIDA 33411 REG PROJECT No. 15048

# CONSTRUCTION DOCUMENT SET AUGUST 30, 2016



Prepared for: VILLAGE OF ROYAL PALM BEACH 1050 ROYAL PALM BEACH BLVD. ROYAL PALM BEACH, FL 33411

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SHEET NO. TITLE

PROJECT TEAM

VILLAGE OF ROYAL PALM BEACH 1050 ROYAL PALM BEACH BLVD. ROYAL PALM BEACH, FL 33411 PHONE (561) 790-5100

#### ARCHITECT

REG ARCHITECTS - INTERIORS - PLANNERS, INC. RICK GONZALEZ, AIA, PRESIDENT MANUEL AYALA, AIA, PROJECT MANAGER 300 CLEMATIS STREET, 3RD FLOOR WEST PALM BEACH, FL 33401 PHONE (561) 659-2383

#### **STRUCTURAL**

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#### MECHANICAL, ELECTRICAL, PLUMBING

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#### LANDSCAPE ARCHITECT

JON E. SCHMIDT & ASSOCIATES JON E. SCHMIDT, PRESIDENT 2247 PALM BEACH LAKES BLVD. SUITE 101 WEST PALM BEACH, FL 33409 PHONE (561) 684-6141

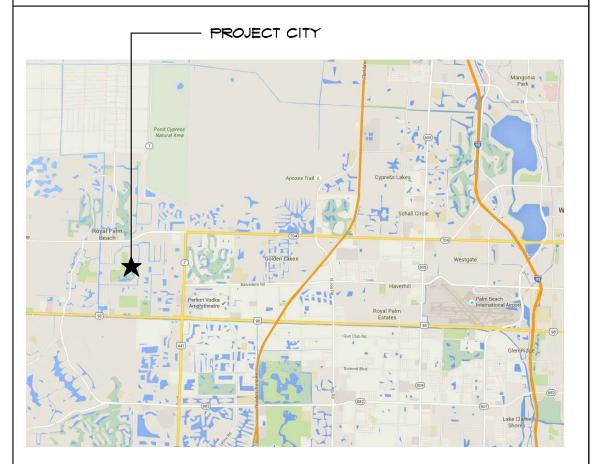
#### CIVIL ENGINEER

ENGENUITY GROUP INC. KEITH JACKSON, PE, VICE PRESIDENT ADAM SWANEY, PE, PROJECT MANAGER 1280 NORTH CONGRESS AVENUE, SUITE 101 WEST PALM BEACH, FL 33409 PHONE (561) 655-1151

#### ACOUSTICAL CONSULTANT

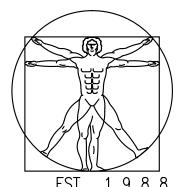
TSG DESIGN SOLUTIONS INC. STEPHEN PLACIDO, VICE PRESIDENT 1860 FORREST HILL BLVD., SUITE 103 WEST PALM BEACH, FL 33406 PHONE (561) 967-4511

#### LOCATION MAP





INCORPORATE



P R E S I D E N T AR - 0014172 PH: (5 6 1) - 6 5 9 - 2 3 8 3 FAX: (5 6 1) - 6 5 9 - 5 5 4 6 www. regarchitects. com

**CORPORATION NUMBER** 

**AMPHITHEATRE COMMONS** 

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411



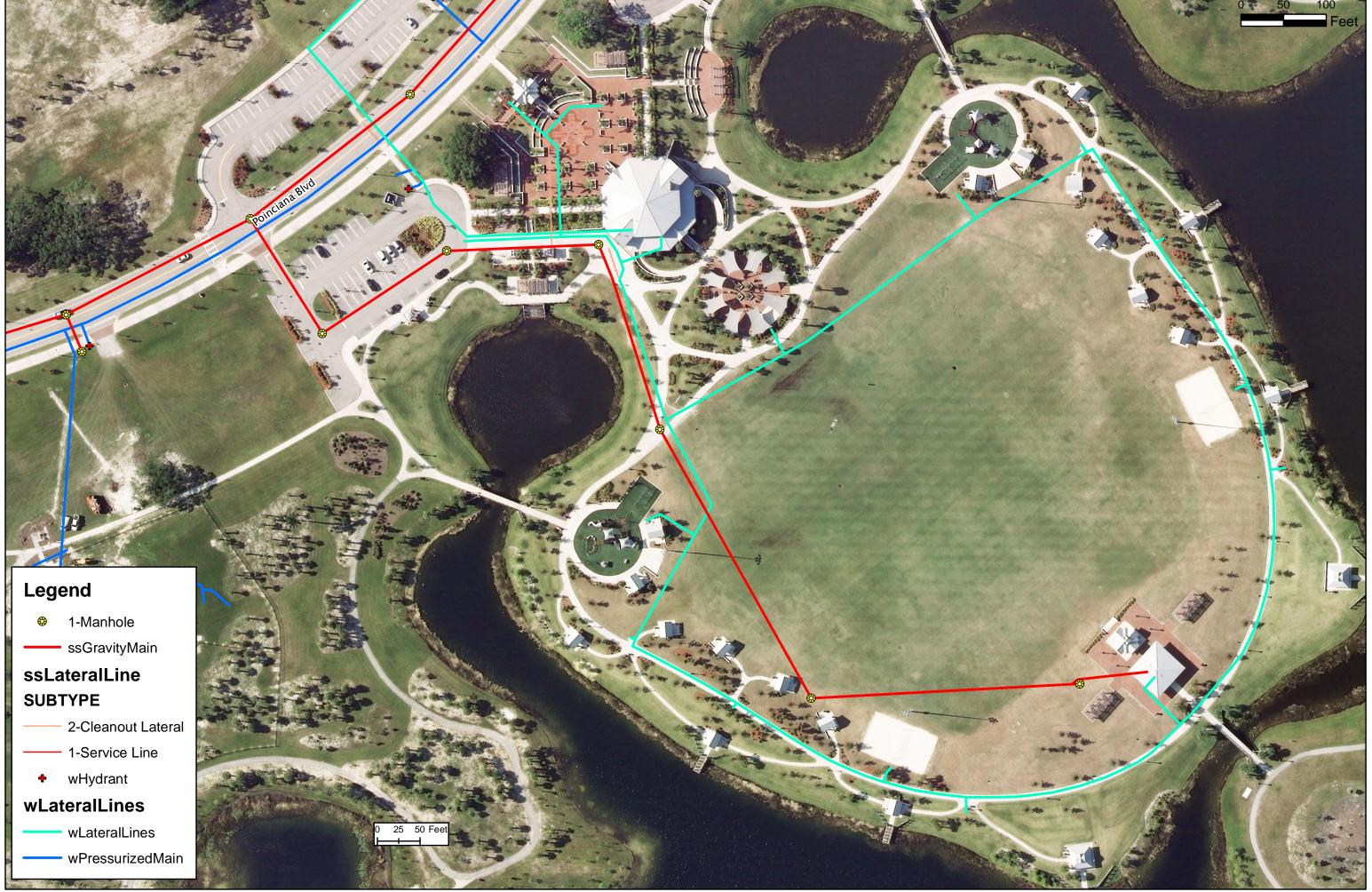
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MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS OF OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMEN

> **PROJECT COVER**

















MEASURED ELEV.

DRAINAGE INLET

DRAINAGE PIPE

——— DRN ———

DRAINAGE MANHOLE

**PROPOSED** 

 $\sim \sim \blacktriangleright$ 

CONCRETE SIDEWALK

DRAINAGE FLOW DIRECTION

NORTH

SOUTH

EAST

WEST

LINEAR FEET

REINFORCED CONCRETE PIPE

TEMPORARY BENCHMARK

2. BENCHMARKS: "AUD PBC BM"

ENGENUITY GROUP. ON xxx.

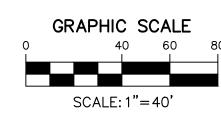
3. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE

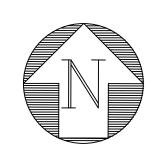
RESTORED TO THEIR ORIGINAL CONDITION.

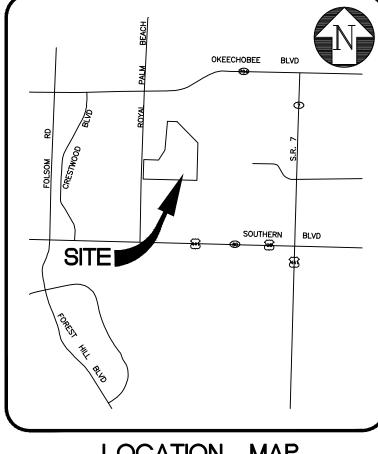
4. TOPOGRAPHIC SURVEY PERFORMED BY

Know what's below.

Call before you dig.







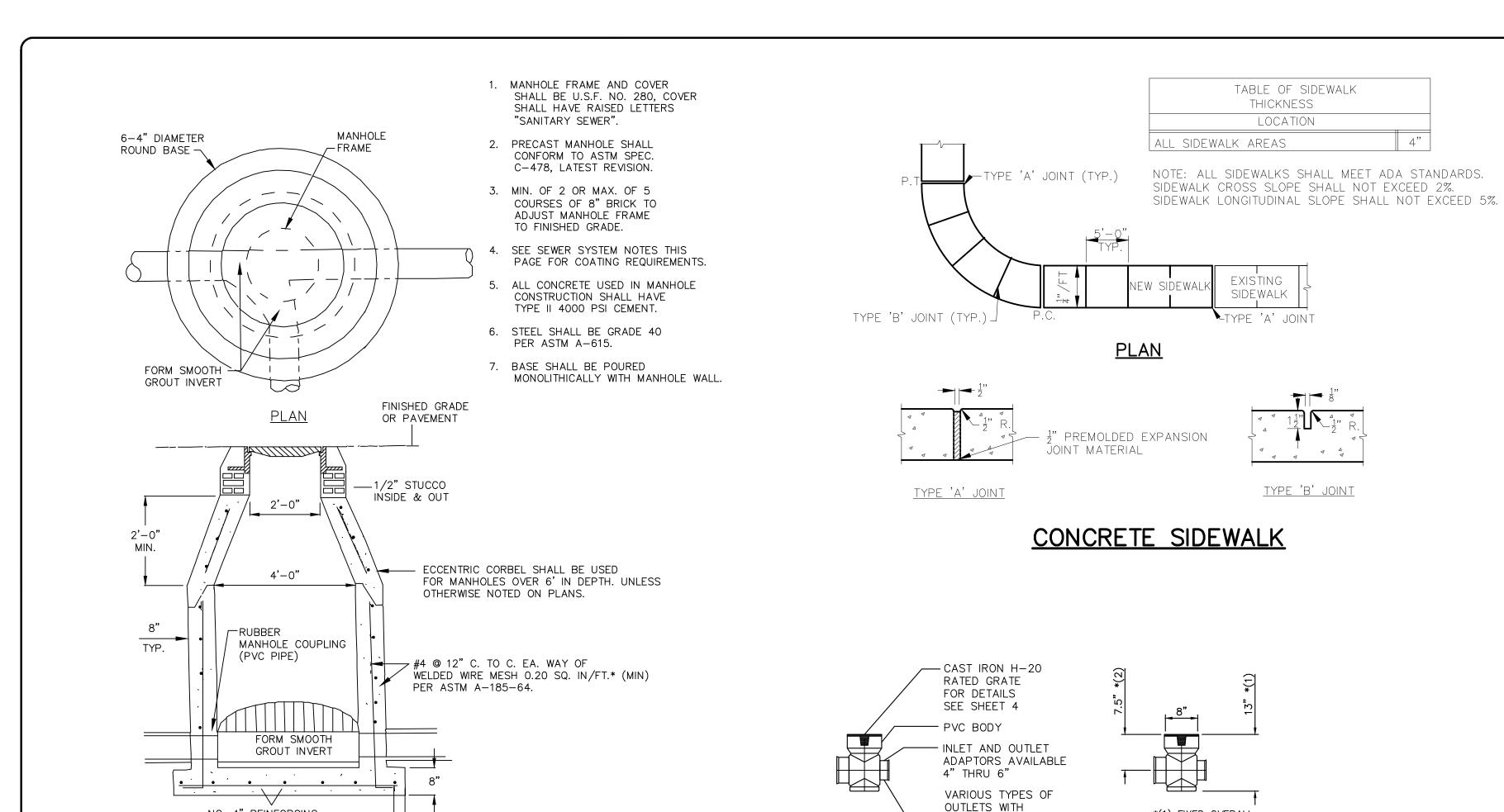
LOCATION MAP

GENERAL NOTES FOR WATER AND SEWER

- 1. ALL APPLICABLE PERMITS MUST BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. ALL APPLICABLE FEES AND CHARGES MUST BE PAID PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 3. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE APPROVED PLANS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. APPROVAL OF DEVELOPMENT PLANS BY THE VILLAGE IN NO WAY IMPLIES VERIFICATION OF THE ACCURACY OF THOSE PLANS OR FEATURES DEPICTED THEREON. ANY DISCREPANCY IN OR VARIATION FROM THE APPROVED PLANS IS TO BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER BY THE DEVELOPERS ENGINEER.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES AND IMPROVEMENTS FROM DAMAGE, DISRUPTION OF SERVICE OR DESTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
- 5. THE CONTRACTOR SHALL INFORM VILLAGE OF ROYAL PALM BEACH UTILITY DEPARTMENT AT LEAST 48 HOURS IN ADVANCE OF COMMENCING CONSTRUCTION.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS OF ALL UTILITIES.
- 7. THE CONTRACTOR SHALL INFORM THE VILLAGE UTILITY DEPARTMENT A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF CONNECTING TO A CITY FACILITY.
- 8. A PRE-CONSTRUCTION MEETING IS TO BE HELD AT THE VILLAGE AND ATTENDED BY THE CONTRACTOR, DEVELOPERS' ENGINEER AND OTHER INTERESTED PARTIES.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING OF AND PAYMENT FOR SUCH TESTS AS MAY BE DEEMED NECESSARY BY THE UTILITY DIRECTOR AND AS CALLED FOR IN THE PLANS AND SPECIFICATIONS.
- 10. CONSTRUCTION SHALL BE CARRIED OUT IN STRICT COMPLIANCE WITH THE VILLAGE OF ROYAL PALM BEACH UTILITIES STANDARDS.
- 11. THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS ON SITE. THE PLANS ARE TO BE MADE AVAILABLE TO THE UTILITY DIRECTOR OR HIS DESIGNEE UPON REQUEST.
- 12. ALL GRAVITY SEWER SHALL BE PVC OR EPOXY LINED DIP, CLASS 52.
- 13. THE DEVELOPERS' ENGINEER SHALL MAKE SUFFICIENT INSPECTIONS OF THE WORK TO ENABLE HIM TO CERTIFY THE INSTALLATION AS BEING IN CONFORMANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS.
- 14. THE UTILITY DIRECTOR OR HIS DESIGNEE WILL CARRY OUT INSPECTIONS ON THE WORKS ON A DAY TO DAY BASIS AND WILL INFORM THE CONTRACTOR WHEN TO BACKFILL AND WILL WITNESS PRESSURE, BACTERIOLOGICAL, INFILTRATION/EXFILTRATION TESTS.
- 15. THE FOLLOWING DOCUMENTS ARE TO BE ON FILE AT THE UTILITY DEPARTMENT PRIOR TO THE CONNECTION OF THE FIRST WATER METER:
- A. FINAL APPROVAL BY THE VILLAGE OF ROYAL PALM BEACH
- B. LETTER OF ACCEPTANCE FROM PALM BEACH COUNTY HEALTH DEPT. C. CERTIFICATION BY ENGINEER OF RECORD.
- D. LETTER FROM DEVELOPER STATING ACTUAL COST OF CONSTRUCTION. E. LETTER FROM DEVELOPER STATING THAT NO LIENS HAVE
- BEEN FILED RELATING TO INSTALLATION OF UTILITIES. F. BILL OF SALE ABSOLUTE FOR SYSTEM.
- G. GRANT OF EASEMENT OR LETTER STATING EASEMENTS ARE ON PLAT.
- H. AS-BUILT MYLAR AND FOUR SEALED COPIES OF AS-BUILTS CERTIFIED BY A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA.
- I. MEMO FROM VILLAGE ENGINEER STATING THAT ALL FEES DUE TO DATE HAVE BEEN PAID.
- 16. NO DEVIATION FROM APPROVED PLANS SHALL BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE UTILITY DIRECTOR.

 $\mathbf{a}$ 

JOB NO. 16035.01



#### 8" DRAIN BASIN

\*(1) FIXED OVERALL

\*(2) FIXED INVERT

#### NYLOPLAST DETAILS

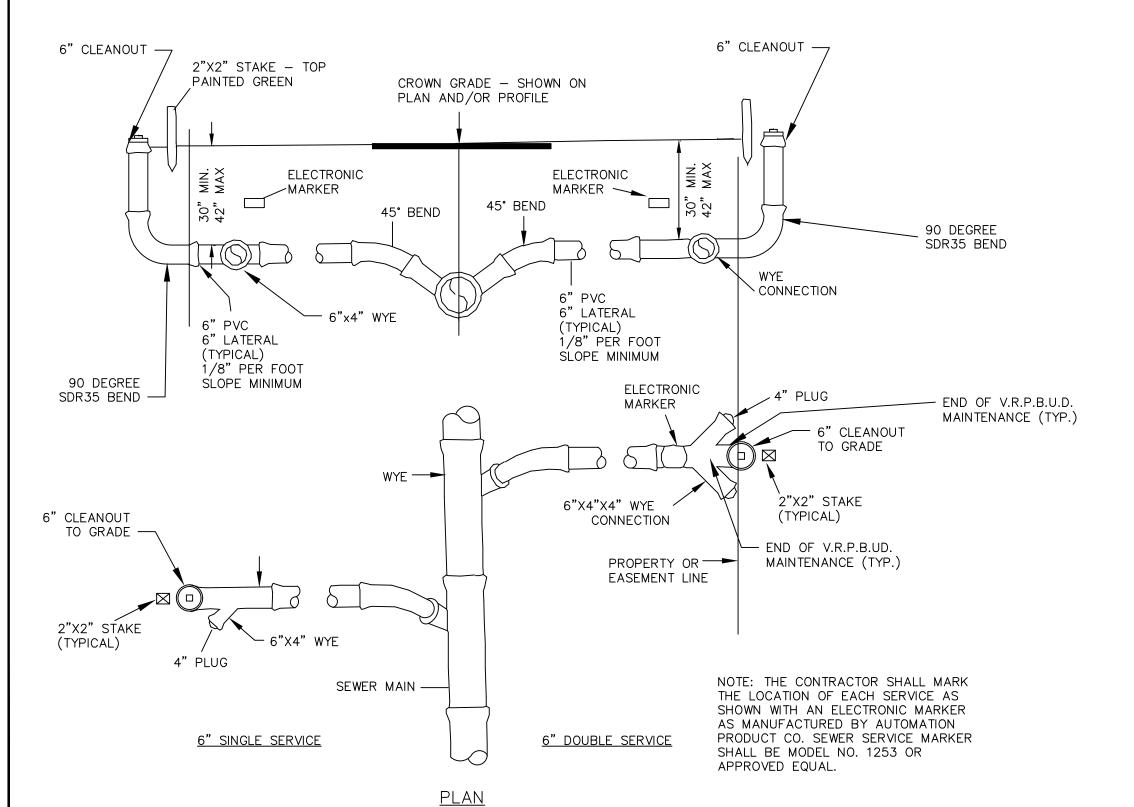
WATERTIGHT ADAPTORS

A-2000 CORRUGATED PVC

CORRUGATED POLYETHYLENE

SDR-35 SEWER

ULTRA-RIB PVC



TYPICAL SERVICE CONNECTION

Know what's below.

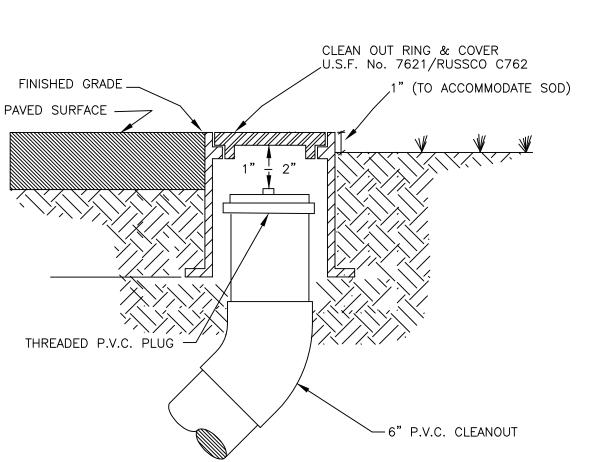
Call before you dig.

NO. 4" REINFORCING

**SECTION** 

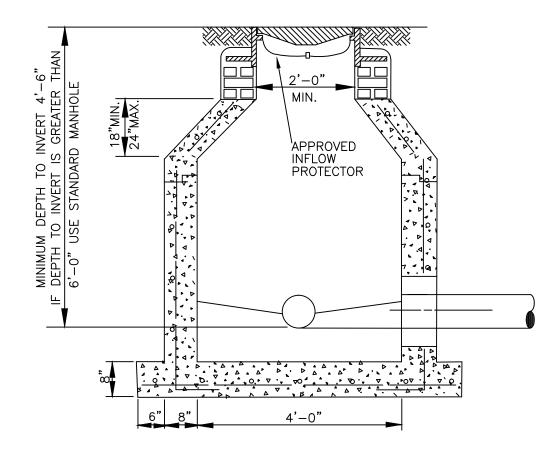
TYPICAL 4'-0" I.D. PRECAST MANHOLE

BARS 12" C.C.E.W.



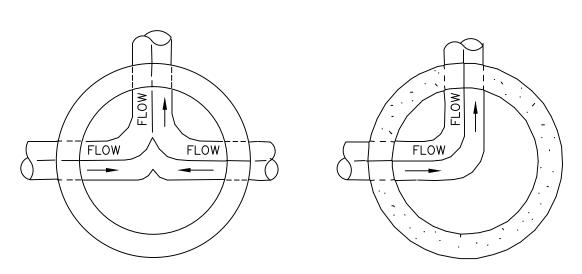
- 1. CLEANOUTS TO BE LOCATED IN GRASS AREA WHENEVER POSSIBLE
- 2. CLEANOUTS SHALL NOT BE INSTALLED IN TRAFFIC LANES OR AREAS UNDER HEAVY TRAFFIC LOADS. CLEANOUTS SHALL NOT BE LOCATED IN DRIVEWAYS.
- 3. THE COVER TO BE MARKED "S".
- 4. CLEANOUTS TO BE INSTALLED PRIOR TO WATER METER RELEASE. 5. NO 90° BENDS SHALL BE USED FOR CLEANOUT INSTALLATION.
- 6. THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE
- FOR CEANOUT INSTALLATION PRIOR TO WATER METER INSTALLATION AS SPECIFIED BY THE DEPARTMENT.
- 7. A CONCRETE COLLAR MAY BE REQUIRED IF CLEANOUT IS LOCATED BETWEEN DRIVEWAYS. SPECIAL CONSTRUCTION DETAIL WILL BE REQUIRED.

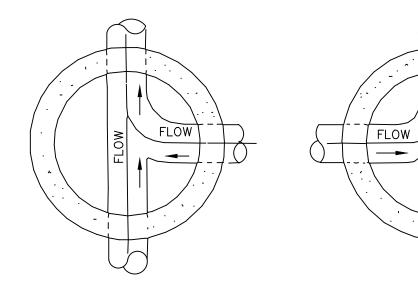
TYPICAL CLEANOUT INSTALLATION



ALL TYPICAL MANHOLE NOTES AND DETAILS ARE APPLICABLE

#### SHALLOW MANHOLE





#### NOTES:

1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.

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- 2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOWS.
- 3. CHANNELS FOR FUTURE CONNECTIONS (STUB-OUTS) SHALL BE CONSTRUCTED, FILLED WITH SAND AND COVERED WITH 1" (ONE INCH) OF MORTAR.

FLOW PATTERNS FOR INVERT CHANNELS

#### SEWER SYSTEM NOTES

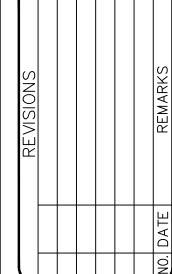
- 1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO THE REQUIREMENTS OF ASTM C478 AND 64T. MANHOLES MUST BE INSPECTED BY THE UTILITY BEFORE UNLOADING.
- 2. CONCRETE FOR PRECAST MANHOLES OR CAST-IN-PLACE MANHOLES SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF
  - 4000 PSI AT 28 DAYS. 3. REINFORCING STEEL FOR MANHOLES SHALL CONFORM TO THE
  - SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS. 4. ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT THE TIME OF MANUFACTURE.
  - 5. PRECAST MANHOLE SHOP DRAWINGS SHALL BE SUBMITTED TO THE UTILITY FOR APPROVAL PRIOR TO FABRICATION.

REQUIREMENTS OF ASTM A615 AND A305, LATEST REVISION. SPLICES

- 6. ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE AND SHALL REST ON A FIRM, CAREFULLY GRADED SUBGRADE WHICH SHALL PROVIDE UNIFORM BEARING UNDER BASE.
- 7. MANHOLE SECTIONS SHALL BE JOINTED WITH A MASTIC COMPOUND PRODUCING A WATERTIGHT BOND. THE REMAINING SPACE SHALL BE FILLED WITH CEMENT MORTAR AND FINISHED SO AS TO PRODUCE A SMOOTH CONTINUOUS SURFACE INSIDE AND OUTSIDE THE WALL SECTIONS.
- 8. ALL SPACES AROUND PIPES ENTERING OR LEAVING MANHOLES SHALL BE COMPLETELY FILLED WITH EMBECO MORTAR (NON-METALLIC) OR BONSAL (NON-SHRINKING).
- 9. COATING: SURFACE PREPARATION, PRIMING, AND APPLICATION OF ALL COATING SHALL BE IN STRICT CONFORMANCE TO MANUFACTURER'S RECOMENDATIONS. THE FOLLOWING COATING SYSTEMS APPLY TO ALL CONCRETE STRUCTURES INCLUDING. BUT NOT LIMITED TO MANHOLES, WET WELLS, AND VALVE PITS. ALL COATINGS TO BE INSTALLED BY A CONTRACTOR CERTIFIED BY THE MANUFACTURER.
- A. PIPES, VALVES & HARDWARE INSIDE THE WET WELL AND VALVE PIT SHALL BE COATED WITH ALUMINUM PLY MASTIC EPOXY FROM NAB BRUDER & SONS, INC. (5 MILS MIN)
- B. THE INSIDE AND OUTSIDE OF THE MANHOLE, WET WELL. AND VALVE PIT AND ASSOCIATED STRUCTURES, INCLUDING THE CONCRETE FILLETS SHALL BE COATED WITH ONE OF THE FOLLOWING: 1. FOSROC EPOXY LINER HBS; 25 MILS ON THE OUTSIDE SURFACE AND 50 MILS ON THE INSIDE SURFACE.
- 2. MAINSTAY DS-5 EPOXY COATING AS MANUFACTURED BY MADEWELL; 75 MILS ON INSIDE SURFACE, JOINTS ARE TO BE GROUTED WITH MAINSTAY ML-72 MICROSILICA CEMENT MORTAR. CONCRETE SURFACES SHALL BE PRIMED WITH MADE WELL 927 EPOXY PRIMER /SEALER. NO COATING IS REQUIRED ON OUTSIDE SURFACES WHEN INSIDE SURFACE IS COATED WITH MAINSTAY DS-5 3. AGRU-LINER "SURE-GRIP" HDPE THERMO-PLASTIC LINER AS MANUFACTURED BY U.S. ENVIRONMENTAL SERVICES, INC. THE INSIDE SURFACE OF THE STRUCTURE SHALL BE LINED WITH AGRU-LINER AT THE TIME OF CASTING OF THE STRUCTURE. THE BENCH OF THE WET WELL OR MANHOLE SHALL BE COATED WITH EITHER 50 MILS OF FOSROC EPOXY LINER OR 75 MILS OF MAINSTAY DS-5 EPOXY
- 10. ALL GRAVITY SEWER SHALL BE PVC NON-PRESSURE PIPE AND SHALL CONFORM TO ASTM D3034, SDR 35, LATEST REVISION. MAXIMUM 13' LENGTHS WITH PUSH-ON RUBBER GASKET JOINTS. MINIMUM COVER SHALL BE 36". DIP USED IN GRAVITY SEWER SHALL BE CL50, EPOXY LINED CONFORMING TO THE REQUIREMENTS OF AWWA-C151, LATEST REVISION.
- 11. THE MINIMUM ACCEPTED SLOPES FOR PVC OR EPOXY LINED DIP GRAVITY SEWER ARE AS FOLLOWS: 8" - 0.40%, 10" - 0.28%, 12" = 0.22%.
- 12. PVC LINES ENTERING OR LEAVING MANHOLES SHALL HAVE RUBBER MANHOLE COUPLINGS.
- 13. CONNECTING TO THE EXISTING SYSTEM: ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE UTILITIES DEPARTMENT. FORCE MAIN VALVES SEPARATING THE MAINS BEING INSTALLED FROM THE EXISTING MAINS SHALL BE OPERATED BY OR UNDER THE DIRECTION OF THE UTILITIES DEPARTMENT REPRESENTATIVE ONLY.
- 14. THE CONTRACTOR SHALL TEST THE COMPLETED SEWER TO DETERMINE ALIGNMENT AND TIGHTNESS OF THE JOINTS. TESTING SHALL BE OBSERVED BY THE VILLAGE INSPECTOR. ALL SEWERS SHALL BE LAMPED AND MUST SHOW A FULL CIRCLE OF LIGHT. INFILTRATION AND EXFILTRATION TESTING SHALL BE CONDUCTED. LEAKAGE SHALL NOT EXCEED 76 GALLONS PER INCH DIAMETER PER MILE PER DAY.
- 15. MARKER TAPE SHALL BE INSTALLED WITH NEW FORCE MAINS CONTINUOUSLY, FOR THE ENTIRE LENGTH OF THE LINE. THE TAPE SHALL BE METALLIZED AND SHALL BE IMPRINTED WITH THE CONTINUOUS MESSAGE "CAUTION-SEWER MAIN BURIED BELOW". THE TAPE MUST CONFORM TO ALLEN SYSTEMS, INC. DETECTATAPE OR AN APPROVED EQUAL. MINIMUM WIDTH SHALL BE 3" AND MAXIMUM DEPTH OF BURIAL SHALL BE 18".

#### WATER SYSTEM NOTES

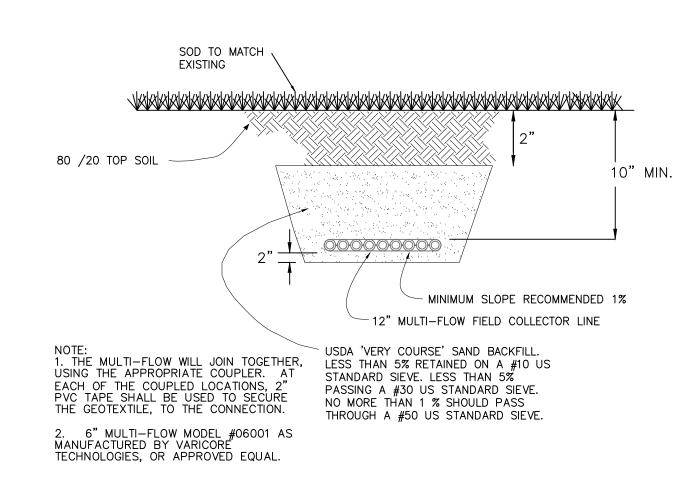
- 1. WATER SERVICE PIPING SHALL BE POLYETHYLENE (P.E. 3406). WATER SERVICE TUBING (C.T.S.) CONFORMING TO ASTM D1248 AND D2737 WITH SDR OF 9.
- 2. ALL WATER METER SERVICE CONNECTIONS SHALL BE BRONZE FROM PLUG VALVE TO PLUG VALVE. NO GATE VALVES ARE TO BE USED (2" OR LESS).
- 3. PAVEMENT RESTORATION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- 4. ALL TRENCHING, PIPE LAYING, BACKFILLING, PRESSURE TESTING AND DISINFECTING MUST COMPLY WITH THE TECHNICAL SPECIFICATIONS OF THE UTILITY DEPARTMENT OF THE VILLAGE OF ROYAL PALM BEACH.
- 5. ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE UTILITY DEPARTMENT.
- 6. ALL PIPE, ETC. SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 PSI FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS PER AWWA SPECIFICATIONS OF C800-82 LEAKAGE FORMULA:
- Q = SD P133,200
- Q = ALLOWABLE LEAKAGE IN GALLONS PER HOUR
- S = TOTAL LENGTH OF PIPE TESTED IN FEET
- D = DIAMETER OF THE PIPE TESTED IN INCHES
- P = AVERAGE TEST PRESSURE IN POUNDS PER SQUARE INCH
- 7. THE MINIMUM DEPTH OF COVER FOR WATER MAINS IS 30" EXCEPT IN THE CASE OF PVC PIPE WHICH REQUIRES A MINIMUM DEPTH OF COVER OF 36".
- 8. DISINFECTION OF MAINS SHALL COMPLY WITH AWWA C801-81 STANDARD.
- BACTERIOLOGICAL SAMPLING POINTS SHALL BE DESIGNATED ON THE ENGINEERING PLANS. 9. MARKER TAPE:
- MARKER TAPE SHALL BE INSTALLED WITH ALL NEW WATER MAINS CONTINUOUSLY, FOR THE ENTIRE LENGTH OF THE LINE. THE TAPE SHALL BE METALLIZED AND SHALL BE IMPRINTED WITH THE CONTINUOUS MESSAGE "CAUTION-WATER MAIN BURIED BELOW". THE TAPE MUST CONFORM TO ALLEN SYSTEMS, INC. DETECTATAPE OR AN APPROVED EQUAL. MINIMUM WIDTH SHALL BE 3" AND MAXIMUM DEPTH OF BURIAL SHALL BE 18".



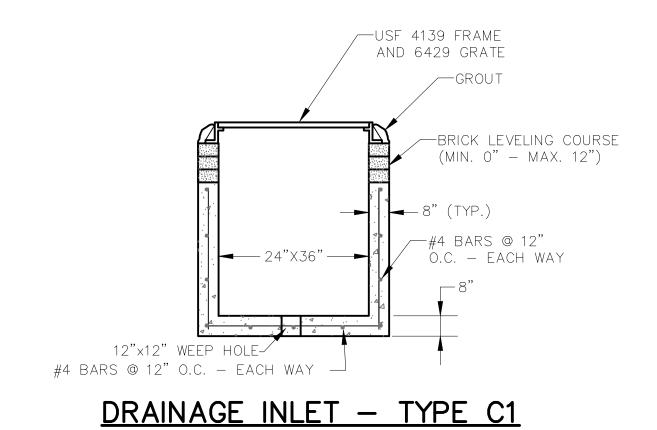
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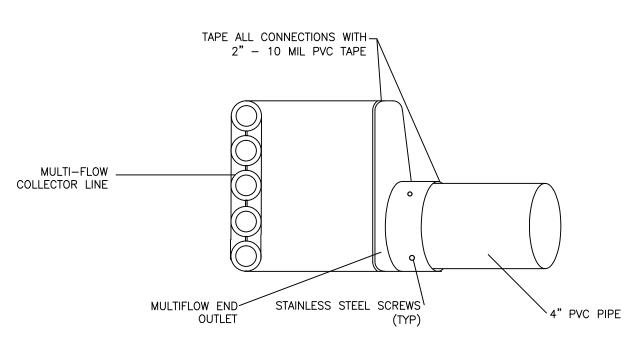
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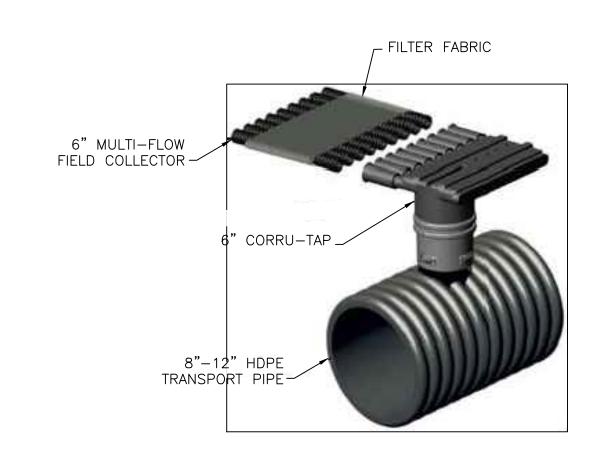
#### MULTI-FLOW TRENCH DETAILS





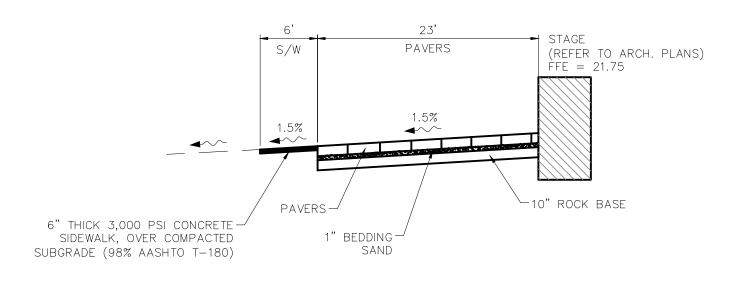
#### MULTI-FLOW OUTLET CONNECTION

NOTE: THE CONNECTORS USED WITH THE COLLECTION SYSTEM SHALL BE OF A SNAP TOGETHER DESIGN. IN NO CASE SHALL ANY PRODUCT BE JOINED WITHOUT THE USE OF THE MANUFACTURER'S CONNECTOR DESIGNED SPECIFICALLY FOR THE PURPOSE.

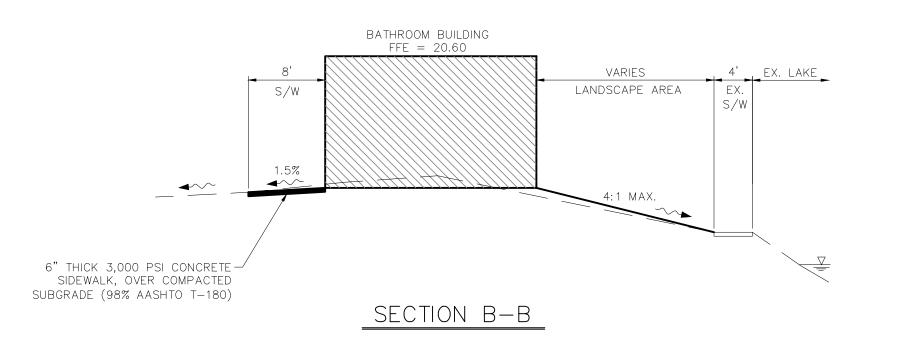


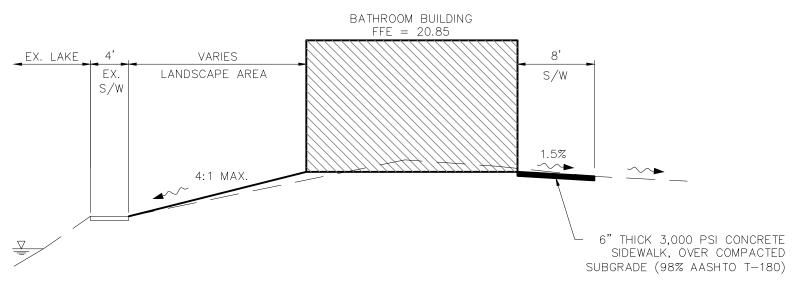
#### MULTI-FLOW CONNECTION DETAILS

1. SYSTEM WILL BE COMPRISED OF 6"
LINES ON PLAYING SURFACE, SPACED 20
FT. (FITTING-TO-FITTING). 2. THE MULTI-FLOW WILL JOIN TOGETHER, USING THE APPROPRIATE COUPLER. AT EACH OF THE COUPLED LOCATIONS, 2" PVC TAPE SHALL BE USED TO SECURE THE GEOTEXTILE, TO THE CONNECTION.

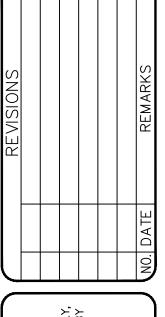


SECTION A-A



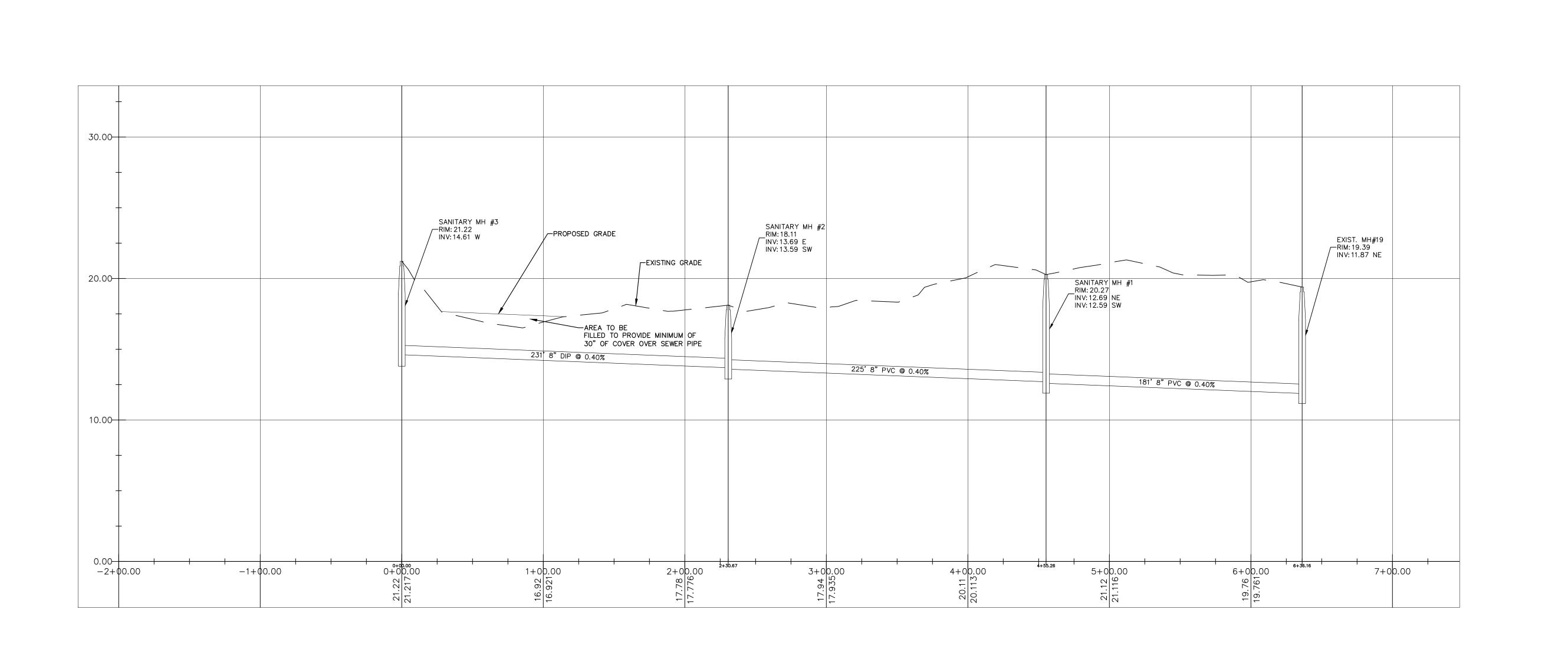


SECTION C-C



1 BEACH APMPHITHEATR LM BEACH COMMONS PARK NEERING DETAILS

JOB NO. **16035.01** 



REVISIONS
NO. DATE REMARKS

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ROYAL PALM BEACH APMPHITHEATRE
ROYAL PALM BEACH COMMONS PARK
SANITARY SEWER PROFILE

of Excellence - Composition 

AVE, SUITE 101, FLORIDA 33409
AX (561)832–9390 • COATE OF AUTHORIZATION #7095

A Higher Standard of Excellence

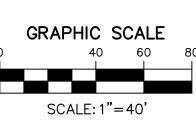
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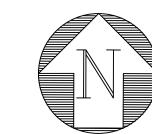
PROJECT
ENGINEER
PROJECT
MANAGER
ACS
CHECKED

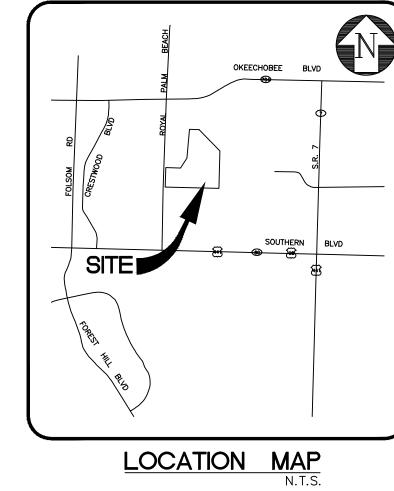
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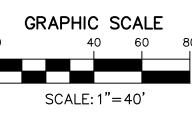
JOB NO. 16035.01

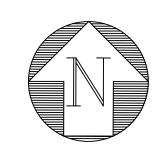


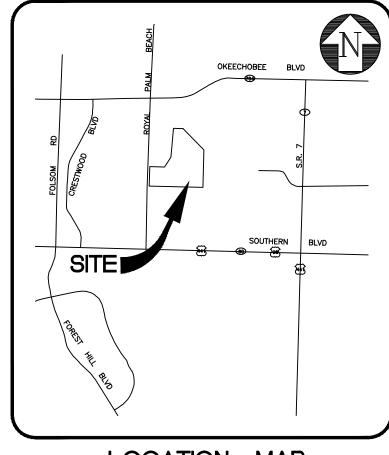


Know what's below.

Call before you dig.







LOCATION MAP

1. PROVISIONS FOR CONTROL OF POLLUTION

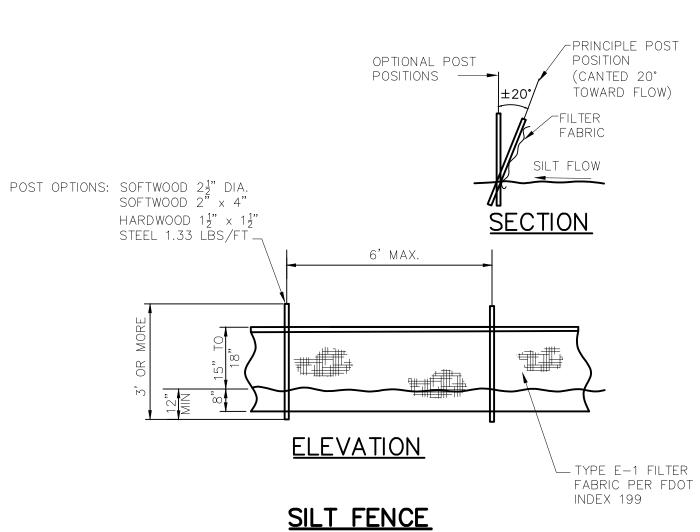
A.SUFFICIENT PRECAUTIONS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT THE RUN-OFF OF POLLUTING SUBSTANCES SUCH AS SILT, CLAY, FUELS, OILS, BITUMEN'S OR OTHER POLLUTING MATERIALS HARMFUL TO HUMANS, FISH, OR OTHER LIFE, INTO THE SUPPLIES AND SURFACE WATERS OF THE STATE OF FLORIDA. CONTROL MEASURES MUST BE ADEQUATE TO ASSURE THAT TURBIDITY IN THE RECEIVING WATER WILL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND UNLESS OTHERWISE PERMITTED. SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION. EROSION EVIDENT WITHIN THE LIMITS OF CONSTRUCTION OR OTHER AREAS AFFECTED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE

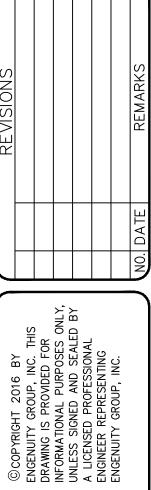
- B. FILL OUT A NOTICE OF INTENT FORM (FDEP FORM 62-621.300(4)(B) AND SUBMIT IT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- C. EXCAVATION OF WATER MANAGEMENT FACILITIES SHOULD OCCUR IMMEDIATELY AFTER CLEARING AND GRUBBING TO SERVE AS A SEDIMENT TRAP OR CATCHMENT FOR STORMWATER RUNOFF FROM EXPOSED SOILS. D. CONSTRUCT PERIMETER BERM OR GRADE SITE TO PREVENT OFF-SITE DISCHARGE OF STORMWATER RUNOFF.
- E. PLACE SILT FENCES OR HAY BALES TO CONTAIN EROSION IN AREAS PRONE TO STORMWATER RUNOFF EROSIVE VELOCITIES. F. PROTECT EACH INLET THAT MAY RECEIVE RUNOFF FROM THE CONSTRUCTION SITE WITH SILT FENCE/FILTER FABRIC STAKED G.INSTALL TURBIDITY SCREENS WITHIN THE RECEIVING BODY BEFORE COMMENCEMENT OF BANK IMPROVEMENTS AND
- H. TAKE ALL REASONABLE PRECAUTIONS TO CONTROL DUST AND UNCONFINED PARTICULATE MATTER. THE APPLICATION OF WATER IS AN ACCEPTABLE DUST SUPPRESSANT ON ROADWAYS, STOCKPILES, AND ANY OTHER AREAS WITHIN THE PROJECT BOUNDARIES. DUST SUPPRESSANT WATER SHALL BE APPLIED IN SUCH A MANNER SO AS NOT TO PRODUCE EXCESS RUNOFF
- I. TURBIDITY IN RECEIVING WATER SHALL NOT BE INCREASED MORE THAN 29 NEPHELOMETRIC TURBIDITY UNITS (NTU) ABOVE BACKGROUND. J. TAKE PRECAUTIONS IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT OPERATIONS WHICH PROMOTE EROSION.
- OTHER CONTROLS AND MATERIAL MANAGEMENT PRACTICES A. FERTILIZERS - APPLY FERTILIZERS ONLY IN THE MINIMUM AMOUNT RECOMMENDED BY THE MANUFACTURER. IF STORED ONSITE, PROVIDE COVERED STORAGE. TRANSFER THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER TO A
- SEALABLE CONTAINER TO AVOID SPILLS. B. HAZARDOUS WASTE - DISPOSE OF IN A MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS. C. NOISE - MINIMIZE NOISE CAUSED BY THE OPERATION OF EQUIPMENT. ABIDE BY ALL LOCAL REGULATIONS COVERING NOISE
- D. ODORS DO NOT CAUSE OBJECTIONABLE ODORS TO BE GENERATED. E. OFFSITE VEHICLE TRACKING - PROVIDE A ROCK CONSTRUCTION ENTRANCE TO REDUCE VEHICLE TRACKING OF SEDIMENTS.
- DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARPAULIN. F. OPEN BURNING - NO OPEN FIRES OR BURNING OF MATERIALS OTHER THAN VEGETATIVE LAND CLEARING DEBRIS. OBTAIN PRIOR APPROVAL TO BURN FROM THE LOCAL AUTHORITY AND APPLICABLE FIRE MARSHALL.
- NOT BE DISCHARGED TO THE STORM SEWER SYSTEM, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO THE PAINT MANUFACTURER'S INSTRUCTIONS AND STATE OR LOCAL REGULATIONS. H. PESTICIDES AND HERBICIDES - ANY PESTICIDE AND HERBICIDE USAGE WILL BE BY STATE LICENSED APPLICATORS.
- I. PETROLEUM PRODUCTS MONITOR ONSITE VEHICLES AND TANKS FOR LEAKS. THEY SHALL RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. STORE PETROLEUM PRODUCTS IN TIGHTLY SEALED CONTAINERS,
- MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. STORE PETROLEUM PRODUCTS IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. USE ASPHALT SUBSTANCES ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. PROVIDE SECONDARY CONTAINMENT FOR ALL ABOVE GROUND FUEL TANKS.

  J. SANITARY WASTE COLLECT ALL SANITARY WASTE FROM THE PORTABLE UNITS AT LEAST TWICE PER WEEK.

  K. WASTE MATERIALS COLLECT AND STORE ALL WASTE MATERIALS IN A SECURELY COVERED METAL DUMPSTER PROVIDED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. DEPOSIT ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE IN THE DUMPSTER. THE DUMPSTER IS TO BE EMPTIED AS NEEDED SO THERE IS NO OVERFLOW. HAUL TRASH TO A STATE APPROVED LANDELL FACILITY.
- APPROVED LANDFILL FACILITY.
- 3. MAINTENANCE / INSPECTION PROCEDURES A. INSPECT ALL CONTROL MEASURES AT LEAST ONCE PER WEEK AND FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR
- B. MAINTAIN ALL MEASURES IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT MUST BE INITIATED WITHIN 24 HOURS OF THE ONSITE INSPECTION REPORT.
- C. REMOVE BUILT UP SEDIMENT FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.

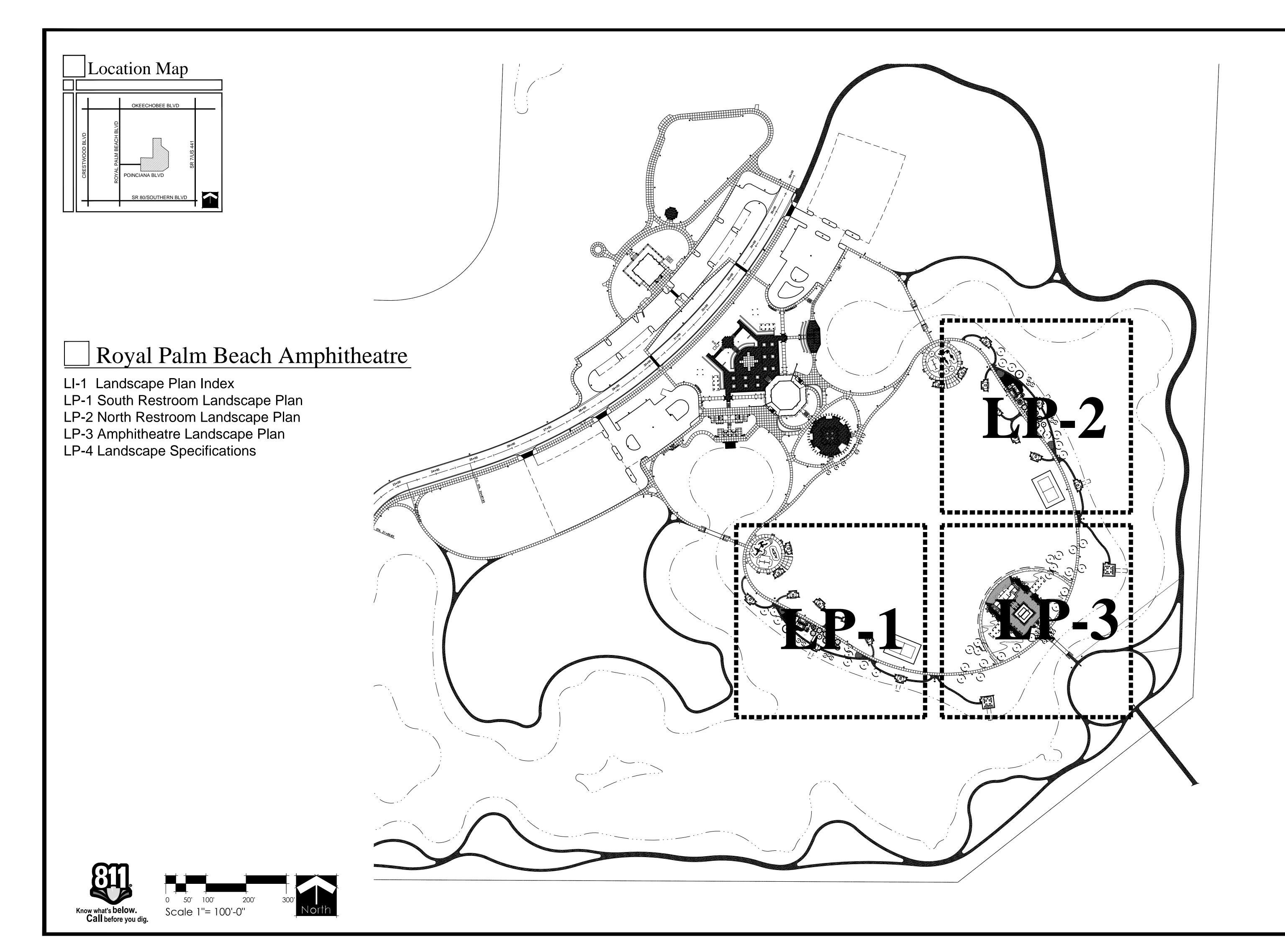
  D. INSPECT SILT FENCE FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. E. PREPARE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE
- COMPLETED BY THE INSPECTOR IS FOUND AT THE END OF THIS SECTION. F. THE CONTRACTOR SHALL DESIGNATE A QUALIFIED PERSON TO BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND COMPLETING THE INSPECTION AND MAINTENANCE REPORTS.
- G.NON-STORMWATER DISCHARGES ARE PERMISSIBLE PROVIDED THAT DISCHARGE DOES NOT CAUSE EROSION OR CREATE TURBIDITY WITHIN THE RECEIVING BODY AND ARE IN COMPLIANCE WITH REGULATORY REQUIREMENTS. THESE DISCHARGES MAY INCLUDE WATER LINE FLUSHING, FIRE FIGHTING ACTIVITIES, FIRE HYDRANT FLUSHING, DUST CONTROL, IRRIGATION DRAINAGE, AIR CONDITIONING CONDENSATION, AND WATER USED TO SPRAY OFF LOOSE SOLIDS FROM VEHICLES.

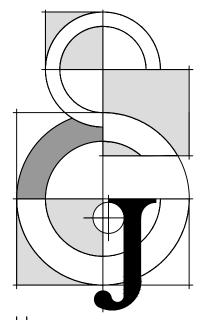




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West Palm Beach, Florida 33409
Tel. (561) 684-6141 • Fax. (561) 684-6142
E-mail: Jschmidt@jesla.com
Website: www.jesla.com
License No.: LC26000232

# Palm Beach phitheatre

Date: 06/27/16
Scale: 1" = 100'-0"
Design By: MLD
Drawn By: MLD
Checked By: Jes
File No. 119.33

REVISIONS / SUBMISSIONS
06/30/16 DD Submittal

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

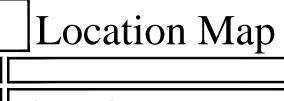
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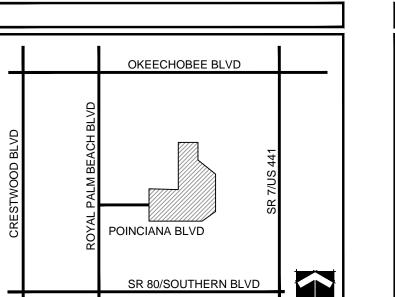
FLORIDA REGISTRATION NO. LA 0001638

Landscape Index

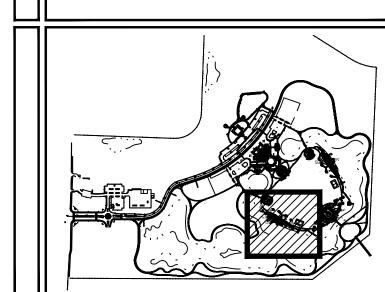
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#### Site Map



## Plant I ist

P1	<u>an</u>	<u>ll 1</u>	_1St				
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	<u>HEIGHT</u>	SPREAD	CLEAR TRUN
<b>O</b>	PI	6	Pinus elliotti var. Densa / South Florida Slash Pine*+ Single Straight Trunk	2.5" Cal.	16`	6`	5` Min.
	QT	2	Quercus virginiana / Southern Live Oak*+ Transplanted From On-Site, Contractor to Root Prune Tree a Min. of 6 Months prior to Moving	EX.	EX.	EX.	EX.
	RR	16	Roystonea regia / Royal Palm*+ Matched, No Scarred Trunks, Full Heads	N/A	14` GW	15`	14` GW
SHRUBS	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	
$\odot$	СНІ	211	Chrysobalanus icaco / Coco Plum*+ Full To Base	3 gal. min.	24"	24" O.C.	
SHRUB AREAS	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	
विवर्वविवर्वि बुबुबुबुबुबु विवर्वविवर्वि बुबुबुबुबुबु बुबुबुबुबुबु	TRF	191	Tripsacum floridanum / Dwarf Fakahatchee Grass*+ Full	24"	24"	36" O.C.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	
	SOD B	19,585 sf	Cynodon dactylon `Celebration` / Celebration Bermuda Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	
644444 644444 644444 644444 644444 644444	HPC	318	Hamelia patens `Compacta` / Dwarf Fire Bush*+ Full	12"	12"	18" O.C.	
	SOD A	2,097 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	

\* = Florida Native / + = Drought Tolerant

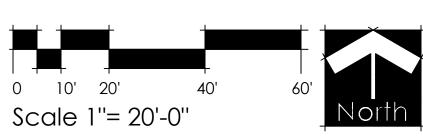
# Sod Repair Notes

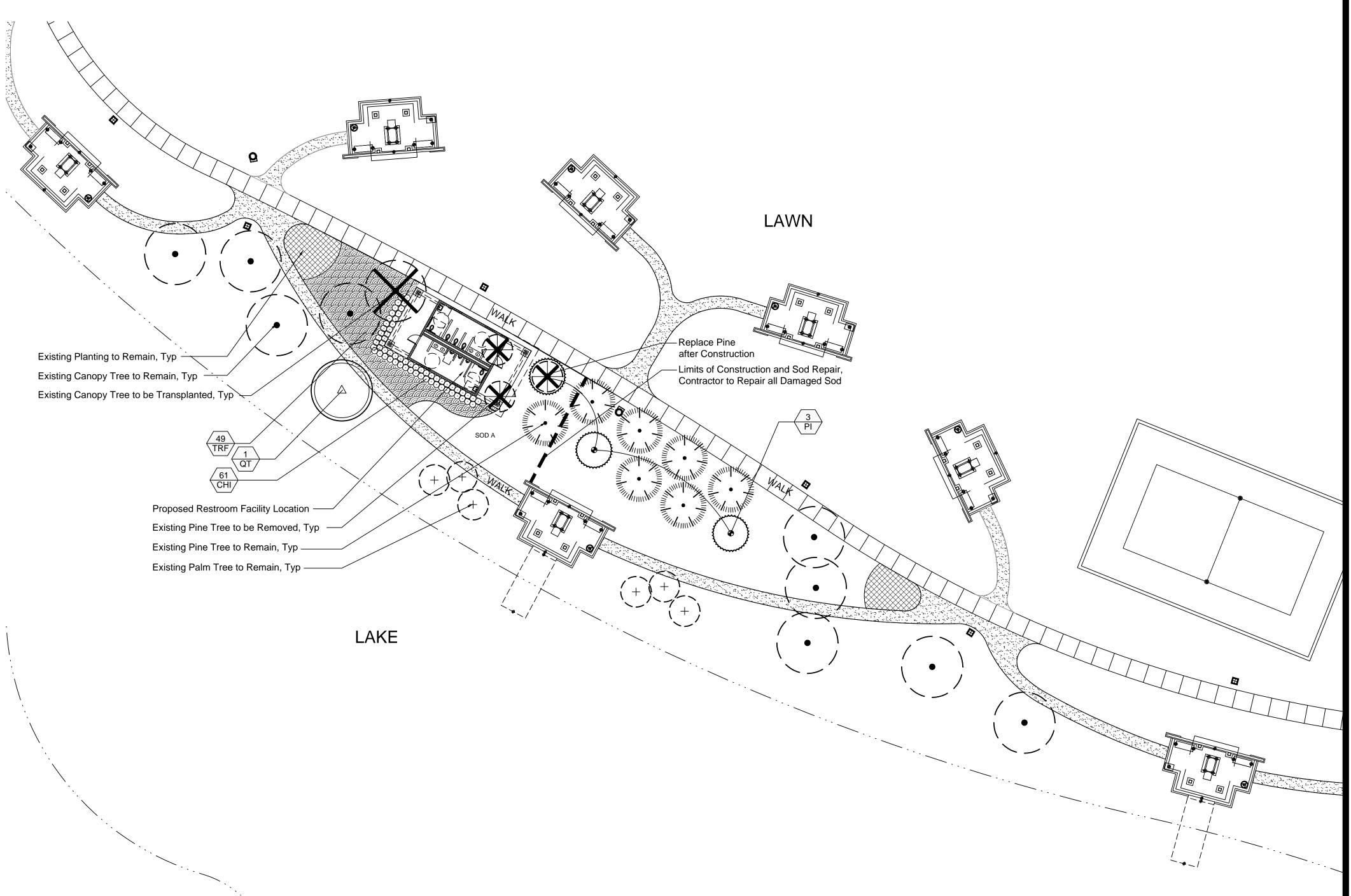
. Anticipated extents of sod repair indicated on the plan and accounted for within plant list. Contractor to verify limits and sod species prior to bid. 2. Contractor to repair all sod damaged due to construction and grading.

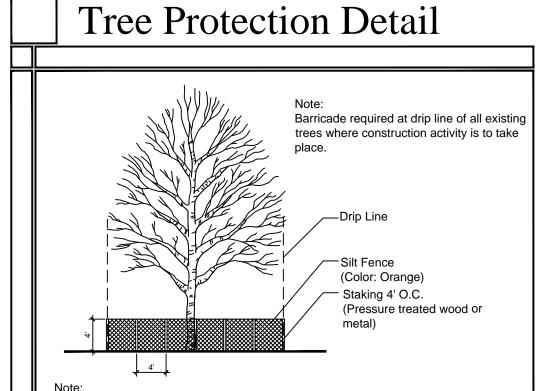
# Landscape Notes

- Easements shall not encroach landscape buffers more than 5 feet.
- 2. Landscaping in right-of-way buffers shall be installed on the exterior side of walls or fences. 3. Walls & fences shall be setback a min. of 10' from the ultimate R-O-W.
- 4. FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided. 5. Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30" and 8' above
- 6. Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with
- landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas. 7. All plant material is to be installed a the height, spread and DBH/Caliper shown in the Plant List, container sizes are
- given as a suggestion only. 8. No muck-grown sod shall be utilized in detention areas.
- 9. All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min.
- 10. Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities.
- Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
- 11. Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements. 12. All planters shall be excavated to a minimum depth of
- twenty-four (24) inches and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter,
- well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.









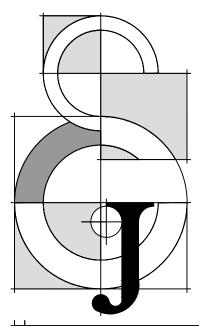
Tree protection barriers shall be installed and in place prior to any other construction activity on site. Tree protection barriers shall remain in place throughout the construction of the project until removal is approved by Royal Palm

# Tree Summary

 <u> </u>	
Category	Quantity
Removed PineTrees	6
Transplanted Oak Trees	2

# Tree Protection Notes

- Tree protection barriers shall be installed and in place prior to any other construction activity on site. Tree protection barriers shall remain in place throughout the construction of the project until removal is approved by the Village of Royal Palm
- 2. During land altering and construction, protective barriers shall be erected and maintained around all trees or groups of trees to be protected. The movement of equipment or the storage of equipment, materials, and placement of debris or fill within
- protective barriers is prohibited. 3. Prior to the removal of any vegetation, a Tree Removal Permit must be applied for and issued by the Village of Royal Palm Beach.



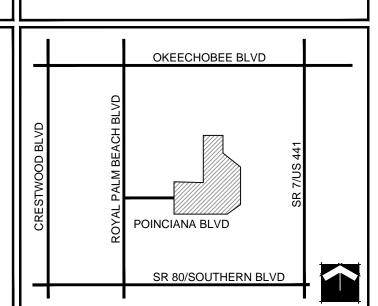
Jon E. Schmidt and Associates Landscape Architecture & Site Planning 2247 Palm Beach Lakes Blvd.- Suite 101 West Palm Beach, Florida 33409 Tel. (561) 684-6141 • Fax. (561) 684-6142 E-mail: Jschmidt@jesla.com Website: www.jesla.com License No.: LC26000232

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1" = 20'-0"
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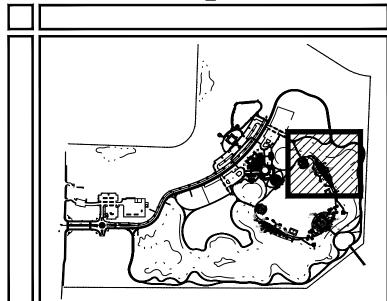
REVISIONS / SUBMISSIONS 06/30/16 DD Submittal

Landscape Plan

# Location Map



#### Site Map



# Plant List

_								
	TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	<u>HEIGHT</u>	SPREAD	CLEAR TRUN
	<b>O</b>	PI	6	Pinus elliotti var. Densa / South Florida Slash Pine*+ Single Straight Trunk	2.5" Cal.	16`	6`	5` Min.
		QT	2	Quercus virginiana / Southern Live Oak*+ Transplanted From On-Site, Contractor to Root Prune Tree a Min. of 6 Months prior to Moving	EX.	EX.	EX.	EX.
		RR	16	Roystonea regia / Royal Palm*+ Matched, No Scarred Trunks, Full Heads	N/A	14` GW	15`	14` GW
	SHRUBS	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	
	$\bigcirc$	СНІ	211	Chrysobalanus icaco / Coco Plum*+ Full To Base	3 gal. min.	24"	24" O.C.	
	SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	
	विवयं विवयं द्वां विवयं विवयं द्वां विवयं विवयं द्वां विवयं विवयं द्वां विवयं विवयं	TRF	191	Tripsacum floridanum / Dwarf Fakahatchee Grass*+ Full	24"	24"	36" O.C.	
	GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	HEIGHT	SPREAD	SPACING	
		SOD B	19,585 sf	Cynodon dactylon `Celebration` / Celebration Bermuda Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	
	0,000,000 0,000,000 0,000,000 0,000,000	HPC	318	Hamelia patens `Compacta` / Dwarf Fire Bush*+ Full	12"	12"	18" O.C.	
		SOD A	2,097 sf	Stenotaphrum secundatum / St. Augustine Grass Solid Sod, Stagger Seams, Field Verify Sod Areas Prior To Bid, Sod All Disturbed Areas	N/A	N/A	N/A	

#### \* = Florida Native / + = Drought Tolerant

# Sod Repair Notes

1. Anticipated extents of sod repair indicated on the plan and accounted for within plant list. Contractor to verify limits and sod species prior to bid. 2. Contractor to repair all sod damaged due to construction and grading.

# Landscape Notes

1. Easements shall not encroach landscape buffers more than 5 feet.

2. Landscaping in right-of-way buffers shall be installed on the exterior side of walls or fences. 3. Walls & fences shall be setback a min. of 10' from the ultimate R-O-W.

4. FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided.

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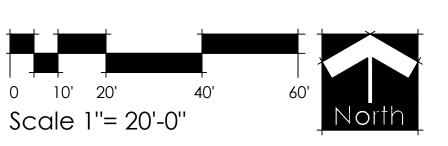
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Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be

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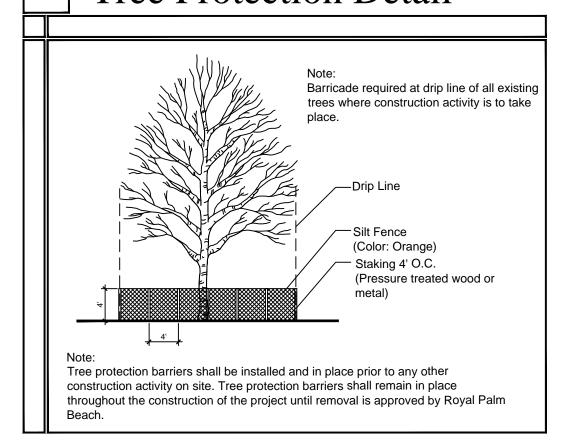
# Tree Summary

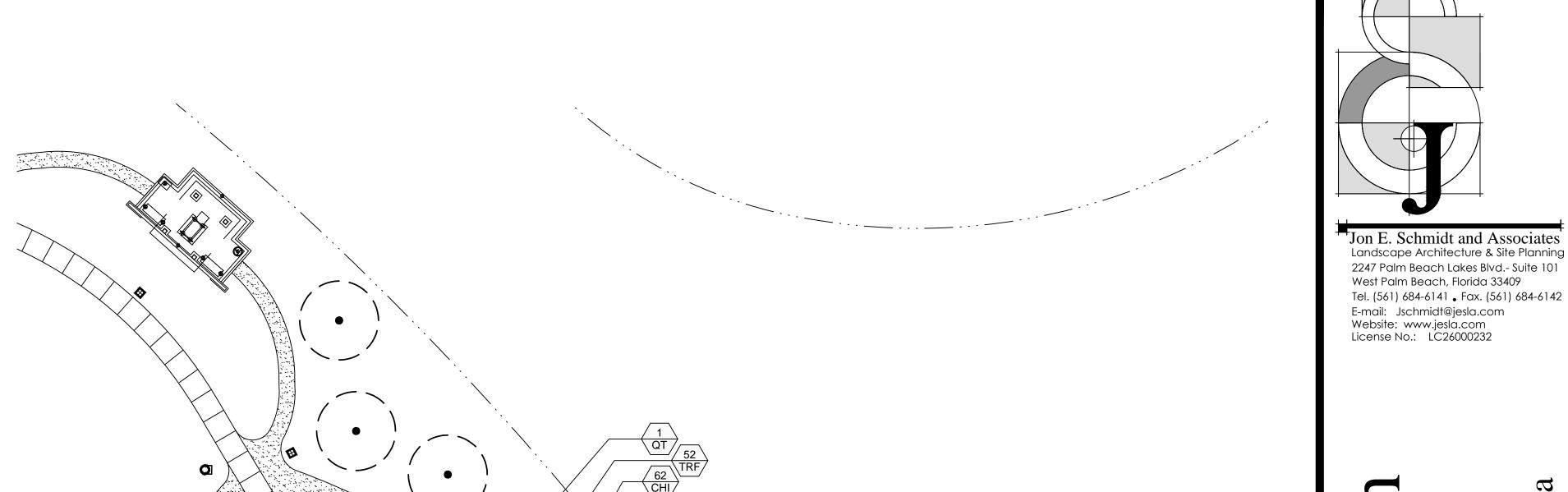
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# Tree Protection Detail





LAKE

Existing Palm Tree to Remain, Typ Proposed Restroom Facility Location - Existing Pine Tree to be Removed, Typ

Existing Pine Tree to Remain, Typ

Existing Planting to Remain, Typ Existing Canopy Tree to Remain, Typ

Existing Canopy Tree to be Transplanted, Typ Replace Pine after Construction Limits of Construction and Sod Repair, Contractor to Repair all Damaged Sod

LAWN

Design By: Drawn By: Checked By: 119.33 File No. Job No.

06/27/16

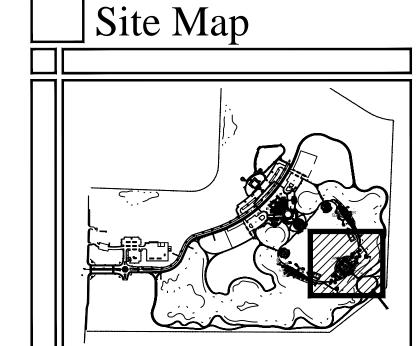
1'' = 20'-0''

REVISIONS / SUBMISSIONS 06/30/16 DD Submittal

Scale:

Landscape Plan

# Location Map OKEECHOBEE BLVD



# Plant List

POINCIANA BLVD

SR 80/SOUTHERN BLVD

	u1		<b>110</b> t				
TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CALIPER	HEIGHT	SPREAD	CLEAR TRI
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SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	
$\odot$	CHI	211	Chrysobalanus icaco / Coco Plum*+ Full To Base	3 gal. min.	24"	24" O.C.	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	<u>HEIGHT</u>	SPREAD	SPACING	
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0000000 0000000 0000000 0000000 0000000	HPC	318	Hamelia patens `Compacta` / Dwarf Fire Bush*+ Full	12"	12"	18" O.C.	
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#### \* = Florida Native / + = Drought Tolerant

# Sod Repair Notes

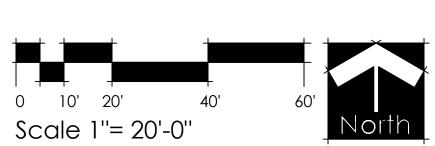
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- 2. Contractor to repair all sod damaged due to construction and grading.

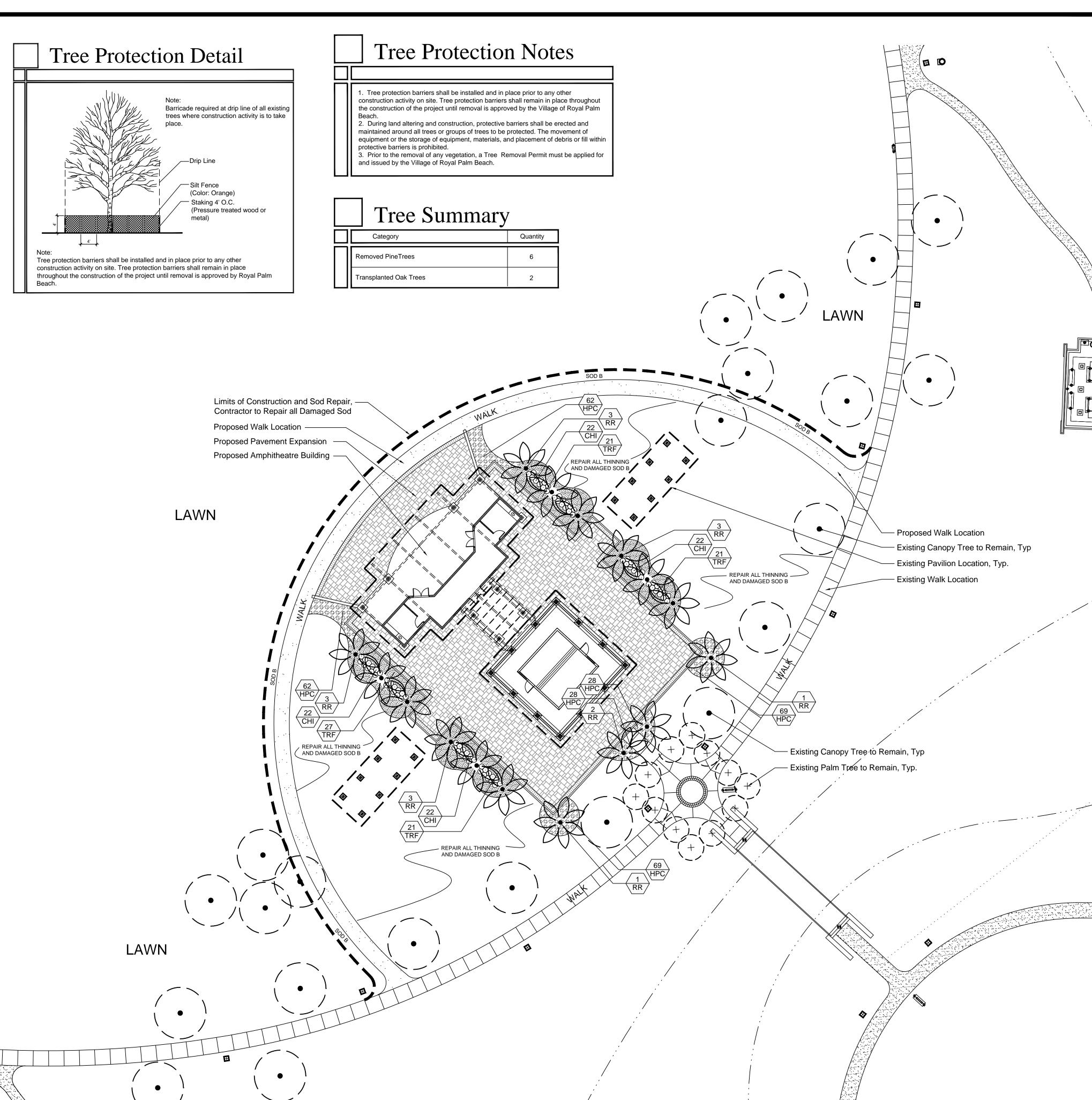
### Landscape Notes

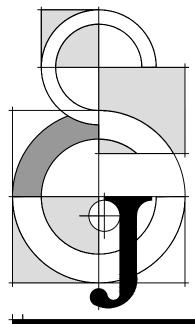
- 1. Easements shall not encroach landscape buffers more than 5 feet.
- 2. Landscaping in right-of-way buffers shall be installed on the exterior side of walls or fences. 3. Walls & fences shall be setback a min. of 10' from the ultimate R-O-W.
- 4. FDOT Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and grassed areas adjacent to paved vehicular use areas, except where wheel stops are provided. 5. Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30" and 8' above
- 6. Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with
- landscaping in terminal islands, parking islands, medians, buffers or other landscaped areas.

  7. All plant material is to be installed a the height, spread and DBH/Caliper shown in the Plant List, container sizes are
- given as a suggestion only.
- 8. No muck-grown sod shall be utilized in detention areas.9. All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min.
- 10. Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required setbacks from utilities.
- Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the field in accordance with the planting details shown hereon.
- 11. Trees are to be installed with a ten foot (10') separation from any water or sewer main and/ or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation requirements. 12. All planters shall be excavated to a minimum depth of twenty-four (24) inches and back-filled with a suitable soil consisting of fifty percent (50%) composted organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.









Jon E. Schmidt and Associates Landscape Architecture & Site Planning 2247 Palm Beach Lakes Blvd.- Suite 101 West Palm Beach, Florida 33409 Tel. (561) 684-6141 • Fax. (561) 684-6142 E-mail: Jschmidt@jesla.com Website: www.jesla.com License No.: LC26000232

Date:	06/27/16
Scale:	1'' = 20'-0''
Design By:	MLD
Drawn By:	MLD
Checked By:	Jes
File No.	119.33
Job No.	16-51

REVISIONS / SUBMISSIONS <u>06/30/16 DD Submittal</u>

Landscape Plan

- A. Extent of planting work is shown on drawings and in schedules.
   B. Subgrade Elevations: Excavation, filling and grading required to establish elevations 4" lower than elevations and contours shown on drawings are not
- specified in this Section. C. Finish Grade Elevations: 1 inch below top of pathway edging.

#### 1.02 QUALITY ASSURANCE

- A. Subcontract landscape work to a single firm specializing in landscape work.

  B. Source Quality Control:
  - 1. General: Ship landscape materials with certificates of inspection required by governing authorities. Comply with regulations applicable to landscape materials.
- Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non—availability and proposal for use of equivalent material. When authorized, adjustment of contract amount will be made.
- 3. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable.
- 4. Trees, Palms and Shrubs: Provide trees, palms and shrubs grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, vigorous stock free of disease, insects, eggs, larvae, and defects such as decay, knots, sun—scald, injuries, abrasions disfigurement. Provide trees, palms and shrubs for grade needed as outlined under Grades and Standards for Nursery Plants, State Plant Board of Florida, unless otherwise noted.
  - a. Sizes: Provide trees and shrubs of sizes shown or specified. Trees, palms and shrubs of larger size may be used if acceptable to Landscape Architect, and if sizes of roots or balls are increased proportionately.
- C. Inspection: Landscape Architect reserves right to inspect trees, palms and shrubs either at place of growth or at site before planting, for compliance with requirements for name, variety, size and quality.

#### 1.03 SUBMITTALS

- A. Certification: Submit certificates of inspections as required by governmental authorities, and manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply
- with specified requirements.

  B. Submit seed vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species.
- C. Planting Schedule:
  Submit planting schedule showing schedule dates for each type of planting in each area of site.
- D. Maintenance Instructions:
  Submit typewritten procedures for maintenance of landscape work.

#### 1.04 DELIVERY, STORAGE AND HANDLING

- A. Packaged Materials: Deliver packaged materials in original containers showing weight analysis and name of manufacturer. Protect materials from deterioration during delivery, and while stored at site.
- B. Sod: Time delivery so that sod will be placed within 24 hours after stripping.

  Protect sod against drying and breaking of rolled strips.
- C. Trees, palms and shrubs: Provide freshly dug trees, palms and shrubs. Do not prune prior to delivery. Do not bend or bind—tie trees or shrubs in such a manner to damage bark, break branches or destroy natural shape. Provide protective covering during delivery.
- D. Deliver trees, palms and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist.
- E. Do not remove container grown stock from containers until planting time.

#### 1.05 JOB CONDITIONS A. Proceed wit

A. Proceed with and complete landscape work as rapidly as portions of site become available.
B. Utilities: Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required. Maintain

grade stakes set by others until removal is mutually agreed upon by parties

- concerned.

  C. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape
- Architect before planting.

  D. Planting Schedule: Where applicable, prepare a proposed planting schedule.

  Schedule dates to establish a logical sequence for completing each type of landscape work to avoid damage to other landscape work and work performed by other disciplines. Correlate with specified maintenance periods to provide
- maintenance from date of substantial completion. Once accepted, revise dates only as approved in writing, after documentation of reasons for delay.

  E. Coordination with Lawns: Plant trees, palms and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Landscape Architect. If planting of trees, palms and shrubs occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from

#### planting operations.

- 1.06 SPECIAL PROJECT WARRANTY

  A. Warrant lawns through specified maintenance period, and until final acceptance.
- The required period is for one full year following installation of lawn areas.

  B. Warrant trees for a period of one year after date of substantial completion against defects death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or
- incidents which are beyond Landscape Contractor's control.

  C. Warrant shrubs for 1 full year after date of substantial completion.
- D. Remove and replace trees, shrubs or other plants found to be dead or in unhealthy condition during warranty period. Make replacements during growth season following end of warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period; unless, in opinion of the Landscape Architect, it is advisable to extend warranty period for a full growing season or for one full year.
- Another inspection will be conducted at end of extended warranty period, to determine acceptance or rejection. Only one replacement will be required at end of warranty period, except for losses or replacements due to failure to comply with specified requirements.

#### PART 2 PRODUCTS

#### 2.01 TOPSOI

- A. If topsoil is not available on site it must be furnished as specified. Throughout all parts of site where finish grades and contour lines differ from existing contour
- lines, bring to finish grade contours shown on "Grading Plan."

  B. Topsoil shall be friable fertile soil with representative characteristics of area soils. It should be free of heavy clay, silt, stone, extraneous lime, plant roots and other foreign matter greater than 1 1/2" in diameter. It shall not contain noxious plant growth (such as bermuda or nut grass). It shall test in neutral Ph range of 5.0 to 6.75 and contain no toxic substances that can be deemed to impede plant growth. The contractor shall be prepared to have soil lab—tested at his expense by the Landscape Architect. Topsoil shall comply with the following quantative analysis.

COMPONE	NTS V	OLUME MEASURE	PARTICLE SIZE
Organic M	latter 3	5 – 5%	
Silt	1	0 - 30%	0.05 to 0.002 MM
Sand	2	25 - 75%	0.2 to 0.05 MM
Clay	5	5 - 25%	0.002 MM and below

#### 2.02 SOIL AMENDMENTS If necessary to bring soil into above specified limits:

- A. Lime: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than 90% passes a 10—mesh sieve and not
- less than 50% passes a 100-mesh sieve.

  Registration of Peat Moss: Texture moisture and pH range suitable for intended
- B. Peat Humus or Peat Moss: Texture, moisture and pH range suitable for intended use.
- C. Humus Soil Conditioner: Consisting of yard trimmings and biosolids co-compost.
   D. Commercial Fertilizer: Complete fertilizer of neutral character, with 40% 50% of the total nitrogen in a water insoluble form. It shall be uniform in composition, dry and free flowing.

- 1. For trees, palms and shrubs, provide fertilizer with not less than 6%
- available phosphoric acid, 6% nitrogen and 6% soluble potash.

  2. For lawns, provide fertilizer with not less than 6% phosphoric acid, and 6% potassium, and percentage of nitrogen required to provide not less than 1 lb. of actual nitrogen per 1000 square feet of lawn area. Provide nitrogen in a form that will be available to lawn during initial period of growth.

#### 2.03 PLANT MATERIAL

- A. Plant list is part of this specification section.

  B. Quality: Trees, palms, shrubs and other plants shall conform to the s
- B. Quality: Trees, palms, shrubs and other plants shall conform to the standards for Florida No. 1 or better as given in the latest edition of Grades and Standards for Nursery Plants, State Plant Board of Florida.
   C. Deciduous Trees: Provide trees of height and caliper listed or shown and with

branching configuration for No. 1 graded trees in Grades and Standard for

Nursery Plants for type and species required. Provide single stem trees except where special forms are shown or listed. Ball condition variable.

D. Coniferous and Broadleafed Evergreens: Provide evergreens of size shown or listed. Dimensions indicate minimum height and spread. Provide specified quality evergreens with well—balanced form complying with requirements for other size

#### 2.04 GRASS MATERIALS

- A. Grass Seed: Provide fresh, clean, new—crop seed complying with established tolerance for purity and germination. Provide seed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified. Attach a schedule of requirements.
- B. Sod: Provide strongly rooted sod free of weeds and undesirable native grasses, capable of growth and development when planted.

#### C. No muck-grown sod shall be utilized in detention areas. 2.05 MISCELLANEOUS LANDSCAPE MATERIALS

relationships to the primary dimension shown.

- A. Ground Cover: Provide plants established and well—rooted in removable containers or internal peat pots and with not less than minimum number and length of runners specified.
- B. Anti-Erosion Mulch: Provide clean, dry, mulching hay or straw of coastal bermuda, pangola or bahia grass. Only undeteriorated mulch which can be readily cut into the soil shall be used.
   C. Mulch: Melaleuca or equal.
- D. Stakes and Guys: When required provide stakes and deadmen of sound new hardwood, treated softwood, or redwood, free of knot holes and other defects. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire not lighter than 12 ga. with zinc-coated turnbuckles. Provide not less than 1/2" hose, cut to required lengths to protect tree trunks from damage by wires.

#### PART 3 EXECUTION

#### 3 01 LAYOUT

A. Layout individual trees and shrub locations and areas for multiple plantings.

Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as maybe required.

#### 3.02 PREPARATION OF PLANTING SOIL

- A. Before mixing, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth.
- B. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow placing of planting soil within a few
- C. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.
  - . Mix lime with dry soil prior to mixing of fertilizer.
- 2. Prevent lime from contacting roots of acid—loving plants.

  D. Remove all shellrock encountered and backfill with clean sand or sand/soil mix.

#### 3.03 PREPARATION FOR PLANTING AREAS (To include Lawn and Planting Bed Areas)

A. Spread a layer of 2 to 3 inches of humus soil conditioner over the entire planting area. Planting areas shall include all new sod areas, shrub areas and tree areas. These areas shall be as large as 3 times the diameter of the beds of the plants, except where confined by hardscape features such as paved parking areas, paved walk ways, structures, etc. Overlapping areas shall be considered to be one large planting area for the entire mass. The humus soil conditioner shall then be uniformly disked, tilled or aerified into the existing soil to a depth of 6 to 8 inches with the following exception: no rototilling shall occur closer to the trunks of established plants than one half the distance to the dripline of the existing plant canopy. All plants, including hedges and ground cover shall be planted in individually dug holes and the material dug from the holes shall then be further mixed with the prepared site soil prior to backfilling of the planting holes around the rootballs.

#### 3.04 PREPARATION FOR PLANTING LAWNS

- A. Preparation of Unchanged Grades: Where lawns are to be planted in areas that have not been altered or disturbed by excavating, grading, or stripping operations, prepare soil for lawn planting as follows: Till to a depth of not less than 6"; apply soil amendments and initial fertilizers; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, free of lumps, clods, stones, roots and other extraneous matter.
  - Prior to preparation of unchanged areas, remove existing grass, vegetation and turf. Dispose of such material outside of Owner's property; do not turn over into soil being prepared for lawns.
- B. Elsewhere: Loosen subgrade of lawn areas to a minimum depth of 4". Remove stones over 1 1/2" in any dimension and sticks, roots, rubbish and other extraneous matter. Limit preparation to areas which will be planted promptly after
  - 1. Spread planting soil mixture to minimum depth required to meet lines,
  - grades and elevations shown, after light rolling and natural settlement.

    2. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil.
  - 3. Allow for sod thickness in areas to be sodded.
- C. Grade lawn areas to smooth, even surface with loose, uniformly fine texture. Roll and rake and remove ridges and fill depressions, as required to meet finish grades. Limit fine grading to areas which can be planted immediately after arading.
- D. Moisten prepared lawn areas before planting if soil is dry. Water thoroughly and allow surface moisture to dry before planting lawns. Do not create a muddy soil
- condition.

  E. Restore lawn areas to specified condition if eroded or otherwise disturbed after

#### fine grading and prior to planting.

#### 3.05 PREPARATION OF PLANTING BEDS

- A. Loosen subgrade of planting bed areas to a minimum depth of 12" using a cultimulcher or similar equipment Remove stones over 1 1/2" in any dimension, and sticks, stones, rubbish and other extraneous matter. Spread planting soil mixture to minimum depth required to meet lines, grades and elevations shown, after light rolling and natural settlement. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer, then place remainder of the planting soil. Add soil amendment.
- B. Excavation for Tress and Shrubs: Excavate pits, beds and trenched with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard subsoil in bottom of excavation.
- For balled and burlapped (B & B trees and shrubs), make excavations at least half again as wide as the ball diameter and equal to the ball depth.
- For container grown stocks, excavate as specified for balled and burlapped stock, adjusted to size of container width and depth.
- C. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use as backfill. Fill excavations for trees and shrubs with water and allow to percolate out before planting.

#### 3.06 PLANTING TREES, PALMS AND SHRUBS

- A. Lay out individual trees, palm and shrub locations and areas for multiple plantings where required. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make adjustments as may be required.
- Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. Remove burlap from sides of balls; retain on bottoms. When set, place additional backfill around base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer

#### of backfill.

- C. Set container grown stock as specified for balled and burlapped stock, except cut cans on 2 sides with an approved can cutter; remove bottoms of wooden boxes after partial backfilling so as not to damage root balls.
- Dish top of backfill to allow for mulching.
   Mulch pits, trenches and planting areas. Provide not less than following thickness of mulch and work into top of backfill and finish level with adjacent finish grades: Provide 3" thickness of mulch.
- F. Guy and stake trees immediately after planting , as indicated.

#### 3.07 PRUNING

- A. All pruning shall be done on the site before planting as directed by Landscape Architect. Pruning shall follow modern horticultural practices (Grades and Standards for Nursery Plants) and shall be done with approved tools designed for the purpose intended. Lopping, topping, or shearing of trees or shrubs will be grounds for rejecting the plants as unsuitable and not meeting requirements. Damaged, scarred, frayed, split, or skinned branches, limbs or roots shall be pruned back to line wood nearest to the next sound outside lateral bud, branch, limb or root. The terminal leader or bud in all trees or shrubs shall be left intact and not removed unless damaged.
- B. Prune, thin out and shape trees and shrubs. Prune trees to retain required height and spread. Unless otherwise directed by Landscape Architect, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any. Prune shrubs to retain natural character.

#### 3.08 SODDING NEW LAWNS

- A. Lay sod within 24 hours from time of stripping.
   B. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll tightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces to sod;
- remove excess to avoid smothering of adjacent grass.

  C. Water sod thoroughly with a fine spray immediately after planting.

#### D. No muck-grown sod shall be utilized in detention areas. 3.09 MAINTENANCE

- A. Begin maintenance immediately after planting. 3. Maintain trees, palms, shrubs and other plants until final acceptance but in no
- case less than following period: 30 days after substantial completion of planting.

  C. Maintain trees, palms, shrubs and other plants by pruning, cultivating and weeding as required for healthy growth. Restore planting saucers. tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical position as required. Restore or replace damaged wrappings. Spray as
- required to keep trees and shrubs free of insects and diseases.

  D. Remove and replace excessively pruned or misformed stock resulting from
- Maintain lawns for not less than the period stated below, and longer as required to establish an acceptable lawn.
- Sodded lawns, not less than 30 days after substantial completion.
   Seeded lawns, not less than 60 days after substantial completion.
- F. Maintain lawns by watering fertilizing, weeding, mowing, trimming, and other operations such as rolling, regrading and replanting as required to establish a
- smooth, acceptable lawn, free of eroded or bare areas.

  G. Landscape Contractor is responsible for watering all sod and plant materials from day of installation through final acceptance even if irrigation is not in place, unless this responsibility is assumed in writing by another party.
- H. Landscape Contractor is to maintain the site weed—free untill acceptance by the Owner.

#### 3.10 CLEANUP AND PROTECTION A. During landscape work, keep pavement clean and work area in an orderly

condition.

B. Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed.

#### 3.11 INSPECTION AND ACCEPTANCE

- A. When landscape work is completed, including maintenance, Landscape Architect will, upon request, make an inspection to determine acceptability. Landscape work may be inspected for acceptance in parts agreeable to Landscape Architect,
- provided work offered for inspection is complete, including maintenance.

  Seeded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, uniform close stand of specified grass is established, free of weeds, bare spots and surface irregularities (95% coverage
- required for acceptance).

  C. Sodded lawns will be acceptable provided requirements, including maintenance, have been complied with, and healthy, well—rooted, even—colored, viable lawn is established, free of weeds, open joints and bare areas (95% coverage required for acceptance). Where inspected landscape work does not comply with requirements, replace rejected work and continue specified maintenance until reinspected by Landscape Architect and found to be acceptable. Remove rejected plants and materials promptly from project site.

#### 3.12 IRRIGATION

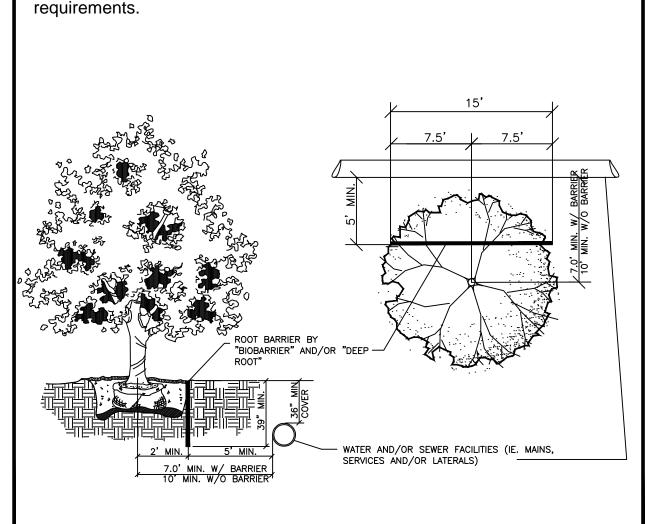
- A. An automatic irrigation system providing 100% coverage with 50% overlap
- is to be provided.

  B. A rain sensor is required on all Irrigation Systems.
- B. A rain sensor is required on all Irrigation Systems.C. Provide an as built drawing of the irrigation system to the Landscape Architect.

#### LANDSCAPE AND ROOT BARRIER NOTE:

Trees shown on this plan are for graphic reprsentation only. Tree spacing is based on design requirements and the trees shown on this plans attempt to accomplish that spacing while maintaining the required setbacks from utilities. Trees may be field adjusted to avoid conflicts with driveways and underground utilities. In any case the trees shall be located in the filed in accordance with the planting details shown hereon.

Additionally, trees are to be installed with a ten foot (10') separation from any water or sewer main and/or service, hydrants, and lift stations. If a ten foot (10') separation cannot be achieved, the tree can be installed with a root barrier system. Refer to the "Root Barrier" detail for installation



pical Root Barrier Detail

#### LANDSCAPE NOTES

- GENERAL

  1. All proposed material shall be Florida No. 1 or better as set forth in "Grades & Standards for Nursery Plants," Florida Dept. of Agriculture. 2nd Edition 2/98.
- Standards for Nursery Plants," Florida Dept. of Agriculture. 2nd Edition 2/98.
  No deviations will be permitted.

  2. By submitting a bid, the landscape contractor is responsible for providing the material
- and acceptance by the Owner or his representative, or Landscape Architect.

  3. Materials to be hand—selected at the discretion of the Owner or his representative,
- or Landscape Architect.

  4. All work shall proceed in a professional manner in accordance with standard nursery and installation practices.

  5. Quantities on plant list are for convenience only. Landscape Contractor is
- responsible for all plants shown on planting plans. When discrepancies occur between plant list and planting plans, the plans are to override the plant list in all cases. Contractor is responsible for confirming sod quantities and certifying such to the Owner or his representative.
- 6. Contractor is responsible for locating all underground utilities prior to digging.

  Notify the Owner or his representative, or the Landscape Architect immediately regarding discrepancies or conflicts.
- Landscape Contractor to notify the Owner or his representative, or Landscape
   Architect at least three (3) working days prior to beginning any stage of work.
- The Owner or his representative, or Landscape Architect reserve the right to field adjust plant material on—site to avoid conflicts or discrepancies not anticipated in the planning process.

8. Owner or Landscape Architect to be immediately notified of any discrepancies

- 10. Existing plant material to be removed, except as noted.
- TREES & PALMS

  1. All trees, new and relocated, to be staked and guyed as detailed.
- No double or multi-trunk trees unless otherwise specified.
   Face of trees and palms to be located a minimum of 2'-0" off all sidewalks/bike paths or other paved surfaces, unless otherwise notated on plans.
- 5. All trees falling within grassed areas to have a 3" mulch ring with no more than 1" of mulch directly adjacent to the trunk of the tree. Min. 3' radius mulch ring to be provided.
- PLANTING BEDS

  1. Groundcover and shrubs to be layed out in a uniform and consistent pattern.

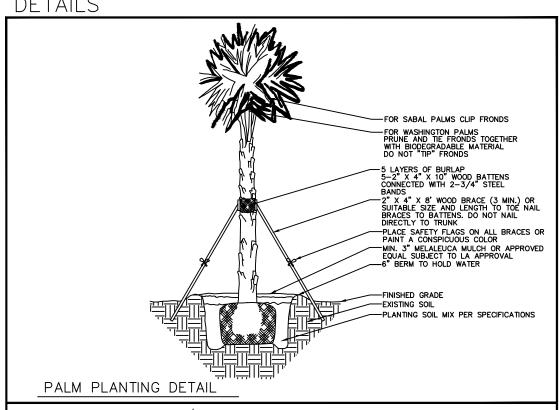
Root suckers on Live Oaks are not acceptable.

- All planting beds to receive 3" deep shredded mulch per specifications.
   Landscape Contractor is responsible for verifying that clean top soil, meeting the attached specifications, exists in each planting bed prior to planting. Contractor
- attached specifications, exists in each planting bed prior to planting. Contractor shall add or amend top soil if necessary. Tree pits shall be backfilled as noted in attached specifications. Excavate all shrub and groundcover beds as specified and backfill with planting soil per specifications.
- 4. All existing asphalt base material to be removed from planting areas and replaced with clean top soil prior to planting. Final grade within planting areas to be 2" sop
- Landscape Contractor is responsible for replacing any damaged sod.
   All sod areas to receive a 3" top dressing of soil per specifications.

#### All sod areas to receive a 3" top dressing of soil per specifications No muck-grown sod shall be utilized in detention areas. IRRIGATION

 All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing 100% coverage, and a rain sensor per attached plans. No landscape installation shall occur until the irrigation system is operational, unless approval is granted by Owner or his representative, or Landscape Architect.





# THIN BRANCHES AND FOLIAGE AS DIRECTED BY LANDSCAPE ARCHITECT. NEVER CUT TERMINAL LEADER 2-PLY REINFORCED RUBBER OR PLASTIC HOSE-MIN. 3/4" DIA. LOCATE ABOVE FIRST LATERAL BRANCH #12 GALV. GUY WIRE (MIN. 3 PER TREE) TURNBUCKLE (3). GALVANIZED OR DIP-PAINTED SET FREE AT ORIGINAL GRADE PLACE SAFETY FLAGS ON ALL BRACES OR PAINT A CONSPICUOUS COLOR MIN. 3" MELALEUCA MULCH OR APPROVED EQUAL SUBJECT TO LA APPROVAL 6" BERMED SAUCER TO HOLD WATER 2" X 4" X 2" HARDWOOD STAKES EQUALLY SPACED AROUND TREE

-FINISHED GRADE

-REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL

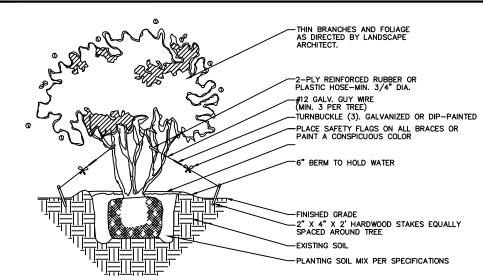
NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACK FILLING
2. LEAVE 10" OF STAKE ABOVE GRADE FOR REMOVAL

- PLANTING SOIL MIX PER SPECIFICATIONS

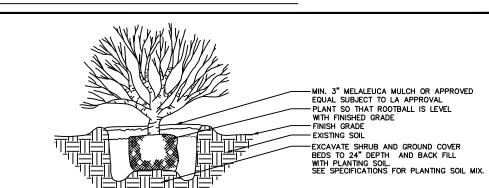
- FXISTING SOIL

3. TREE SHALL BE SECURED WITH 3 GUY WIRES SPACED
120" APART. TREE SHALL STAND PLUMB. GUY WIRES TO
BE REMOVED AT END OF GUARANTEE PERIOD.

LARGE TREE (OVER 8' HT.) PLANTING DETAIL



MULTI-TRUNK TREE PLANTING DETAIL



HRUB AND GROUND COVER DETAIL

Jon E. Schmidt and Associates
Landscape Architecture & Site Planning
2247 Palm Beach Lakes Blvd.- Suite 101
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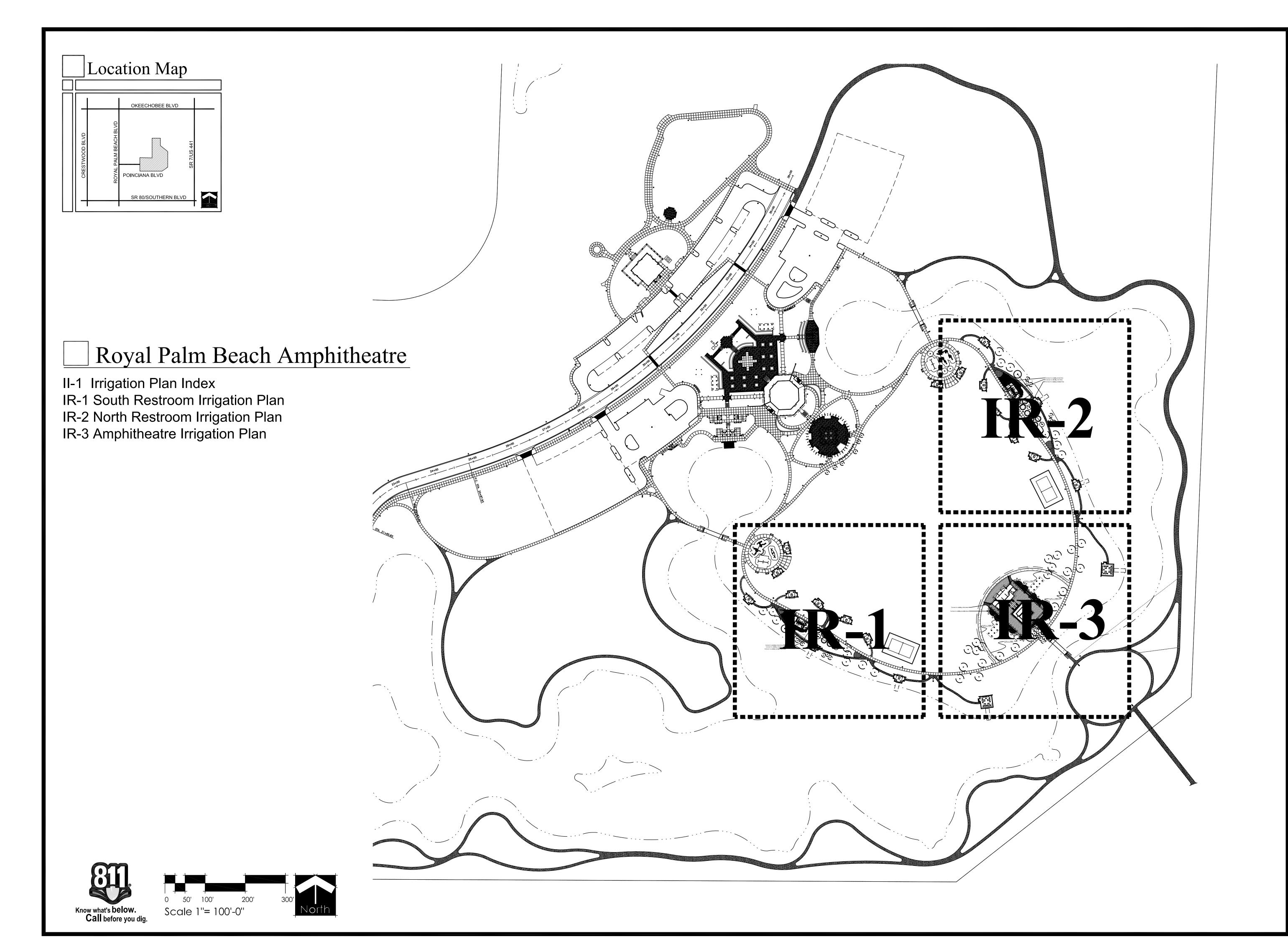
Royal Palm Beacl Amphitheatre

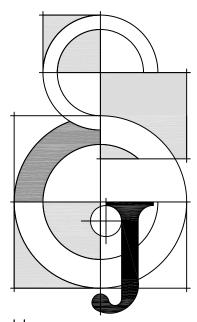
Date: 06/27/16
Scale: N.T.S.
Design By: MLD
Drawn By: MLD
Checked By: Jes
File No. 119.33
Job No. 16-51

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Landscape

IP-4 of 4





Jon E. Schmidt and Associate Irrigation Architecture & Site Planning 2247 Palm Beach Lakes Blvd.- Suite 1 West Palm Beach, Florida 33409 Tel. (561) 684-6141 • Fax. (561) 684-61 E-mail: Jschmidt@jesla.com Website: www.jesla.com License No.: LC26000232

# yal Palm Beach Amphitheatre

Date: 08/18/16
Scale: 1" = 100'-0"
Design By: CWP
Drawn By: CWP
Checked By: Jes
File No. 119.33

REVISIONS / SUBMISSIONS

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED Irrigation ARCHITECT.

Printed name

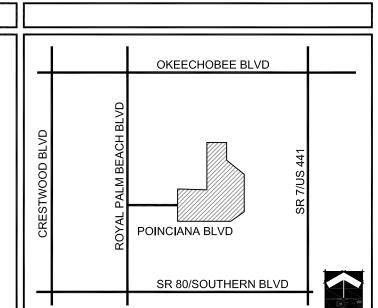
FLORIDA REGISTRATION NO. LA 0001638

Irrigation Index

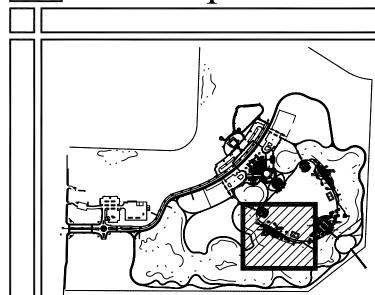
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of

# Location Map



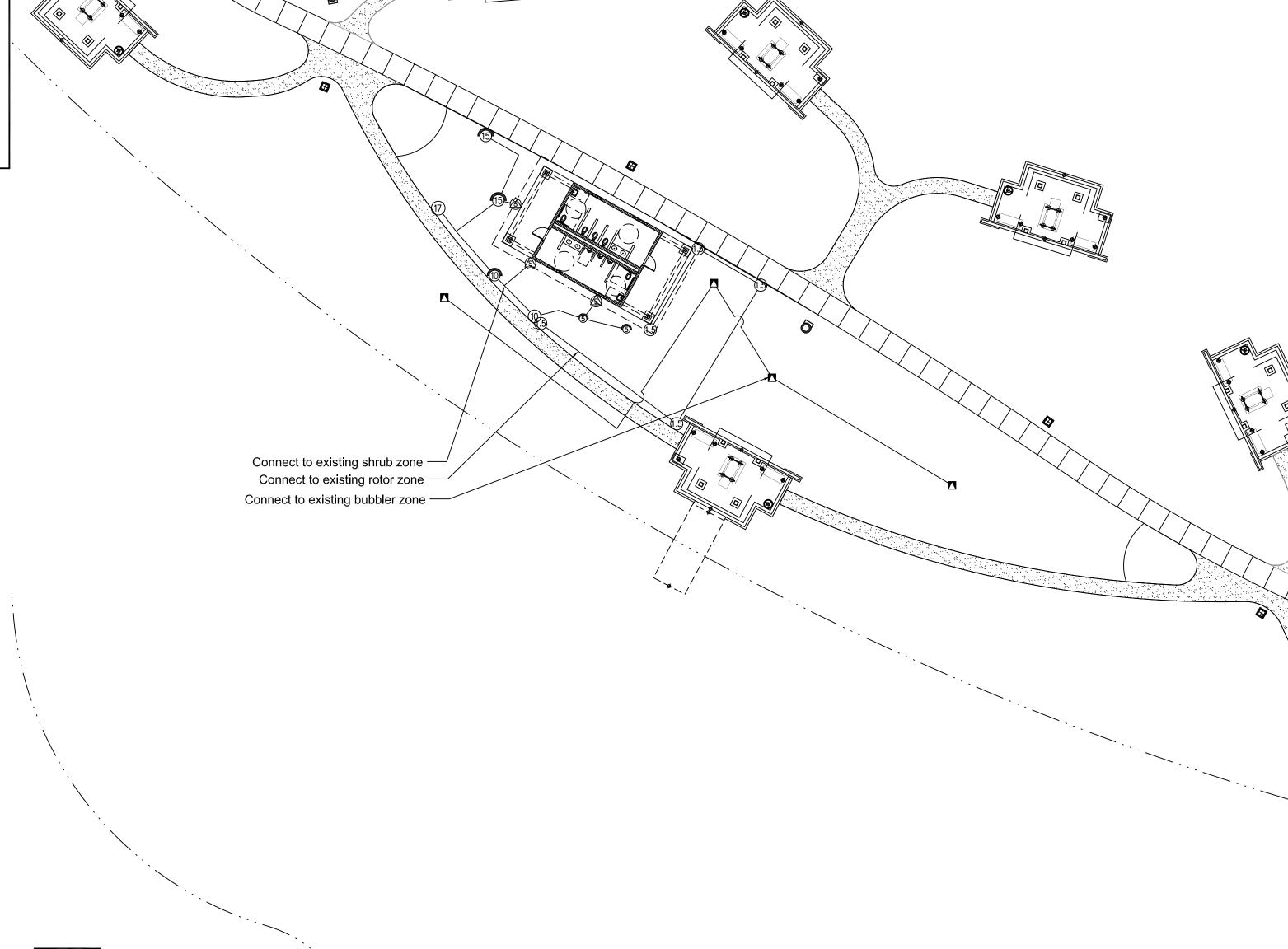
#### Site Map



#### IRRIGATION SCHEDULE

IRRIGATION	SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>QTY</u>	PS
\$\\ \\$\\ \\$\\ \\$\\ \\$\\ \\$\\ \\$\\ \\$\\	Toro 570S-PC 5 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
8 8 8 8 8 8 Q T H TT TQ F	Toro 570S-PC 8 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
10 10 10 10 10 10 10 10 10 10 10 10 10 1	Toro 570S-PC 10 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	4	30
12 12 12 12 12 12 12 12 12 12 12 12 12 1	Toro 570S-PC 12 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	1	30
15 15 15 15 15 Q T H TT TQ F	Toro 570S-PC 15 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
8 10 12 15 17 8 10 12 15 17	Toro 570S-PC ADJ Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	22	30
A LEST A LEST SST SST SST SST SST SST SST SST SST	Toro 570S-PC Shrub Strip Spray Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	6	30
25 50 10 20	Hunter AFB Adjustable Flow Bubbler, 1/2" FIPT, stainless steel screw adjustment.	24	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>QTY</u>	PS
1.5	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	10	35
<u>SYMBOL</u>	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Irrigation Lateral Line: PVC Schedule 40	1,575 <b>I</b> .f.	
=======	Pipe Sleeve: PVC Schedule 40	70.6 l.f.	

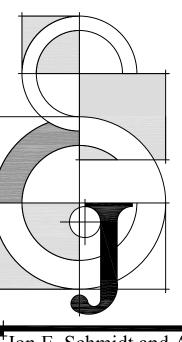
Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.



# Irrigation Notes

- 1. IRRIGATION SYSTEM TO UTILIZE EXISTING EQUIPMENT.
- 2. EXISTING IRRIGATION SHALL REMAIN FULLY FUNCTIONAL THROUGHOUT THE CONSTRUCTION OF THE PROPOSED IRRIGATION SYSTEM.
- 3. ALL SLEEVING TO BE DONE BY IRRIGATION CONTRACTOR.
- 4. LANDSCAPED AREAS MAY UTILIZE 1/2" P.V.C. RISERS TO INSURE 100% COVERAGE.
  ALL RISERS INSTALLED ARE TO BE PAINTED BLACK.
- 5. MAIN LINE SHALL BE LOCATED IN SAME TRENCH AS MIST HEADS WHERE POSSIBLE.
- 6. ALL WIRE SPLICES ARE TO UTILIZE WATERTIGHT CONNECTIONS AND SHALL BE LOCATED AT THE VALVE.
- 7. THE CONTRACTOR SHALL RUN ADDITIONAL SPARE WIRES IN EACH DIRECTION TO EACH END OF THE MAIN FOR FUTURE USE.
- 8. CONTROL WIRING: 24 VOLT SOLID SINGLE STRAND COPPER UL APPROVED FOR DIRECT BURIAL. MINIMUM WIRE SIZE: 14 GAUGE CONTROL WIRES & 12 GAUGE FOR COMMON WIRES.
- 9. NO LATERAL LINES LESS THAN 3/4" DIAMETER MAY BE USED.
- 10. THE CONTRACTOR SHALL MAKE ALL ADJUSTMENTS TO THE IRRIGATION SYSTEM TO INSURE 100% COVERAGE AS WELL AS ELIMINATE ANY POTENTIAL OVERSPRAY.

  11. ALL VALVES ARE TO BE LOCATED WITHIN TWO FEET OF THE MAIN LINE AT THE INDICATED AREAS.
- 12. DO NOT SCALE PLAN FOR EXACT HEAD LOCATION.
- 13. ALL MATERIALS SPECIFIED ON THIS PLAN CAN BE REPLACED WITH EQUAL MATERIAL UPON OWNERS APPROVAL.



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Website: www.jesla.com
License No.: LC26000232

# Amphitheatre

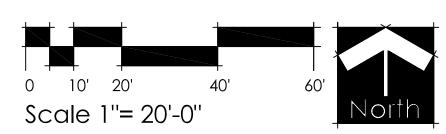
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Scale:	1" = 20'-0"
Design By:	CWP
Drawn By:	CWP
Checked By:	Jes
File No.	119.33
Job No.	16-51

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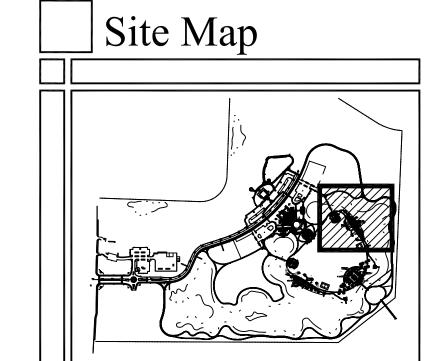
Irrigation Plan

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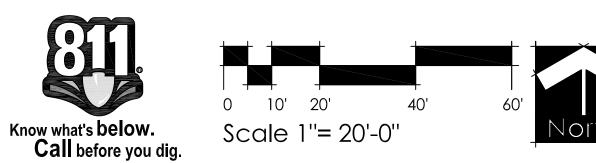
# Location Map OKEECHOBEE BLVD



#### IRRIGATION SCHEDULE

SR 80/SOUTHERN BLVD

Hudominor	SCIEDCEE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>QTY</u>	<u>PS</u>
6 6 6 6 6 Q T H TT TQ F	Toro 570S-PC 5 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
(8) (8) (8) (8) Q T H TT TQ F	Toro 570S-PC 8 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
	Toro 570S-PC 10 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	4	30
<b>2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 </b>	Toro 570S-PC 12 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	1	30
(5) (5) (5) (5) (6) Q T H TT TQ F	Toro 570S-PC 15 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
8 10 12 15 17 8 10 12 15 17	Toro 570S-PC ADJ Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	22	30
ALST ASST SSST 2SST 4CST 4S—SST	Toro 570S-PC Shrub Strip Spray Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	6	30
25 50 10 20	Hunter AFB Adjustable Flow Bubbler, 1/2" FIPT, stainless steel screw adjustment.	24	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>QTY</u>	<u>PS</u>
1.5	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	10	35
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Irrigation Lateral Line: PVC Schedule 40	1,575 l.f.	
======	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material.  Extend sleeves 18 inches beyond edges of paying or	70.6 l.f.	

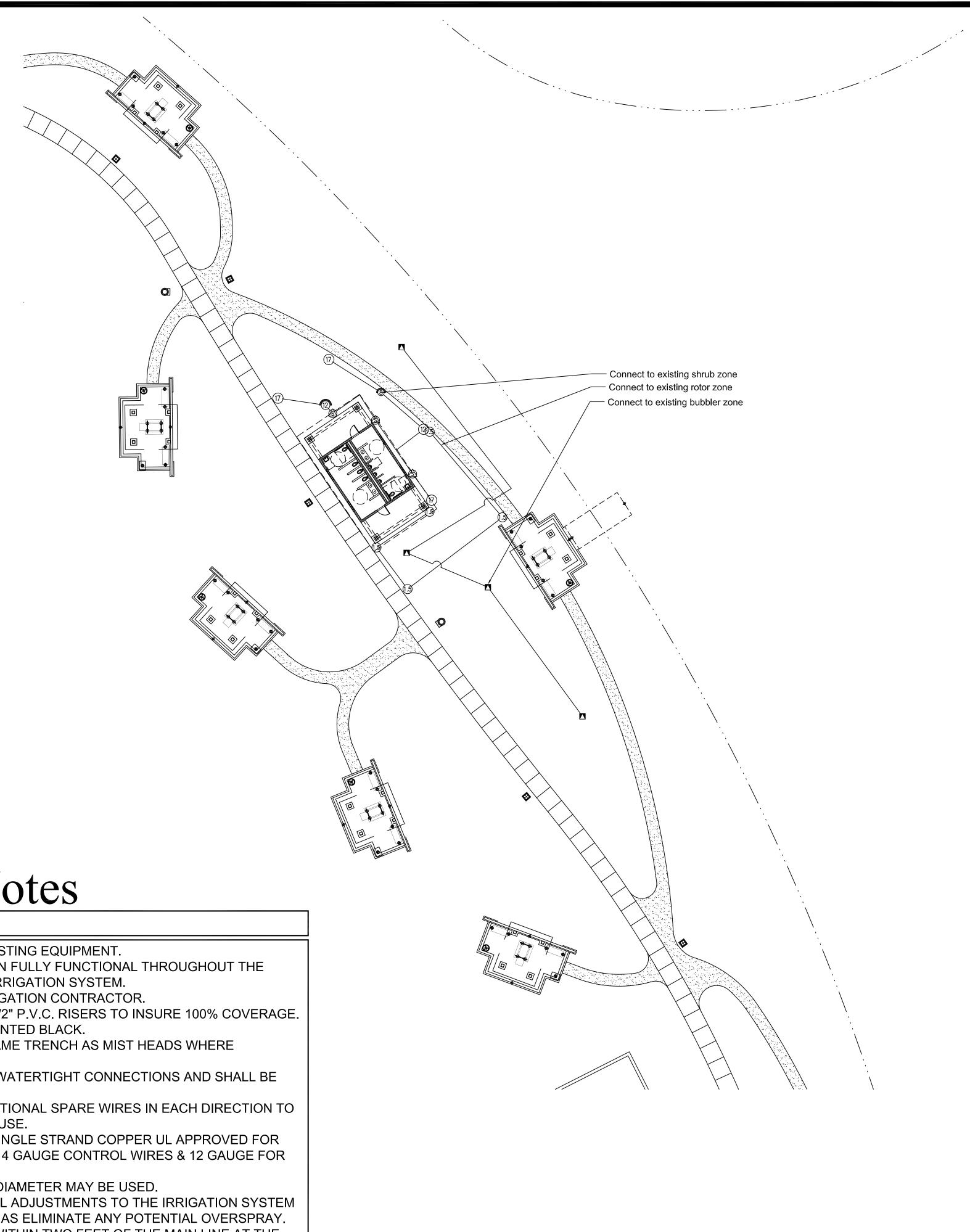


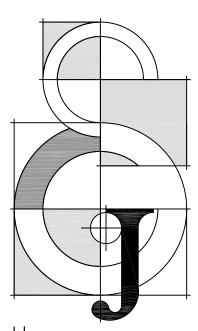
construction.

Extend sleeves 18 inches beyond edges of paving or



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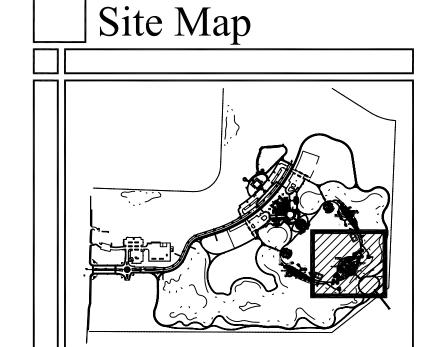
Jon E. Schmidt and Associates Landscape Architecture & Site Planning 2247 Palm Beach Lakes Blvd.- Suite 101 West Palm Beach, Florida 33409 Tel. (561) 684-6141 • Fax. (561) 684-6142 E-mail: Jschmidt@jesla.com Website: www.jesla.com License No.: LC26000232

Date:	08/18/16
Scale:	1" = 20'-0"
Design By:	CWP
Drawn By:	CWP
Checked By:	Jes
File No.	119.33
Job No.	16-51

REVISIONS / SUBMISSIONS

Irrigation Plan

# Location Map OKEECHOBEE BLVD



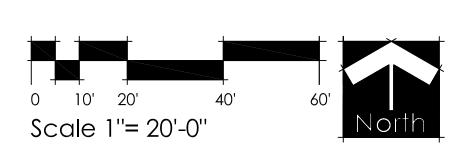
POINCIANA BLVD

SR 80/SOUTHERN BLVD

IRRIGATION	SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>QTY</u>	<u>PSI</u>
⑤ ⑤ ⑥ ⑥ ⑥ Q Т Н П ТQ F	Toro 570S-PC 5 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	2	30
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(1) (1) (1) (1) (1) (1) (1) (1) (1) (1)	Toro 570S-PC 10 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	4	30
(2) (2) (2) (2) (2) (2) (3) (4) (4) (4) (4) (4) (4) (4) (4) (4) (4	Toro 570S-PC 12 Series Shrub Spray, Fixed Riser, with a Zero Flush Seal. 1/2" Female-Threaded Inlet. Ideal for small to medium landscape areas.	1	30
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>QTY</u>	<u>PSI</u>
(1.5)	Hunter PGP-04 Turf Rotor, 4.0" Pop-Up. Adjustable to Full Circle.	10	35
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	<u>QTY</u>	
	Irrigation Lateral Line: PVC Schedule 40	1,575 l.f.	
======	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction	70.6 l.f.	



construction.



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Connect to existing shrub zone -

Connect to existing bubbler zone

SCHEDULE 80 PVC NIPPLE, SET AT 45 DEGREE ANGLE.

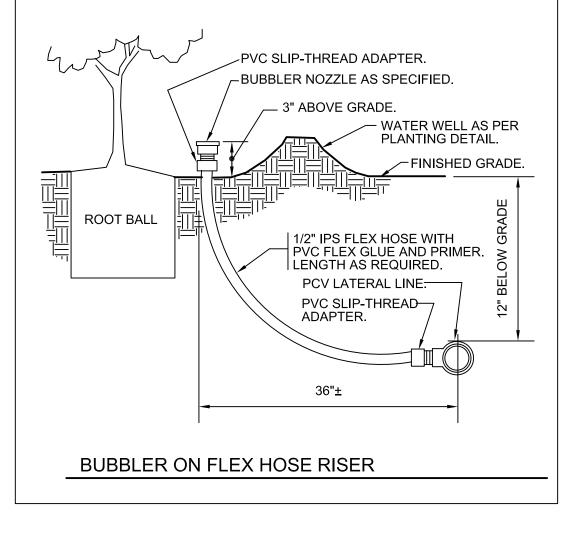
- 13. ALL MATERIALS SPECIFIED ON THIS PLAN CAN BE REPLACED WITH EQUAL
- MATERIAL UPON OWNERS APPROVAL.

TURF POP UP HEAD.

LATERAL LINE AND PVC TEE.

TURF SPRAY MARLEX ASSEMBLY

1/2" MARLEX STREET ELLS.



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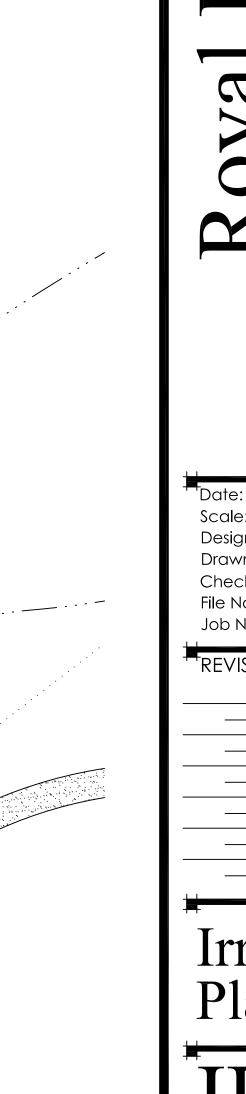
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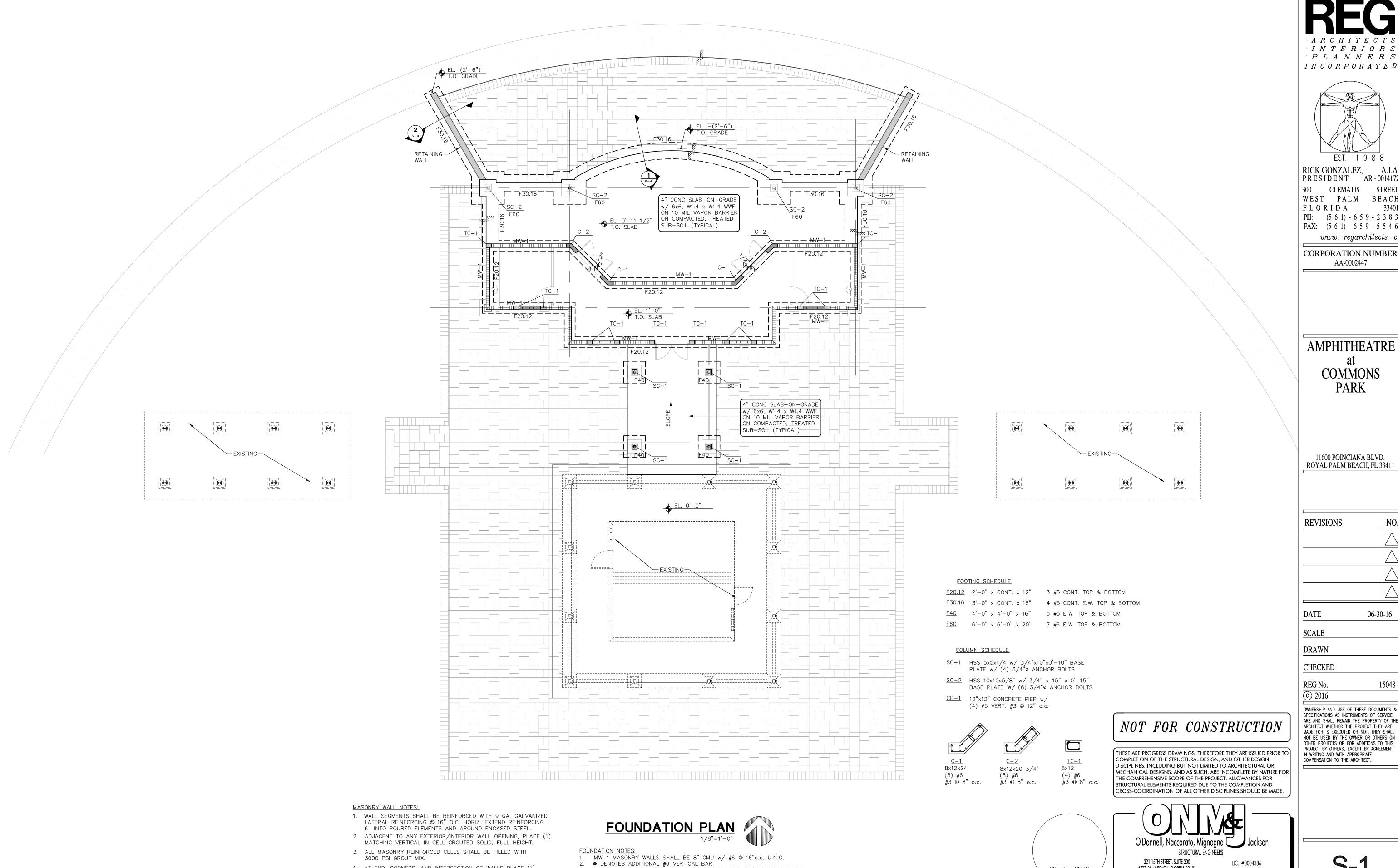
E-mail: Jschmidt@jesla.com Website: www.jesla.com License No.: LC26000232

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Date:	08/18/16
Scale:	1'' = 20'-0''
Design By:	CWP
Drawn By:	CWP
Checked By:	Jes
File No.	119.33
Job No.	16-51

<sup>+</sup>revisions / submissions

Irrigation Plan





PROVIDE #6 VERTICAL @ ALL JAMBS, CORNERS AND WALL INTERSECTIONS.

Structural Drawing Updated Based on Architectural Backgrounds Dated 7—20—16

4. TOP OF ALL ISOLATED FOOTINGS SHALL BE A MINIMUM OF 16" BELOW GRADE.

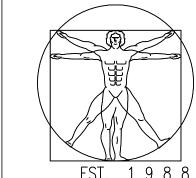
4. AT END, CORNERS, AND INTERSECTION OF WALLS PLACE (1)

5. ALL CMU MUST HAVE A MINIMUM COMPRESSIVE STRENGTH

OF 2,500 PSI.

MATCHING VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT.

 $\cdot$  P L A N N E R S



RICK GONZALEZ, A.I.A. PRESIDENT AR - 0014172 300 CLEMATIS STREET WEST PALM BEACH

PH: (5 6 1) - 6 5 9 - 2 3 8 3 FAX: (5 6 1) - 6 5 9 - 5 5 4 6 www. regarchitects. com

**CORPORATION NUMBER** AA-0002447

AMPHITHEATRE COMMONS PARK

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411

06-30-16

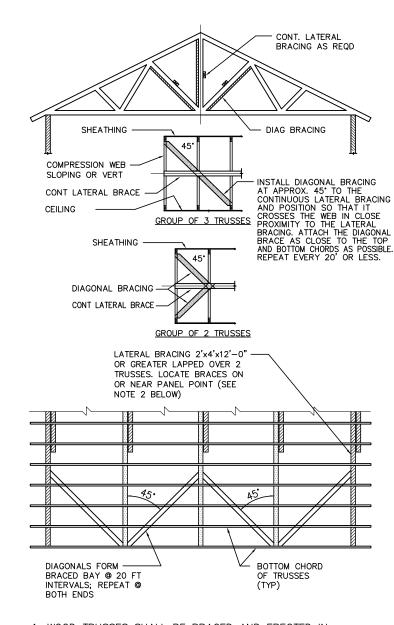
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WEST PALM BEACH, FLORIDA 33401

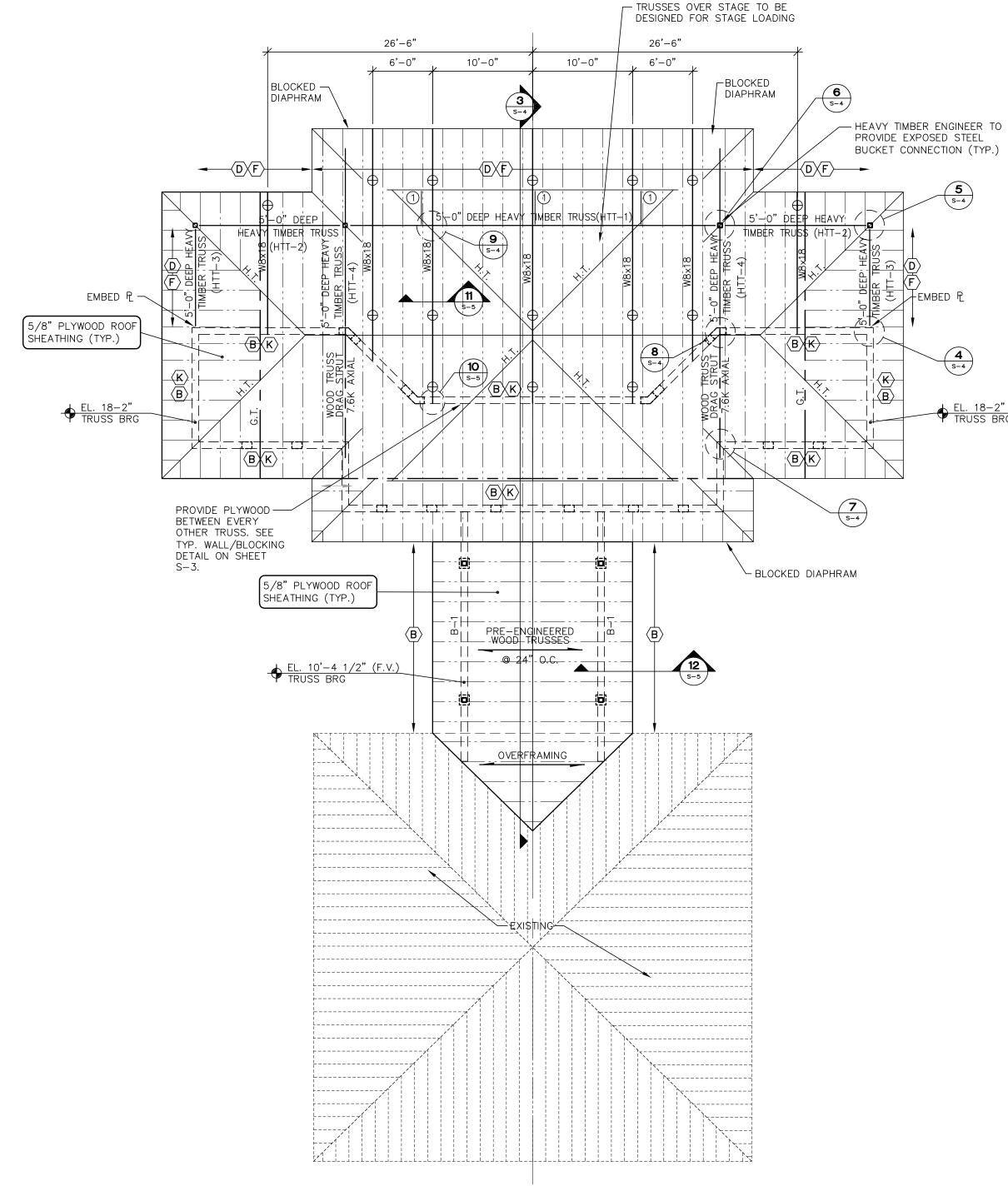
(561) 835 - 9994 FAX (561) 835 - 8255

JOB # 341.110



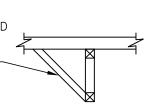
- 1. WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE "TRUSS PLATE INSTITUTE" AND BCSI; GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES. BRACING TO BE INSTALLED IN THE PLAN OF THE WEB MEMBERS.
- a. THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
- b. LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.
- c. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.
- 2. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" O. C. WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES. OR IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES BRACING SHALL BE MIN. 2 x 4 @ 36" O.C. NAILED TO THE TOP OF THE BOTTOM CHORD. SECURE BRACING TO BOTTOM CHORD W/ (2) 10d x 3" NAILS IF USING 2x4'S AND (3) 10d x 3" NAILS IF USING 2x6'S (TYP.). DIAGONALS PLACED AT 45" TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END. AND AT 20 FOOT INTERVALS IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.
- 3. TOP CHORD BRACING:
- a. IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPRAGHM ACTION, BRACING IS NOT REQUIRED.
- b. IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 80 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

WOOD TRUSS BRACING DETAIL



NOTES:

- 1. PROVIDE PLYWOOD BETWEEN EVERY OTHER TRUSS. SEE TYP. WALL/BLOCKING DETAIL ON SHEET S-3.
- 2. HEAVY TIMBER TRUSSES TO BE DESIGNED BY HEAVY TIMBER ENGINEER.
- → INDICATES 2,000 LB POINT LOAD
- 1 INDICATES 6x6 TIMBER BRACE— TO BOTT. CHORD OF TRUSS
- B-1 8x12" w/ (4)#6 #3 STIRRUPS @ 5" o.c.



#### ULTIMATE

# COMPONENT & CLADDING WIND DESIGN PRESSURE

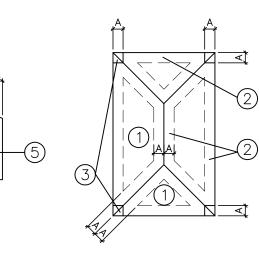
PRESSURES BASED ON VASO	ROC	OF WIND LO	WALL WIND LOADS (SEE NOTE 1)			
	R	ROOF AREA (10 SF)			WALL AREA (10 SF)	
Kd IS INCLUDED	1	2	3	4	5	
PRESSURE (PSF)	40.1	40.1	40.1	69.5	69.5	
SUCTION (PSF)	-63.6	-110.8	-110.8	-74.5	-93.1	

1. EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH FLORIDA BUILDING CODE 5TH EDITION (2014) B' EITHER BEING DESIGNED FOR IMPACT RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS. 2. WIND DESIGN PRESSURES NOTED MAY BE MULTIPLIED BY (.6) FOR COMPARISON TO ALLOWABLE (NOMINAL) WIND PRESSURES OF TESTED ASSEMBLIES. PER SECTION 1609.1.5 OF FBC 5TH EDITION (2014). 3. REFER TO STRUCTURAL NOTES FOR ALL WIND LOAD PARAMETERS.

4. CORNER DISTANCE, A = 6 FEET

		ALLOW	/ABLE			
COMPONE	INT & CL	ADDING	WIND DE	sign pre	ESSURES	
PRESSURES BASED ON Vult	ROOF WIND LOADS WALL WIND LOADS (SEE NOTE 1)					
	R	OOF AREA (10 S	WALL ARE	A (10 SF)		
Kd IS INCLUDED	1	2	3	4	5	
PRESSURE (PSF)	24	24	24	41.7	41.7	
SUCTION (PSF)	-38.2	-66.5	-66.5	45.3	-55.9	

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				LOW AT EACH E T UPLIFT AS SF					
	TRUSS TIE DOWN SCHEDULE								
MARK	MANUF & MODEL NO.	STRUCTURAL COMPONENT	PRODUCT APPROVAL	NAILS TO COMPONENT	NAILS TO SEAT	BOLTS	ALLOWABLE UPLIFT	LATERAL LOAD PARALLEL TO WALL	LATERAL LOAD PERPEND. TO WALL
<b>(A)</b>	SIMPSON HETAL 12	TRUSS/MASONRY OR CONCRETE	FL11473.5	7-10d x 1 1/2"	-	-	1265 # (*)	415 #	1100 #
(B)	SIMPSON HETAL 16	TRUSS/MASONRY OR CONCRETE	FL11473.5	14-10d x 1 1/2"	5-10d x 1 1/2"	-	1810 # (*)	415 #	1100 #
<b>(</b> C <b>)</b>	SIMPSON MGT	GIRDER TRUSS/ MASONRY OR CONC.	FL11470.7	22-10d	NOTE 5	5/8 <b>"</b> ø	3965 # (**)	-	-
(D)	SIMPSON H14	TRUSS		12-8d x 1 1/2"			1350 #	265 #	515 #
F	SIMPSON HGA 10	TRUSS		4-SDS 1/4" x 3"			695 #	940 #	1165 #
F	SIMPSON ST6224	_	FL10852.13	14-16d TO TRUSS	14-16d TO BEAM	-	2540 # (**)	-	_
G	SIMPSON MTS 12	-	FL10456.33	7-10d x 1 1/2"	7-10d x 1 1/2"	-	840 # (*)	-	_
$\langle H \rangle$	SIMPSON MTS 12	_	FL10456.33	7–10d	7–10d	_	1000 # (*)	_	_
	SIMPSON HHETA 20	TRUSS/MASONRY OR CONCRETE	FL11473.9	12-10dx1 1/2"	-	-	2235 # (*)	335 #	730 #
J	SIMPSON HGT-2	GIRDER TRUSS/ MASONRY OR CONC.	FL10456.18	16-10d	NOTE 5	2-3/4"ø	10980 # (**)	-	_
/v\	LICAM 10	TDUCC / CMI	EL 11 4 7 7 6	4 000 4 /4" 4 4 /0"	(4)1/4" X 2 3/4"		850 #	1105 #	1005 #

16-16d SINKER 7-10d

**ELEVATION** 

1. (\*) - ONE PLY MEMBER (\*\*) - TWO PLY (MIN.) MEMBER

(K) | HGAM 10 | TRUSS / CMU | FL11473.6 | 4-SDS 1/4"x 1 1/2"

2. T.B. - THRU-BOLT 3. U.N.O. - UNLESS NOTED OTHERWISE

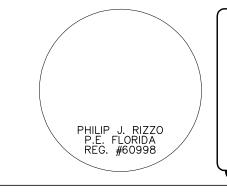
6. USE "ULTRABOND 1" EPOXY W/ 5" MIN. EMBED.

4. APPROVED EQUAL OR BETTER TIE DOWNS FOR THE SAME LATERAL & UPLIFT LOADS ARE ACCEPTABLE. 5. USE "ULTRABOND 1" EPOXY W/ 12" MIN. EMBED.

FL11470.6

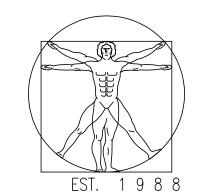
NOT FOR CONSTRUCTION

igl( these are progress drawings, therefore they are issued prior to COMPLETION OF THE STRUCTURAL DESIGN, AND OTHER DESIGN DISCIPLINES. INCLUDING BUT NOT LIMITED TO ARCHITECTURAL OR MECHANICAL DESIGNS; AND AS SUCH, ARE INCOMPLETE BY NATURE FOR THE COMPREHENSIVE SCOPE OF THE PROJECT. ALLOWANCES FOR STRUCTURAL ELEMENTS REQUIRED DUE TO THE COMPLETION AND CROSS-COORDINATION OF ALL OTHER DISCIPLINES SHOULD BE MADE.





 $\circ$  P L A N N E R S $I\ N\ C\ O\ R\ P\ O\ R\ A\ T\ E\ D$ 



RICK GONZALEZ, A.I.A. PRESIDENT AR - 0014172

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REVISIONS	NO.
DATE	06-30-16

SCALE DRAWN

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OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.



850 # 1105 # 1005 #

190 #

2150 # (\*\*)

860 # (\*) 235 #

CONTRACTOR NOTE THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. O'DONNELL, NACCARATO, MIGNOGNA & JACKSON, INC. IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR

CODES AND STANDARDS 1. WIND LOADS AS PER:

- A. SECTION 1609 OF THE FLORIDA BUILDING CODE 5TH EDITION (2014) WITH AN ULTIMATE WIND SPEED VULT = 170 MPH (NOMINAL WIND SPEED VASD = 132 MPH), FOR RISK CATEGORY II, EXPOSURE C AND INTERNAL PRESSURE COEFFICIENT +/- 0.18.
- B. THIS BUILDING IS DESIGNED AS AN ENCLOSED BUILDING.
- 2. THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE:

RELATED SAFETY PRECAUTIONS AND PROGRAMS.

- A. FLORIDA BUILDING CODE 5TH EDITION (2014) B. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
- (ACI 318/ LATEST EDITION).
- C. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315/ LATEST EDITION).
- D. SPECIFICATION FOR THE DESIGN, FABRICATION & ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) AISC ASD/ 9TH EDITION OR LRFD 3RD EDITION.
- E. SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI 301/LATEST EDITION.
- . NATIONAL DESIGN SPECIFICATION, WOOD CONSTRUCTION NDS/LATEST
- G. BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY
- STRUCTURES (ACI 530, 530.1/ASCE 5, 6/TMS 402, 602/LATEST EDITIONS). ARCHITECTURAL AND MECHANICAL DRAWINGS:
- THE STRUCTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT BY THEMSELVES PROVIDE ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT STRUCTURE. THE GENERAL CONTRACTOR SHALL CONSULT THE ARCHITECTURAL,
  MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE TO INFORMATION CONTAINED IN THESE DRAWINGS WITH THE STRUCTURAL DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT.
- B. REFER TO ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, DEPRESSIONS, FINISHES, INSERTS, BOLTS SETTINGS, DRAINS, REGLETS, ETC.
- C. BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. THE ONTRACTOR SHALL VERIFY ALL MEASUREMENTS TO PROPERLY SIZE OR FIT THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED BY THE OWNER RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT.
- D. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH ANY WORK
- . ALL STRUCTURES HAVE BEEN DESIGNED TO RESIST THE DESIGN DADS LISTED ONLY AS COMPLETED STRUCTURES. THE GENERAL CONTRACTOR SHALL FULLY BRACE AND OTHERWISE PROTECT WORK PROGRESS UNTIL THE STRUCTURES ARE COMPLETED. GENERAL CONTRACTOR SHALL ALSO ENSURE THAT ITS OPERATIONS AND PROCEDURES PROVIDE NO LOADING GREATER THAN THE DESIGN LOADS LISTED ON ANY MEMBER.
- 4. SECTIONS AND DETAILS

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SHOWN.

THRESHOLD INSPECTIONS SHALL BE PERFORMED DURING CONSTRUCTION OF THIS BUILDING AS REQUIRED BY SECTION 110.8 OF FBC. MATERIALS AND ASSEMBLY TEST AS FOLLOWS:

OF ONE OF THE FOLLOWING SPECIFICATIONS:

- A. EXTERIOR WINDOWS, SLIDING AND PATIO GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND SHALL BE LABELED WITH AN APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT CERTIFICATION AGENCY, TESTING LABORATORY, EVALUATION ENTITY OR FLORIDA STATE WIDE PRODUCT APPROVAL NUMBER TO INDICATE COMPLIANCE WITH THE REQUIREMENTS
- ANSI/AAMA/NWWDA 101/I.S. 2-97 OR TAS 202 (HVHZ SHALL COMPLY WITH
- EXTERIOR DOOR ASSEMBLIES SHALL BE TESTED FOR STRUCTURAL INTEGRITY IN ACCORDANCE WITH ASTM E330 AT A LOAD OF 1.5 TIMES THE REQUIRED DESIGN PRESSURE LOAD. THE LOAD SHALL BE SUSTAINED FOR 10 SECONDS WITH NO PERMANENT DEFORMATION OF ANY MAIN FRAME OR PANEL MEMBER IN EXCESS OF 0.4 PERCENT OF ITS SPAN AFTER THE LOAD IS REMOVED. HVHZ SHALL COMPLY WITH TAS 202. AFTER EACH SPECIFIED LOADING, THERE SHALL BE NO GLASS BREAKAGE PERMANENT DAMAGE TO FASTENERS HARDWARE PARTS, OR ANY OTHER DAMAGE, WHICH CAUSES THE DOOR TO BE
- O. CUSTOM (ONE OF A KIND) EXTERIOR DOOR ASSEMBLIES SHALL BE TESTED BY AN APPROVED TESTING LABORATORY OR BE ENGINEERED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES.
- WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE WITH THE PUBLISHED MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURE SPECIFIED SUBSTITUTE ANCHORING SYSTEM USED FOR SUBSTRATES T SPECIFIED BY THE FENESTRATION MANUFACTURER SHALL PROVIDE EQUAL OR GREATER ANCHORING PERFORMANCE AS DEMONSTRATED BY ACCEPTED ENGINEERING
- 7. ALL FASTENERS DESIGNATED, AS STAINLESS STEEL SHALL CONFORM TO AISI 316 SPECIALTY ENGINEERED PRODUCTS
- 1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PROPER SUBMISSION OF SPECIALTY ENGINEERED SHOP DRAWINGS WHICH SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE SPECIALTY ENGINEERED SHOP DRAWINGS ARE SUBMITTED IN A TIMELY MANNER SO AS TO ALLOW REVIEWS AND RESUBMISSIONS AS REQUIRED. ALL SPECIALTY ENGINEERED PRODUCTS SHALL BE DESIGNED FOR THE APPROPRIATE GRAVITY LOADS AND WIND LOADS INCLUDING UPLIFT AND LATERAL LOADS. INTERIOR SPECIALTY PRODUCTS SHALL BE DESIGNED FOR LATERAL LOADS TO ASSURE STABILITY. SPECIALTY ENGINEERED PRODUCTS SHALL BE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
- A. LIGHT GAUGE METAL, INCLUDING BUT NOT LIMITED TO, SOFFITS, CLADDING,
- B. MISCELLANEOUS HANGERS, CHANDELIERS, CABINETS, METAL FRAMES, LADDERS, RIGGING, HANGING WALLS, RAILINGS, GLAZING FRAMES, CLADDING SUCH AS STONE, PRECAST, ALUMINUM, METAL PANELS, CABLE BARRIER SYSTEMS, ET R ANY OTHER MISCELLANEOUS PRODUCT REQUIRED BY ANY OF THE CONSTRUCTION
- C. IN ADDITION TO THE LOADS SHOWN IN THE DESIGN LOAD SCHEDULE, THE PLUMBING AND ELECTRICAL EQUIPMENT AND FIXTURES, AS WELL AS CHANDELIER FIXTURES, BAR CABINETS, AND ART WORK / MOBILES.

GENERAL CONTRACTOR TO INCLUDE IN THEIR BID THE COST OF THE ABOVE NOTED SPECIALTY SHORING AND RESHORING

 THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE THE STABILITY OF THE STRUCTURE DURING ONSTRUCTION. SUBMIT SIGNED AND SEALED SHOP DRAWINGS PREPARED BY DELEGATED ENGINEER EXPERIENCED IN SUCH WORK AND LICENSED IN THE STATE OF FLORIDA. SUBMIT DRAWINGS TO THE ARCHITECT, ENGINEER, SPECIAL INSPECTOR AND BUILDING OFFICIAL FOR RECORD ONLY. SHORING AND RESHORING DESIGN AND ISTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE ENGINEER IN HIS EMPLOY.

THE DELEGATED ENGINEER WHO PREPARES THE SHORING AND RESHORING DRAWINGS SHALL INSPECT THE SHORING AND RESHORING. HE SHALL PROVIDE A FIELD REPORT OF EACH INSPECTION TO THE CONTRACTOR AND ARCHITECT.

- THE BRACING DETAILS OF THE EXTERIOR WALLS OF WHICH IN SOME CASES, THE ROOF DECK DIAPHRAGM AND ROOFING MEMBERS WILL BE REMOVED LEAVING THE EXTERIOR WALLS UNBRACED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HIRE A SPECIALTY SHORING AND BRACING ENGINEER TO PROVIDE THE REQUIRED DOCUMENTS FOR THIS FOUNDATION
- ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE:
- A. REPORT ON SOILS AND FOUNDATION INVESTIGATION PREPARED BY N1,
- B. RECOMMENDATIONS ON SOILS AND FOUNDATIONS INVESTIGATION PREPARED BY AN APPROVED TESTING LABORATORY PRIOR TO
- FOUNDATION WORK. 2. BOTTOM OF FOOTINGS TO BEAR ON:
- A. CONTROLLED COMPACTED FILL CAPABLE OF SAFELY SUPPORTING N1 PSF. 3. SOILS SUPPORTING ALL FOOTINGS MUST BE INSPECTED AND APPROVED BY A REGISTERED SOILS ENGINEER BEFORE COMMENCING WORK, ORDERING MATERIALS, OR MOVING FORWARD IN ANY WAY. APPROVAL IN WRITING MUST INDICATE THE SOIL
- S ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE. 4. TOP OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 16" BELOW EXTERIOR FINISH

- EXCAVATION & BACKFILL:
  - ALL EXCAVATION SHALL BE KEPT DRY. EXCAVATE TO DEPTHS AND DIMENSIONS INDICATED. TAKE EVERY PRECAUTION TO GUARD AGAINST ANY MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, UTILITIES,
  - B. PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.
- CENTERLINE OF FOOTINGS: SHALL COINCIDE WITH CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED ON DRAWINGS. 7. DIMENSIONS: ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS MUST BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS BY THE CONTRACTOR BEFORE PROCEEDING WITH THE CONSTRUCTION.
  DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR

ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.

- CONCRETE 1. CONCRETE ELEMENTS TO HAVE THE FOLLOWING STRENGTHS
  - . SLAB-ON-GRADE . COLUMNS 4000 PSI TIF BEAMS G. STRUCTURAL SLABS 4000 PS H. MASONRY GROUT
- 3000 PSI ALL OTHER CONCRETE TO BE 4000 PSI UNLESS NOTED OTHERWISE
- 2. ALL CONCRETE SHALL BE READY MIX AND MEET THE FOLLOWING REQUIREMENTS:
- A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS B. A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS
- C. SLUMPS SHALL BE 4" MINIMUM AND 6" MAXIMUM.
- D. CONCRETE SHALL HAVE 3 +/- 1.5 PERCENT AIR ENTRAINMENT.
- E. ALL CONCRETE TO HAVE MAXIMUM WATER/CEMENT RATIO OF 0.55. F. JOBSITE WATER SHALL NOT BE ADDED.
- G. CEMENT SHALL CONFORM WITH ASTM C150 TYPE 1. SLAG, ASTM C989 SHALL BE LIMITED TO 50% (BY WEIGHT OF CEMENTITIOUS MATERIAL AND FLY
- ASH, ASTM C618, CLASS F, SHALL BE LIMITED TO 25% (BY WEIGHT) OF CEMENTITIOUS MATERIAL. 3. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI
- BUILDING CODE (ACI 318/ LATEST EDITION), THE ACI DETAILING MANUAL (ACI 315/ 1994 EDITION), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301/ LATEST EDITION).
- 4. SUBMIT REINFORCING STEEL SHOP DRAWINGS PRIOR TO ANY FABRICATION. 5. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY
- 6. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A 185, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE AND SUPPORT ON SLAB BOLSTERS SPACED AT 3'-0" O.C.
- ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615
- WWF SHALL COMPLY WITH ASTM A 185.
- 8. LAP ALL BARS WITH CLASS B TENSION LAP SPLICE UNLESS OTHERWISE NOTED ON DRAWINGS. LAP ALL WWF A MINIMUM OF 12 INCHES (UNLESS OTHERWISE
- REINFORCING BARS
- A. AT CORNERS OF CONCRETE WALLS, BEAMS AND CONTINUOUS WALL FOOTINGS, PROVIDE MATCHING HORIZONTAL BARS X 5'-C BENT BAR FOR EACH HORIZONTAL BAR SCHEDULED AT EACH FACE.
- WHERE COLUMNS ARE AN INTEGRAL PART OF CONCRETE WALLS, WALL REINFORCEMENT SHALL BE CONTINUOUS THRU THE COLUMNS.
- C. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.
- D. FOR BALCONIES, SLABS AND WALKWAYS EXPOSED TO WEATHER ALL OTHER DEVICES FOR SPACING, SUPPORTING AND FASTENING REINFORCING SHALL BE GALVANIZED CONFORMING TO ASTM A767. BOLSTERS AND CHAIRS O BE PLASTIC. CONCRETE PLACED IN THESE AREAS TO HAVE .40 W/C RATIO MAXIMUM AND CONTAIN 2.5 GALLONS OF CALCIUM NITRATE PER CUBIC YARD. REBAR COVER TO BE 1.5" MINIMUM.
- E. ALL REBARS THAT ARE TO BE DRILLED AND FASTENED WITH ADHESIVE ANCHORS (ONLY IN AN OVERHEAD, INCLINED UPWARD OR HORIZONTAL POSITION) INTO CONCRETE, REQUIRE THE INSTALLER BE ACI CERTIFIED PER ACI 318—11. THE
- ALTERNATIVE IS TO PERFORM A PULL TEST ON EVERY REBAR. F. CONTRACTOR SHALL INCLUDE IN HIS BASE BID THE COST OF 50 TONS OF ADDITIONAL REINFORCING STEEL, INCLUDING DETAILING, FABRICATION, BENDING, FURNISHING, AND PLACING. THIS EXTRA STOCK SHALL BE FURNISHED AND USED FOR SPECIAL CONDITIONS AS DIRECTED BY THE ARCHITEC THE ARCHITECT'S AGENT OR BY THE OWNER'S CONSTRUCTION SUPERVISOR THE PRICE OF THE UNUSED EXTRA STOCK SHALL BE CREDITED TO THE OWNER'S
- 10. CONCRETE LINTELS:
- A. DROP BOTTOM OF BEAM OR SLAB AT WINDOWS, DOORS AND MASONRY OPENINGS AS REQUIRED TO PROVIDE A CONCRETE CLOSURE BETWEEN THE BOTTOM OF THE BEAM AND WINDOW AND/OR DOOR HEADER OR PROVIDE A PRECAST CONCRETE LINTEL BY CASTCRETE IF NOT NEXT TO A POURED CONCRETE COLUMN.
- B. MAXIMUM DROP SHALL BE 16" (TWO BLOCK COURSES) AND SPAN EQUAL TO MASONRY OPENING WIDTH. PROVIDE 2 #5 AT BOTTOM OF DROP INCLUDING #3 TIES @ 24" O.C. EXTENDING TO TOP OF BEAM REINFORCING. IF THE LINTEL EXCEEDS THE ABOVE LIMIT OF DROP, A SEPARATED LINTEL SHALL BE PROVIDED AS FOLLOWS:
- L1. OPENING LESS THAN 6'0" WIDE 8" X 8" W/2 #5 BOTTOM BARS. L2. OPENING BETWEEN 6'0" AND 12'0" WIDE 8" X "12" W/2 #6 BOTTOM
- C. LINTELS TO HAVE 8" MINIMUM BEARING AT EACH END.
- D. IF THE MASONRY OPENING HAS AN END ADJACENT TO A CONCRETE COLUMN PROVIDE (2) #5 OR #6 DOWELS, AS THE CASE MAY BE, IN THE CONCRETE COLUMN WITH SHEAR KEY 1-1/2 INCH DEEP BY LINTEL'S DEPTH AND WIDTH FOR ITS SUBSEQUENT CONSTRUCTION.
- MASONRY UNITS SHALL BE

MASONRY

- LOAD BEARING ASTM C90
  TYPE II NON-MOISTURE CONTROLLED
- NORMAL WEIGHT ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND
- 2. THE COMPRESSIVE STRENGTH OF MASONRY (F'M) SHALL BE 2,500 PSI AS CALCULATED IN ACCORDANCE WITH ASTM C1314.
- ALL MORTAR SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATION C270.
- A. FROM FIELD OBTAINED TEST CUBES. (MIN. OF TWO) 4. GROUT SHALL BE A HIGH SLUMP MIX
- A. IN ACCORDANCE WITH ASTM SPECIFICATION C476
- 5. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS SHALL BE
- B. INSPECTED BY A CERTIFIED INSPECTION COMPANY AND CONSTRUCTED
- IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TSM 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TSM 602)/ LATEST EDITIONS.
- 6. PROVIDE 8" X 8" MASONRY BEAM WITH 2 #5 CONT. AT EVERY WINDOW SILL. EXTEND BEAM 8" BEYOND EDGE OF OPENING
- 7. PROVIDE HOT DIPPED GALVANIZED LADDER TYPE HORIZONTAL JOINT WALLS. PROVIDE DOVE TAIL SLOT ANCHORS AT CONCRETE COLUMNS.
- FOR JOINT REINFORCEMENT, WALL TIES, ANCHORS AND INSERTS, APPLY A MINIMUM COAT OF 1.5 OUNCES PER SQUARE FOOT (PSF) (458/G/M2) COMPLY WITH THE REQUIREMENTS OF ASTM A153, CLASS B.
- EPOXY GROUT SHALL BE NON-SHRINK HIGH CREEP RESISTANT, AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE PROPERTIES: FLEXURAL STRENGTH, ASTM C 580: 4,000 PSI COMPRESSIVE STRENGTH, ASTM C 579: 1,600 PSI/7 DAYS.
- 9. MINIMUM LAP SPLICES FOR REINFORCED CMU AS FOLLOWS:
- A. LAP SPLICES SHALL OCCUR DIRECTLY ABOVE FOOTINGS AND SLABS. NO SPLICES ARE ALLOWED AT MID-HEIGHT OF WALL.

- LAP SPLICES THAT OCCUR AT CANTILEVERED WALLS SUCH AS: PARAPETS, RETAINING WALLS, ETC. SHALL HAVE LAP SPLICE LENGTHS INCREASED BY 50% TO 72 BAR DIAMETERS. 10. MASONRY LINTELS:
- A. A PRECAST CONCRETE LINTEL BY CASTCRETE SHALL BE PROVIDED OVER ALL MASONRY WALL OPENINGS. THE LINTEL SHALL BE FULLY GROUTED.
- B. LINTELS TO HAVE 4" MINIMUM BEARING AT EACH END. C. SHORE PRECAST LINTEL PER MANUFACTURER'S INSTRUCTIONS.
- 1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE. STRUCTURAL STEEL SHALL CONFORM TO: A. ASTM SPECIFICATION A 992 GRADE 50 FOR ALL WIDE FLANGE BEAMS.
- B. ASTM SPECIFICATION A 36 FOR MISCELLANEOUS STEEL SHAPES (ANGLES, PLATES, ETC.).
- C. SQUARE OR RECTANGULAR HSS SHALL CONFORM TO ASTM SPECIFICATION A 500 GRADE B (FY=46 KSI). D. ROUND HSS SHALL CONFORM TO ASTM SPECIFICATION A500, GRADE B (FY=42 KSI). ROUND HSS WITH A WALL THICKNESS GREATER THAN
- 5/8", SHALL CONFORM TO ASTM A53, GRADE B (FY=35 KSI). E. ALL STEEL TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT.
- F. DELETE PAINT ON ALL STEEL TO RECEIVE SPRAYED ON FIREPROOFING OR CONCRETE ENCASEMENT G. ALL MILL CAMBER TO BE ORIENTED UPWARD DURING FABRICATION AND
- 2. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS QUALIFIED, AS DESCRIBED IN "AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION
- PROCEDURE" (AWS D1.1), TO PERFORM THE TYPE OF WORK REQUIRED. 3. ALL CONNECTIONS SHALL BE BOLTED WITH 3/4" DIAMETER, A-325 HIGH STRENGTH BOLTS OR WELDED (UNLESS SHOWN OTHERWISE ON THE
- A. FULL DEPTH DOUBLE CLIP ANGLE CONNECTIONS ARE TO BE USED ON ALL GIRDER AND BEAM CONNECTIONS TO COLUMNS. BOLTS TO BE AT
- 4. ALL ALUMINUM AND STEEL MEMBERS TO BE TREATED OR PROPERLY SEPARATED TO PREVENT GALVANIC AND CORROSIVE EFFECTS.
- 5. ALL STEEL WELDING RODS SHALL BE E70XX ELECTRODES. 6. SUBMIT ALL STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY
- EQUIPMENT SUPPORTS: PROVIDE ALL SUPPORTING STEEL NOT INDICATED ON PLAN AS REQUIRED FOR THE INSTALLATION OF MECHANICAL EQUIPMENT AND MATERIALS, INCLUDING ANGLES, CHANNELS, BEAMS, HANGERS, ETC. DO NOT SUPPORT
- PROVIDE 1/4" BENT PLATES AT ALL HIPS, VALLEYS, SKEWED BEAMS AND OTHER ARÉAS FOR DECK SUPPORT.
- ALL STRUCTURAL WOOD MEMBERS ARE DESIGNED AS "DRY-USE". MOISTURE CONTENT MUST BE 19% OR LESS. STORE WOOD FRAMING ABOVE GROUND AND UNDER TARPS WITH PROPER AIR CIRCULATION.
- ALL LUMBER SHALL BE SOUTHERN PINE SPECIES #2 GRADE OR APPROVED EQUAL. ALLOWABLE DESIGN STRESSES SHALL FOLLOW NATIONAL DESIGN SPECIFICATION (NDS) (LATEST EDITION).
- 3. HEADERS AT NON BEARING CONDITIONS SHALL BE AS FOLLOWS: OPENING SIZE (2) 2" X 6" (2) 2" X 8" UP TO 4' -0" 4'- 0" TO 6'- 0' 6'- 0" TO 9'- 0"
- PROVIDE SP ACQ PRESSURE TREATED LUMBER IN ACCORDANCE WITH AWPA STANDARDS TO A MINIMUM 0.40 PCF RETENTION WHERE LUMBER IS IN CONTACT WITH CONCRETE/MASONRY OR OUTSIDE OF BUILDING. ALL METAL CONNECTORS N CONTACT WITH PRESSURE TREADED LUMBER SHALL BE GALVANIZED WITH A RATING OF G-185 AND CONFORM TO ASTM A65.3. ALL NAILS AND SCREWS USED WITH PRESSURE TREATED LUMBER ARE TO BE HOT-DIPPED GALVANIZE AND TO CONFORM TO ASTM A153 CLASS D. ELECTROGALVANIZED FASTENERS NOT TO BE USED IN DIRECT CONTACT WITH ACQ TREATED LUMBER.
- PLYWOOD SHEATHING
- ROOF: Use 19/32" 40/20 RATED, STRUCTURAL 1, EXP. 1, PLYWOOD SEE FRAMING PLANS FOR NAILING AND/OR BLOCKING REQUIREMENTS. USE 8'- 0" LONG X 4'-0" WIDE SHEETS WITH LENGTH ACROSS FRAMING. STAGGER PANEL END JOINTS 4'-0" TYP., ALLOW 1/8" SPACE ALONG PANEL
- C. SEE FRAMING PLANS FOR DIAPHRAGM NAILING TYPE, SIZE, SPACING AND
- WOOD CONNECTIONS ALL NAILS USED FOR STRUCTURAL FRAMING MEMBERS SHALL BE COMMON WIRE, U.N.O. ALL NAILS, TRUSS HANGERS, TRUSS ANCHORS AND STRAPS SHALL BE GALVANIZED FOR CORROSIVE RESISTANCE. ALL METAL STRAPS MUST BE INSTALLED WITH EQUAL LENGTHS ABOUT THE JOINT LINE. USE SIMPSON STRONG—TIE CONNECTOR PRODUCTS OR APPROVED EQUAL. TOE NAILING WILL NOT BE PERMITTED.
- WOOD

WOOD TRUSSES SYSTEM

- A. ROOF TRUSSES SHALL BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL DELEGATED ENGINEER REGISTERED IN THE STATE OF FLORIDA. SEALED CALCULATIONS AND LAYOUT DRAWINGS DESIGNED IN ACCORDANCE 61G15.31.003 LORIDA ADMINISTRATIVE CODE, FOR WOOD TRUSS SYSTEM ARE TO BE SUBMITTED FOR APPROVAL. TRUSS SYSTEM FABRICATOR TO PROVIDE ALL TRUSS—TO—TRUSS HANGERS AS REQUIRED TO RESIST GRAVITY AND UPLIFT REACTION. (UPLIFT LOADING SHALL USE COMPONENTS & CLADDING WIND FORCES.)
- 2. WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE 2006 EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES, JOINTLY PRODUCE BY WTCA AND TRUSS PLATE INSTITUTE. BRACING IN THE PLANE OF THE
- A. THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
- B. LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS

C. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE

- AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS 3. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AS SPECIFIED BY TRUSS SPECIALTY ENGINEER WITH AN 8'-0" MAXIMUM (2X4 MIN)ON CENTER WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES, IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES, BRACING SHALL BE MINIMUM 2X4 @ 36" ON CENTER NAILED TO THE TOP OF THE BOTTOM CHORD. DIAGONALS PLACED AT 45 DEGREES TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH. DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS. SECURE CONTINUOUS AND DIAGONAL BRACING WITH A MINIMUM OF (2) 10D X 3" NAILS
- FOR 2X4'S AND (3) 10DX 3" FOR 2X6'S. 4. TOP CHORD BRACING:
- A. IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPHRAGM ACTION, BRACING IS NOT
- B. IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20-FOOT INTERVALS.
- DO NOT CUT, DRILL OR NOTCH ROOF OR FLOOR TRUSSES WITHOUT WRITTEN APPROVAL FROM TRUSS ENGINEER. COORDINATE MECHANICAL, ELECTRICAL, PLUMBING, ETC. SIZES AND LOCATIONS WITH TRUSS LAYOUT PRIOR TO
- TRUSSES SHALL BE MANUFACTURED & DESIGNED IN ACCORDANCE WITH NATIONAL DESIGN SPECIFICATION(S) FOR WOOD CONSTRUCTION, AF & PA, AND NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1-1995, AND THE LOCAL CODE JURISDICTIONS. 7. DO NOT OVERLOAD FLOOR OR ROOF TRUSSES WITH BUILDING MATERIALS.
- CONNECTOR PLATES SHALL BE MANUFACTURED BY A WTCA MEMBER PLATE SUPPLIER AND SHALL MEET OR EXCEED ASTM A653/A653M REQUIREMENTS WOOD TRUSS MANUFACTURER TO DESIGN BOTTOM CHORDS OF WOOD ROOF TRUSSES

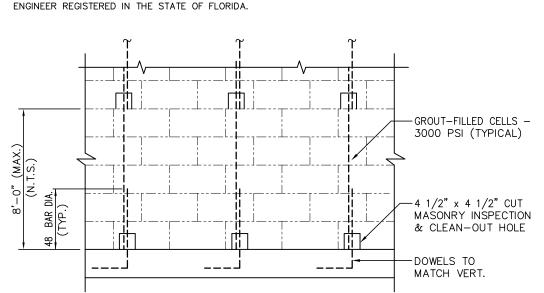
FIXTURES, BAR CABINETS AND ART WORK/MOBILES.

10. WOOD TRUSSES MANUFACTURER TO DESIGN BOTTOM CHORD OF WOOD TRUSSES FOR 11. IN ADDITION TO THE LOADS SHOWN IN THE DESIGN LOAD SCHEDULE, THE WOOD TRUSS MANUFACTURER SHALL DESIGN FOR THE WEIGHT OF ALL MECHANICAL,

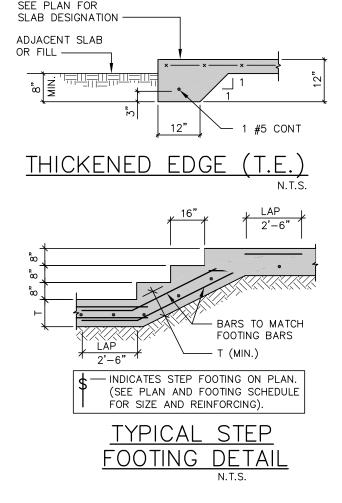
PLUMBING AND ELECTRICAL EQUIPMENT/FIXTURES AS WELL AS CHANDELIER

FOR A MINIMUM 10 PSF LIVE LOAD. BOTTOM CHORDS OF WOOD ATTIC TRUSSES TO BE DESIGNED FOR 30 PSF MINIMUM LIVE LOAD.

- THE SHOP DRAWINGS SHALL BE SUBMITTED IN COMPLETE PACKAGES, WITH THE GENERAL CONTRACTORS REVIEW STAMP FOR THE FOLLOWING:
- A. CONCRETE MIX DESIGNS
- B. CONCRETE REINFORCING STEEL AND WELDED WIRE FABRIC
- C. CONCRETE MASONRY UNIT SUBMITTALS AND OTHER MASONRY ACCESSORIES
- D. PRE-ENGINEERED WOOD TRUSSES E. HEAVY TIMBER WOOD FRAMING
- PRE-ENGINEERED ITEMS SHALL BE SUBMITTED SIGNED AND SEALED BY A SPECIALTY



TYPICAL MASONRY FILLED CELL DETAIL

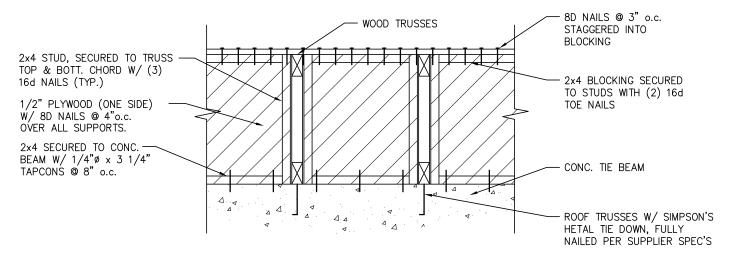


TYPICAL SLAB-ON-GRADE

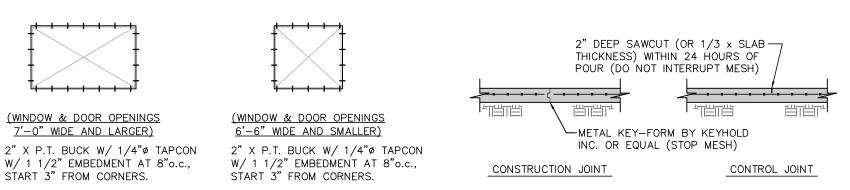
SHALL CREATE PANELS OF 150 SQ. FEET

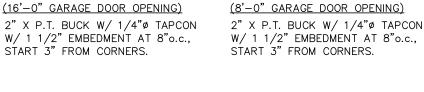
NOTE: CONTROL JOINTS/CONSTRUCTION JOINTS

(MAXIMUM)



#### <u>TYPICAL SHEAR WALL/BLOCKING DETAI</u>





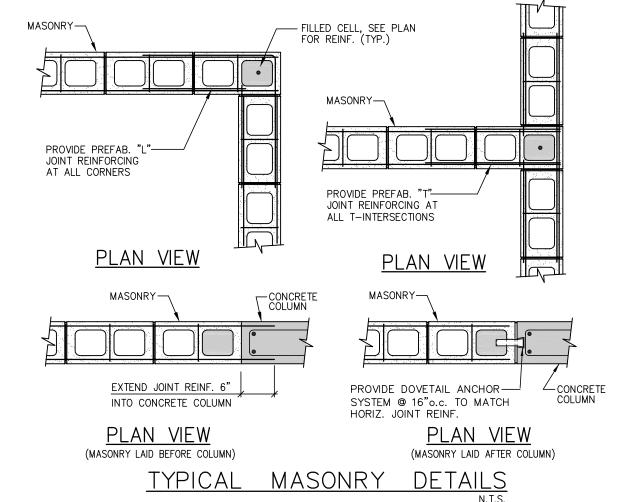
#### G.C. TO COORDINATE OPENING DIMENSIONS. TYPICAL WOOD BUCK TO CONCRETE

BUCKS TO BE FASTENED HORIZONTALLY AND VERTICALLY TO

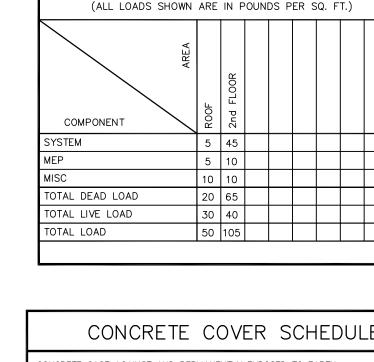
CONCRETE BEAMS AND COLUMNS OR CONCRETE FILLED MASONRY.

**CONNECTION DETAIL** 1. EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH 2010 FLORIDA BUILDING CODE BY EITHER BEING DESIGNED FOR IMPACT

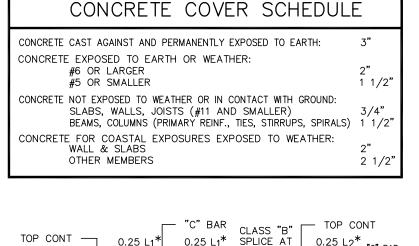
RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS.

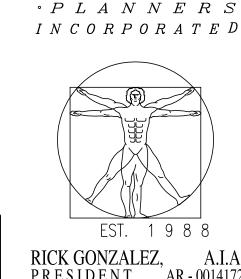


Structural Drawing Updated Based on Architectural Backgrounds Dated 7-20-16



DESIGN LOAD SCHEDULE

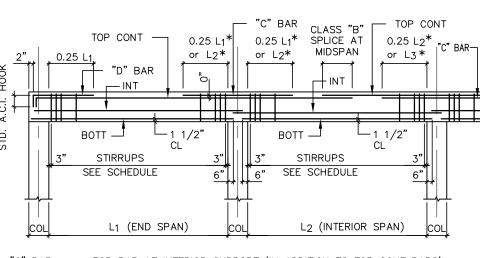






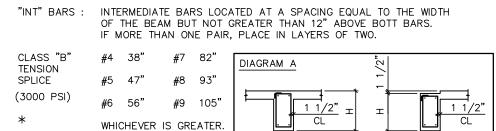
**CORPORATION NUMBER** 

AA-0002447



#### TOP BAR AT INTERIOR SUPPORT (IN ADDITION TO TOP CONT BARS) PLACE IN SAME LAYER AS TOP CONT BARS (U.O.N.). LOCATE AT RIGHT SUPPORT OF SPAN INDICATED IN SCHEDULE TOP BAR AT EXTERIOR SUPPORT (IN ADDITION TO TOP CONT BARS)

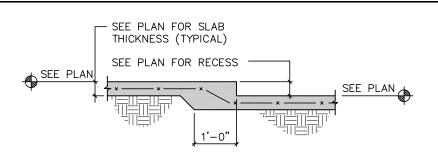
PLACE IN SAME LAYER AS TOP CONT BARS (U.O.N.).

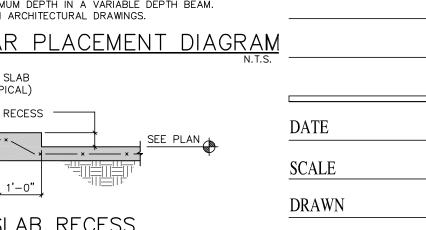


INTERIOR BEAM SPANDREL BEAM WHEN ADJACENT BEAMS OR TIE BEAMS HAVE TOP CONT BARS OF DIFFERENT SIZE, THE TRANSITION SHOULD BE MADE AT MIDSPAN OF THE BEAM WITH SMALLER SCHEDULED

BARS. USE LAP SPLICE LENGTH OF SMALLER SIZE BAR. ( 2L ) - INDICATES BARS PLACE IN TWO LAYERS. WHERE BARS ARE PLACED IN TWO LAYERS, THE SECOND LAYER BARS MUST BE PLACED DIRECTLY UNDER BARS IN THE FIRST LAYER (IF TOP BAR) OR DIRECTLY OVER BAR IN THE FIRST LAYER (IF BOTT BAR). PROVIDE 1" CLEAR DISTANCE BETWEEN LAYERS OR ONE BAR DIAMETER, WHICHEVER IS THE GREATER DISTANCE.

H" INDICATES BEAM DEPTH DIMENSION. LESS 1 1/2" FOR RECESS FOR BLOCK WALL DEDUCTED WHERE APPLICABLE. OR MINIMUM DEPTH IN A VARIABLE DEPTH BEAM. COORDINATE BEAM CONFIGURATION WITH ARCHITECTURAL DRAWINGS. TYPICAL BEAM BAR PLACEMENT DIAGRAM





#### NOT FOR CONSTRUCTION

THESE ARE PROGRESS DRAWINGS, THEREFORE THEY ARE ISSUED PRIOR TO COMPLETION OF THE STRUCTURAL DESIGN, AND OTHER DESIGN DISCIPLINES. INCLUDING BUT NOT LIMITED TO ARCHITECTURAL OR MECHANICAL DESIGNS; AND AS SUCH, ARE INCOMPLETE BY NATURE FOR THE COMPREHENSIVE SCOPE OF THE PROJECT. ALLOWANCES FOR STRUCTURAL ELEMENTS REQUIRED DUE TO THE COMPLETION AND CROSS-COORDINATION OF ALL OTHER DISCIPLINES SHOULD BE MADE





ARCHITECT WHETHER THE PROJECT THEY ARE

MADE FOR IS EXECUTED OR NOT. THEY SHALL

NOT BE USED BY THE OWNER OR OTHERS ON

**COMMONS PARK** 

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411

06-30-16

15048

**REVISIONS** 

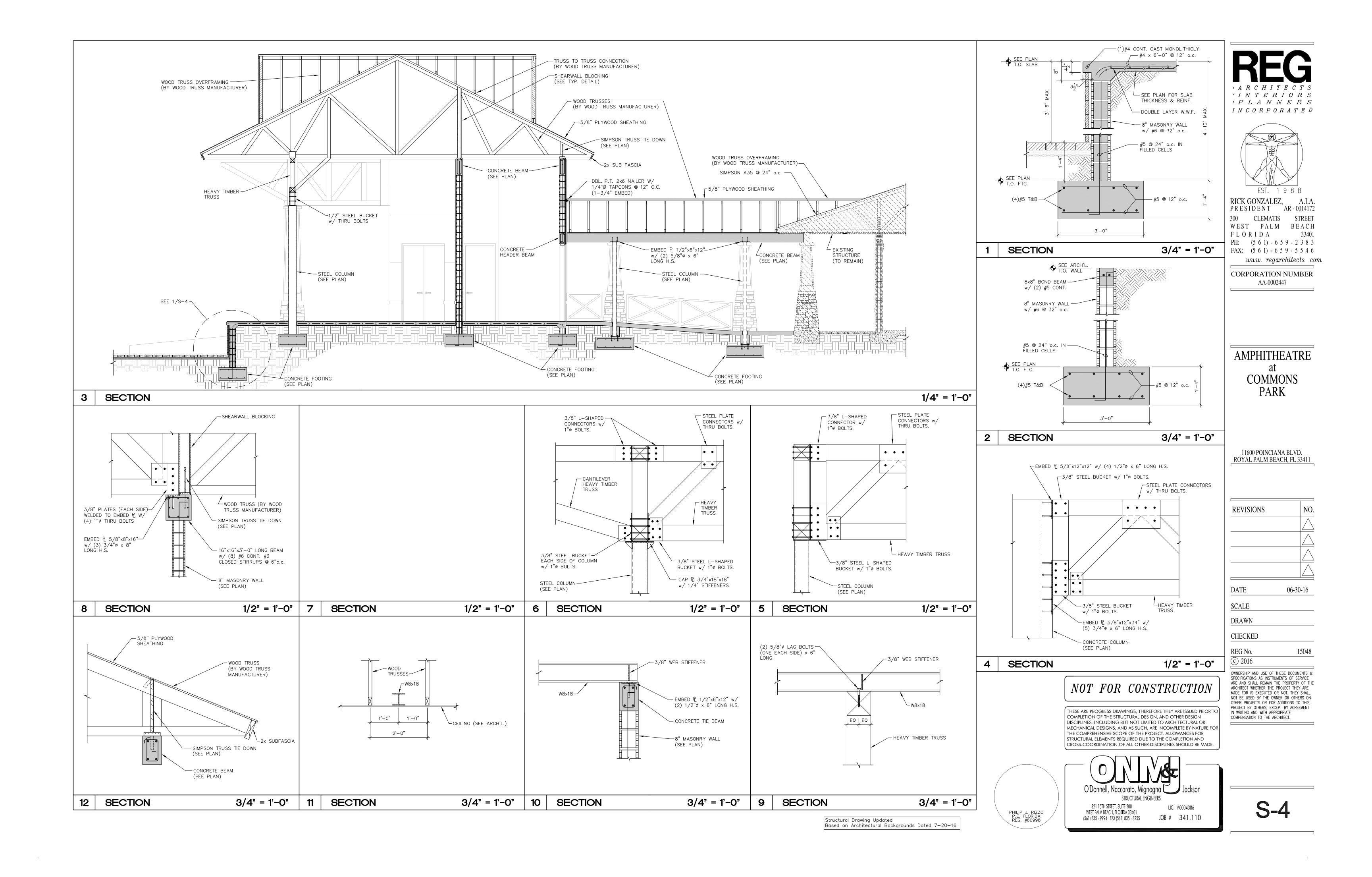
CHECKED

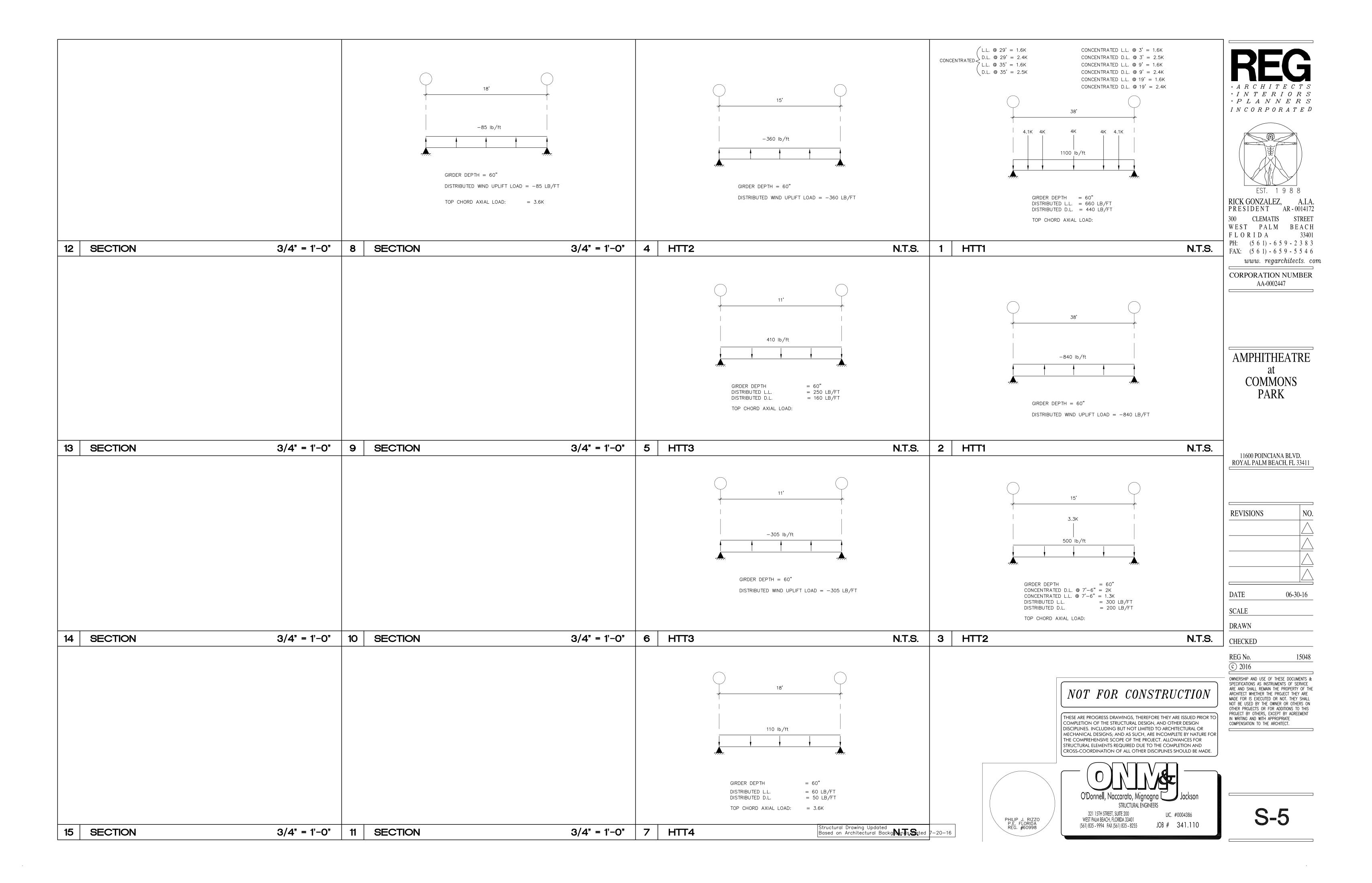
SCHEDULED BEAM SIZES : [ SEE DIAGRAM A ] "B" INDICATES BEAM WIDTH DIMENSION. WHEN BEAM IS OVER A BLOCK WALL, USE ACTUAL

REG No. c) 2016 OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE

OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.







#### GENERAL NOTES

- THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS ARE THE LEGAL PROPERTY OF THE ARCHITECT AND ARE INSTRUMENT OF SERVICE NOT TO BE REPRODUCED IN WHOLE OR IN PARTS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE SAME.
- 2. IT IS THE INTENT OF THE ARCHITECT THAT THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER AND IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES, AND REGULATIONS.
- 4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- ALL DIMENSIONS SHOWN ARE NOMINAL UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
- 6. SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.Y.D. OR AN ELEVATION NO LESS THAN HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
- ALL DESIGN LOADS ARE TO BE AT MINIMUM PER F.B.C. 2014 AND AS OTHERWISE INDICATED IN THE CONTRACT.
- 8. ALL EXTERIOR WINDOWS & DOORS SHALL BE IMPACT RESISTANT.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED, ALL HEADERS ARE DOUBLE MEMBERS UNLESS OTHERWISE NOTED.
- 10. ALL PENETRATIONS THRU ANY RATED ASSEMBLY SHALL BE PROVIDED WITH UL APPROVED PENETRATION RATED MATERIAL
- HARDWARE, BATHROOM AND LIGHTING FIXTURES, AND OTHER MISCELLANEOUS ITEMS NOT SPECIFICALLY CALLED OUT ON DRAWINGS SHALL BE SELECTED BY OWNER.
- 12. ALL MECHANICAL, PLUMBING AND ELECTRICAL SHALL COMPLY WITH THE F.B.C. 2014 (MECH) (ELECT) (PLUMB).
- 13. ALL WORK TO BE TRUE TO LINE, PLUM AND SQUARE AND ADEQUATELY SUPPORTED. FILL ALL YOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET THE ARCHITECT'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY WORKMANSHIP WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 14. WHEN CONFLICTING INFORMATION ARE FOUND IN THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- 15. THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR DEMOLITION (IF APPLICABLE), CONSTRUCTION, AND OCCUPANCY OF THE PROJECT.
- 16. THE CONTRACTOR SHALL SUBMIT A SCHEDULE FOR DEMOLITION AND CONSTRUCTION PROCEDURES AND OPERATIONAL SEQUENCE FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT/ENGINEER AND
- CONTRACTOR IS TO COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THE WORK IS COMPLETED IN A TIMELY MANNER. COMPLYING WITH OWNER/CONTRACTOR AGREEMENT.
- 18. CONTRACTOR SHALL SUBMIT PRODUCT APPROVAL DATA FOR ALL PRODUCTS AND MATERIALS AS REQUIRED BY CODE AND SPECIFIC MUNICIPALITY THE PROJECT IS LOCATED IN.
- 19. CONTRACTOR SHALL SUBMIT, WITHIN 15 DAYS FROM OWNER/CONTRACTOR CONTRACT, A SHOP DRAWING AND SUBMITTAL SCHEDULE FOR ARCHITECT AND OWNER APPROVAL.
- 20. CONTRACTOR SUBMITTALS MUST CONTAIN (3) THREE SETS FOR ARCHITECT/ENGINEER/OWNER RECORDS, PLUS ANY ADDITIONAL SETS REQUIRED FOR PERMITTING AND CONTRACTORS USE. ALL SUBMITTALS MUST BE COMPLETE (NO PARTIAL SUBMITTALS WILL BE RECEIVED). ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTING TO THE ARCHITECT/ENGINEER AND OWNER.
- 21. CONTRACTOR SHALL SUBMIT TO ARCHITECT SIGN & SEAL TRUSS SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
- 22. CONTRACTOR SHALL PROVIDE THE ARCHITECT AND OWNER WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
- 23. ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, APPLICABLE CODES, RULES AND REGULATIONS HAVING JURISDICTION.
- 24. CONTRACTOR SHOULD MAINTAIN THE SITE SAFE AND CLEAR OF DEBRIS. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED FROM THE WORK AREAS DAILY AND FROM THE SITE AT PROPER INTERVALS.
- 25. THE CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION APPROVED BY THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- 26. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF HIS WORK, INCLUDING BUT NOT LIMITED TO VANDALISM, THEFT, ETC.
- 27. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF GOODS BEING INSTALLED UNDER THIS CONTRACT, AS WELL AS FOR COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
- 28. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES OR FOR PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT'S CONSTRUCTION.

- 29. THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING BUILDING AND SITE CONDITIONS AND DIMENSIONS, SHOULD ANY DISCREPANCIES BE ENCOUNTERED BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE ARCHITECT/ENGINEER SHOULD BE NOTIFIED IN WRITING I DAYS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK
- 30. CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTARY MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- 31. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- 32. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SPECIFIC STANDARDS AND REQUIREMENTS BY CORRESPONDING TESTING AGENCIES ON ASSEMBLIES CALLED OUT IN DRAWINGS \$ SPECIFICATIONS.
- 33. CONTRACTOR SHALL EMPLOY AND PAY FOR SERVICES OF AN INDEPENDENT, QUALIFIED TESTING LABORATORY TO PERFORM SOIL COMPACTION TEST AS WELL AS COMPRESSIVE STRENGTH TEST IN CONCRETE SAMPLINGS, AS PER ASTM STANDARDS.
- 34. CONTRACTOR SHALL PROVIDE MOCKUP FOR EXTERIOR AND INTERIOR FINISHES AND COLOR SELECTIONS FOR ARCHITECT AND OWNER'S APPROVAL (SEE PROJECT NARRATIVE).
- 35. TO OBTAIN ARCHITECT'S APPROVAL ON APPLICATION FOR PAYMENT, CONTRACTOR SHALL SUBMIT DETAILED SCHEDULE OF VALUES PER TRADE, BROKEN DOWN TO SUFFICIENT LINE ITEMS TO GRANT PAYMENT ON COMPLETED PORTIONS ONLY. NO PAYMENT WILL BE APPROVED ON PARTIALLY COMPLETED LINE ITEMS.
- 36. IN ADDITION TO THE GENERAL NOTES REFERRED TO ABOVE PLEASE REFER TO THE PROJECT'S DESIGN NARRATIVE FURNISHED BY THE CITY OF PALM BEACH GARDENS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

OCCUPANT L	OAD CALCULA	ATIONS:	
FIRST FLOOR:			OCCUPANTS:
STAGE		1,098 SF/ 15N	74
GREEN/DRESSING	ROOMS	244 SF/ 15N	16
STORAGE (BACKS	TAGE)	483 SF/ 300G	2
TOTAL			92

OCCUPANCY:		ASSEMBLY, A-5	
		REQUIRED:	PROVIDED:
MEANS OF EGRESS	MINIMUM DISTANCE BETWEEN EXITS = (1/2)* OF DIAGONAL	63' / 2 = 31'-6"	68'-2"
	OCCUPANT LOAD:	(SEE OCCUPANT LOAD CALCULATIONS)	
	COMMON PATH LIMIT:	75 FT	Ø FT
	DEAD-END LIMIT:	2Ø FT	Ø FT
	TRAVEL DISTANCE LIMIT:	200 FT	19Ø FT

LIFE SAFETY CODE:

OCCUPANCY:		ASSEMBLY, A	-5
DESCRIPTION:		REQUIRED:	PROVIDE
	SPECIAL OCCUPANCY CLASSIFICATIONS:	410 - STAGE	410 - STAG
	ALLOWABLE AREA:	uL	2,372 SF
	AREA MODIFICATIONS:	N/A	N/A
	BUILDING HEIGHT:	uL	27 FT
	OCCUPANCY SEPARATION:	*1-HOUR	1-HOUR
	TENANT SEPARATION:	N/A	N/A
TYPE OF CONST	RUCTION:	TYPE VB	
HOURLY FIRE RA	ATING:	REQUIRED:	PROVIDE
	PRIMARY STRUCTURAL FRAME:	Ø	Ø
	BEARING WALLS: EXTERIOR: INTERIOR:	0	Ø
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	Ø	Ø
	ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0	Ø
MEANS OF EGRE	: :66:	REQUIRED:	PROVIDE
	OCCUPANT LOAD:	(SEE OCCUF CALCUL)	
	EGRESS WIDTH:		
	STAIRWAYS (0.3" PER OCCUPANT):	74 <i>(Ø3)</i> = 23"	210"
	OTHER EGRESS COMPONENTS (Ø2" PER OCCUPANT):	N/A	N/A
	MIN. CLEAR OPENING:	32"	32"
	MIN. STAIR WIDTH:	44"	105"
	MAX. COMMON PATH OF TRAVEL:	75 FT	Ø FT
	MAX, TRAVEL DISTANCE:	2 <i>00</i> FT	40 FT
	MIN. CORRIDOR WIDTH:	N/A	N/A
	MAX. DEAD END:	2Ø FT	Ø FT
	NUMBER OF EXITS	2	2
	C-B 410.5.1 A 1-HR SEPAR N STAGE AREA AND ADJ,		

DESCRIPTION	AREA
STAGE/PLATFORM (EXTERIOR COVERED)	1,098 SF
BACKSTAGE/ACCESSORY SPACES (INTERIOR)	882 SF
AMPHITHEATRE BUILDING TOTAL	1,980 SF
CONNECTION TO RESTROOMS (EXTERIOR COVERED)	392 SF
CONTROL TO TROUTE OF TRUE	332 01
TOTAL	2,372 <del>S</del> F

#### ABBREVIATIONS

#### NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS SET

ABY ABOVE AIR CONDITIONER ABOVE FINISHED FLOOR

AHU AIR HANDLER UNIT BLK BLOCK

BD BOARD B.O. BOTTOM OF

CENTRE LINE CLG. CEILING CMU CONCRETE MASONRY UNITS COL. COLUMN

CONC. CONCRETE CONT. CONTINUOUS

DBL. DOUBLE DRINKING FOUNTAIN DIA. DIAMETER

> DRAWING DOWNSPOUT

DN.

DWG

EXT.

F.C.L.

N.I.C.

NO.

S.S.

SB

SD

WD.

W.H.

STL.

DS

ELEC. ELECTRICAL EXPANSION JOINT EXTERIOR EXIST. EXISTING

> FINISHED CEILING LEVEL FINISHED FLOOR LEVEL

F.F.L. FLOOR DRAIN GAUGE GALV.

GALYANIZED GYP. GYPSUM HOLLOW CORE

HC INSULATION INTERIOR

MAX. MAXIMUM MFR. MANUFACTURER M.O. MASONRY OPENING MTL. METAL

> NOT IN CONTRACT NUMBER

OVERHANG ON CENTER O.D.

OUTSIDE DIAMETER PAPER HOLDER

PROPERTY LINE POUNDS PER LINEAR FOOT

PRESSURE TREATED P.T.D. PAINTED PLYWD. PLYWOOD

ROOF DRAIN

SCUPPER SOLID CORE SQUARE FOOT SINGLE HUNG

SIMILAR STAINLESS STEEL STEEL SWITCH SPLASH BLOCK

STORM DRAIN TYP. TYPICAL

U.N.O. UNLESS NOTED OTHERWISE UNDERWRITERS LABORATORIES

WEDGE ANCHORS WITH WATER CLOSET

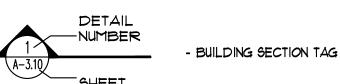
WOOD

WATER HEATER

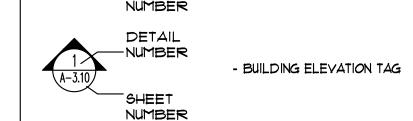
ARCHITECTURAL SYMBOLS

ELEVATIONS / SECTIONS / DETAILS SYMBOLS

NUMBER



DETAIL -NUMBER WALL OR DETAIL SECTION TAG SHEET



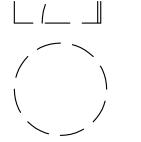
<u>PLANS</u>

- ROOM NAME AND NUMBER

(2)----WALL TYPE TAG (REFER TO WALL TYPE SCHEDULE) WINDOW

NUMBER WINDOW TAG (REFER TO WINDOW SCHEDULE) WINDOU TYPE

(104) DOOR - DOOR TAG (REFER TO DOOR SCHEDULE) NUMBER



- WHEELCHAIR 5 FEET RADIUS TURNING CLEARANCE AT FLOOR IN COMMON AREAS (FBC/ADA)

- WHEELCHAIR MANEUVERING FLOOR CLEARANCE

AT DOORS IN EGRESS AREAS (FBC/ADA)

ELEVATION NUMBER - INTERIOR ELEVATIONS TAG NUMBER -SHEET

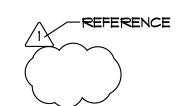
NUMBER

-WALL FINISH - WALL BASE - FINISH FLOOR SCHEDULE (REFER TO FINISH PLAN) FINISH -FLOOR FINISH

2583 SF — GROSS SF - LIFE SAFETY - ROOM OCCUPANCY LOAD TAG 2,165 SF — NET SF 5, 433 — MAX. ROOM LOAD SF PER

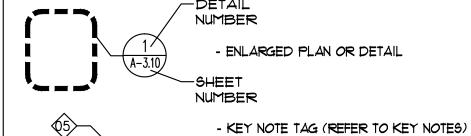
PERSON REFERENCE - LIFE SAFETY - EGRESS DOOR LOAD TAG -MAX. DOOR LOAD

<u>GENERAL</u>



- REVISION TAG AND CLOUD REVISIONS ARE DONE SHEET BY SHEET.

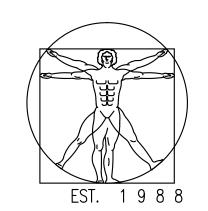
-EXTENT OF CHANGES SHOWN INSIDE CLOUD



GENERAL NOTE: ALSO REFER TO SPECIFIC PLAN LEGEND

- FINISH TAG TOP OF WALL OR F.F.L. - VERTICAL ELEVATION TAG

 $\cdot$  I N T E R I O R S $\cdot$  P L A N N E R SINCORPORATED



RICK GONZALEZ. PRESIDENT AR - 0014172 CLEMATIS WEST PALM BEACH FLORIDA PH: (5 6 1) - 6 5 9 - 2 3 8 3 FAX: (5 6 1) - 6 5 9 - 5 5 4 6 www. regarchitects. com

**CORPORATION NUMBER** AA-0002447

**AMPHITHEATRE COMMONS** 

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411

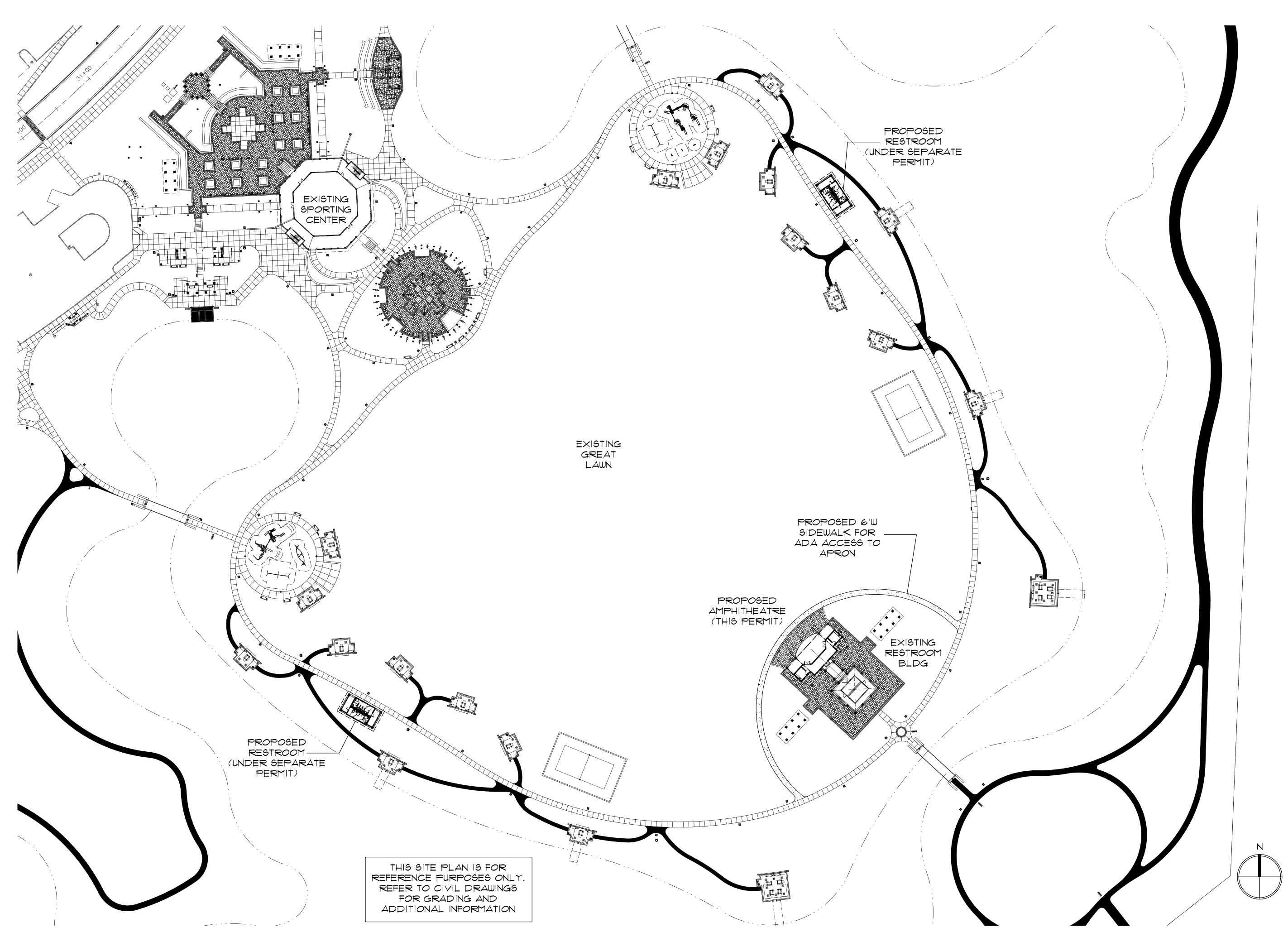


**REVISIONS** DATE 08-30-16

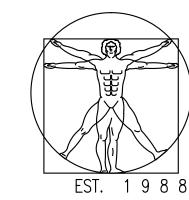
SCALE N.T.S. DRAWN MHA CHECKED MHA/REG REG No. 15048 (c) 2016

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**ARCHITECTURAI** INFORMATION SHEET







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CORPORATION NUMBER
AA-0002447

#### AMPHITHEATRE at COMMONS PARK

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411



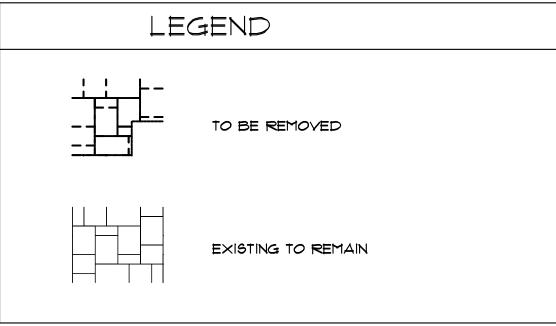
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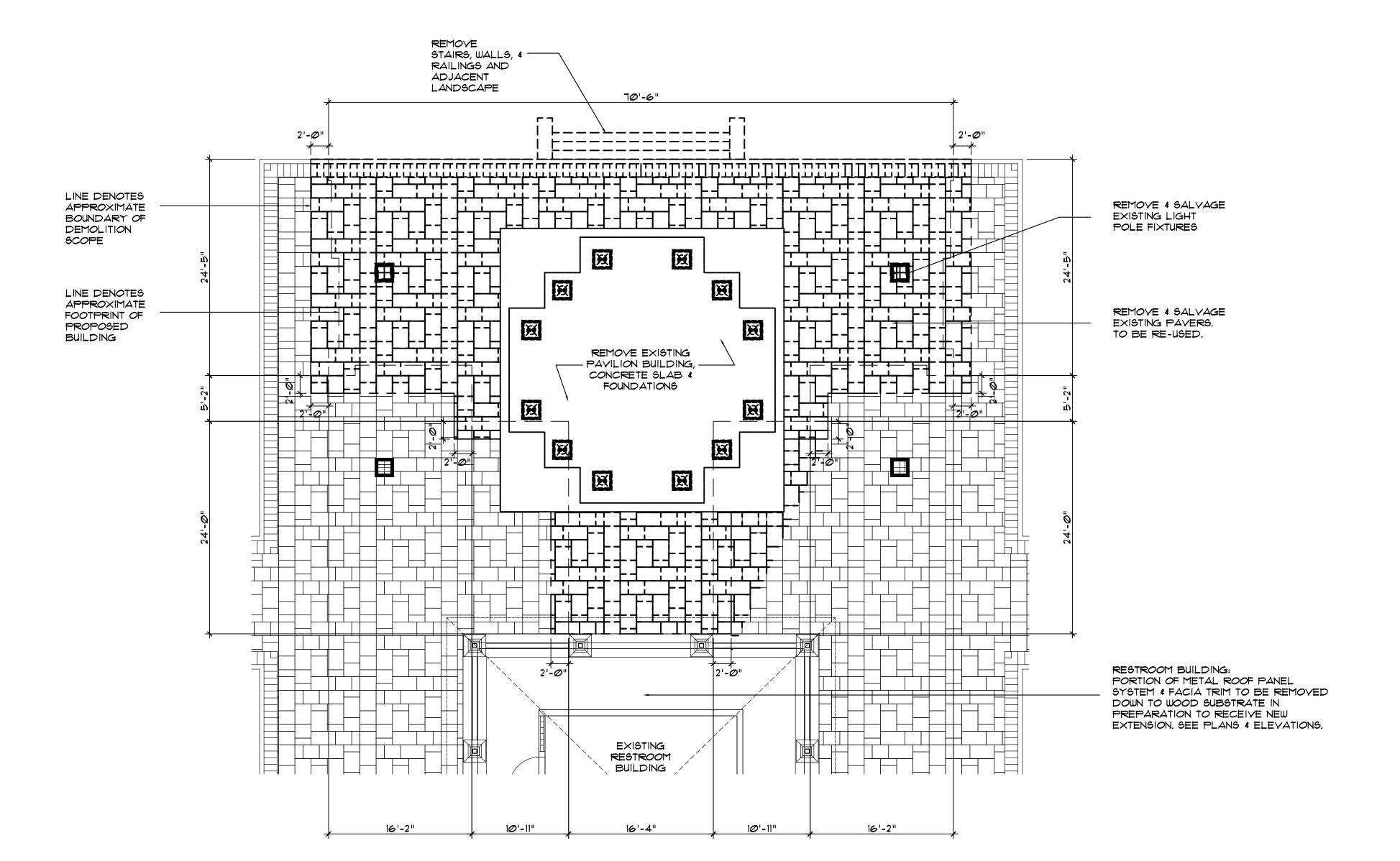
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REG No.	15048
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SITE PLAN

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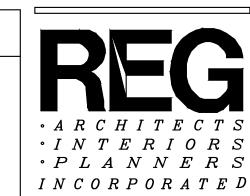


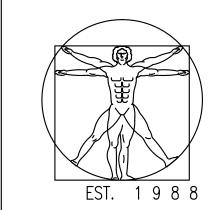
#### DEMOLITION NOTES

- 1. CONTRACTOR IS RESPONSIBLE OF BECOMING FULLY INFORMED AS
  TO EXISTING CONDITIONS AT THE SITE, NEITHER THE OWNER NOR THE
  A/E MAKES ANY REPRESENTATION WARRANTY AS TO SITE
  CONDITIONS.

  2. CONTRACTOR TO PROVIDE THE NECESSARY LABOR, MATERIAL,
  - 2. CONTRACTOR TO PROVIDE THE NECESSARY LABOR, MATERIAL, SCAFFOLDING & EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AS DESCRIBED IN THE DRAWINGS.
  - 3. CONTRACTOR SHALL VERIFY WITH OWNER, DEMOLITION PHASING SCHEDULE BEFORE START DEMOLITION WORK.
  - 4. MATERIALS, EQUIPMENT & RUBBISH, EXCEPT FOR ITEMS TO BE REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE CODES.
  - 5. CONTRACTOR SHALL COORDINATE WITH OWNER ANY ITEMS, FIXTURES, AND/OR BUILDING ELEMENTS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
  - 6. THE DEMOLITION PLAN AND KEY NOTES ARE PROVIDED FOR REFERENCE ONLY. IT DOES NOT INTEND TO ADDRESS ALL DEMOLITION SCOPE OF WORK, CONTRACTOR SHALL COORDINATE FULL DEMOLITION SCOPE WITH EXISTING CONDITIONS AND PROPOSED PLANS.
  - 1. CONTRACTOR SHALL REPORT TO ARCHITECT ANY DISCREPANCY FOUND ON SITE WITH THE DEMOLITION PLAN PRIOR TO START.
  - 8. ALL DEMOLITION, RENOVATION, AND NEW CONSTRUCTION SHALL COMPLY WITH NFPA 241 AND ALL OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES, RULES, AND ORDINANCES.
  - 9. CONTRACTOR IS FULLY RESPONSIBLE FOR THE SAFETY AND PROTECTION OF WORKMEN AND THE PUBLIC FROM DEMOLITION WORK. CONTRACTOR SHALL PROTECT ALL EXISTING OCCUPIED AREAS AS NECESSARY UTILIZING (BUT NOT LIMITED TO:) LIGHTING, BARRICADES, WORKING SIGNS, AND DUST BARRIERS.
  - 10. CONTRACTOR SHALL VERIFY WITH LOCAL JURISDICTION, THE REQUIREMENTS FOR DEBRIS DUMPSTER LOCATION AND COLLECTION SCHEDULE PRIOR TO COMMENCEMENT.
  - 11. UPON COMPLETION OF DEMOLITION WORK, ADJACENT AREAS AND PROPERTY SHALL BE LEFT CLEAN AND SATISFACTORY TO THE AUTHORITIES HAVING JURISDICTION, THE OWNER AND THE ARCHITECT.
  - 12. EXISTING BUILDING ELEMENTS THAT ARE AFFECTED BY DEMOLITION ARE TO BE PATCHED AND REPAIRED TO MATCH ADJACENT EXISTING CONDITIONS, FINISHES, AND MAINTAIN EXISTING FIRE RATINGS WHERE APPLICABLE...
  - 13. EXISTING CONCRETE FLOOR TRENCHING AND EXISTING PARTITION WALL/CEILING GYPSUM BOARD REMOVAL MAY BE REQUIRED FOR NEW PLUMBING/ELECTRICAL WORK.
  - 14. UNLESS NOTED OTHERWISE, ALLOW TWO INCHES VARIANCE UP AND DOWN FOR GIVEN DIMENSIONS OF EXISTING CONDITIONS.

    CONTRACTOR TO VERIFY AND REPORT TO ARCHITECT OF ANY DISCREPANCIES PRIOR TO START DEMOLITION WORK.
  - 15. CONTRACTOR SHALL VERIFY AND SHORE BEARING STRUCTURES PROPERLY PRIOR TO DEMOLITION WORK (AS NECESSARY).
  - 16. CONTRACTOR TO COORDINATE AND SCHEDULE ALL UTILITIES SHUTDOWNS WITH THE LOCAL UTILITY COMPANIES, AUTHORITIES HAVING JURISDICTION, AND BUILDLING MANAGERS AS APPLICABLE.
  - 17. COORDINATE ANY ALTERATION AND CHANGES TO THE ELECTRICAL SERVICE WITH THE LOCAL UTILITY COMPANY.
  - 18. WHERE CONDUIT IS INACCESSIBLE, REMOVE CONDUCTORS AND CUT BACK CONDUIT FLUSH WITH SLAB OR WALL. PATCH OPENING TO MATCH EXISTING FINISH. WHERE EXISTING WIRING EXTENDS OUTSIDE OF THE AREA BY NATURE OF THE ORIGINAL INSTALLATION, CONTRACTOR SHALL MODIFY EXISTING WIRING AS REQUIRED TO MAINTAIN CONTINUITY OF EXISTING CIRCUITRY SUCH THAT NO EQUIPMENT TO REMAIN IS LEFT WITHOUT SERVICE.
  - 19. CONTRACTOR SHALL DISCONNECT ANY CIRCUITS FROM ELECTRICAL PANEL THAT ARE PART OF WALL/FLOOR/CEILING DEMOLITION WORK PRIOR TO COMMENCEMENT.
  - 20. FOR EQUIPMENT AND SYSTEMS TO REMAIN IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE CONDITION OF, EXACT SIZES AND LOCATION OF EXISTING DUCT AND PIPING ETC. BEFORE DEMOLITION WORK IS BEGUN. REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER AND ENGINEER PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK.
  - 21. CAP AND SEAL AIR TIGHT ALL POINTS AT WHICH DUCTWORK IS REMOVED FROM DUCTWORK THAT WILL REMAIN.
  - 22. ALL PLUMBING PIPES ASSOCIATED WITH FIXTURE TO BE DEMOLISHED OR REMOVED (INCLUDING BUT NOT LIMITED TO: SANITARY, WATER, GREASE, GAS, CONDENSATE, AND REFRIGERATION) SHALL BE CAPPED BELOW SLAB, ABOVE CEILING OR IN WALL (TO REMAIN).
  - 23. NO EXISTING PIPING SHALL BE LEFT OPEN AFTER PARTIAL REMOVAL, PIPE SHALL BE PERMANENTLY CAPPED OR TEMPORARILY CAPPED IF MADE READY FOR CONNECTION TO NEW WORK.
  - 24. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UNDERGROUND/UNDER-SLAB LINES AND COORDINATE WITH ALL DISCIPLINES FOR NEW CONNECTIONS.





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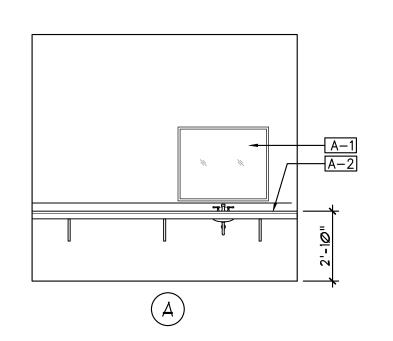
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DEMOLITION PLAN

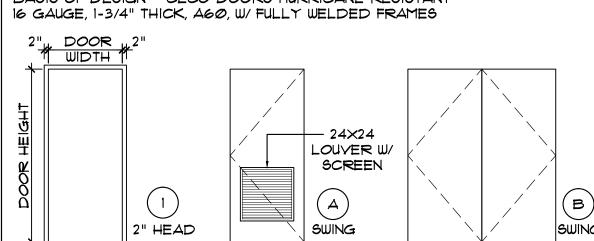
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TYPICAL GREEN ROOM COUNTER

#### DOOR HARDWARE: DOOR AND FRAME SCHEDULE DETAILS . CYLINDER LOCK MARK LOCATION REMARKS TYPE | MAT. | SIZE (Y.I.F.) TYPE | MAT. | SILL | JAMB | HEAD | RTNG. (HAGER 3100, US26D) 2. HINGES (3 MIN) 102-1 BACKSTAGE/ STORAGE HM | 72" x 84" (HAGER BBII91, US26D) 3. DOOR CLOSER 102-2 BACKSTAGE/ STORAGE | 72" × 84' 1H 1⊢ (LCN 1070, ALUM) 102-3 BACKSTAGE/ STORAGE 15 | 1H | 1H 4. THRESHOLD (ADA) MTL GREEN ROOM HM 36" × 84" 16 IH (HAGER 520S, MILL FIN) 5. PUSH/PULL PLATES A | HM | 36" x 84" | 1 | MTL | 1S | 1H | 1H 104 GREEN ROOM (HAGER 31E \$ 305, US26D. DOORS AND FRAMES TYPES DOORS GENERAL NOTES 6. KICK PLATE

NOTE: SEE SCHEDULE FOR DOOR WIDTH AND HEIGHT BASIS OF DESIGN - CECO DOORS HURRICANE RESISTANT 16 GAUGE, 1-3/4" THICK, A60, W/ FULLY WELDED FRAMES



1. PROVIDE IMPACT RESISTANT ASSEMBLIES AT ALL OPENINGS
THAT COMPLY WITH STATE OF FLORIDA OR MIAMI-DADE
COUNTY PRODUCT APPROVAL (AS REQUIRED BY LOCAL
BLDG. DEPT.)

- P. EXTERIOR OPENING ASSEMBLIES SHALL MEET THE MINIMUM WIND LOAD PRESSURE DESIGNS SPECIFIED ON STRUCTURAL
- B. PROVIDE ANSI/BHMA STANDARDS, GRADE I (COMMERCIAL)
  HARDWARE ON ALL EXTERIOR DOORS. FINISH SHALL BE
  STAINLESS STEEL, SATIN FINISH. COORDINATE KEYING WITH
  OWNER.
- . PROVIDE SHOP DRAWINGS FOR OWNER & ARCHITECT
  APPROVAL PRIOR TO PURCHASE ORDER: WINDOWS, DOORS,
  HARDWARE & CONNECTIONS. PRODUCT APPROVALS SHALL
  BE INCLUDED IN SHOP DRAWING SUBMITTAL.

#### WALL TYPES NOTES

- ALL WALLS ARE STANDARD 8" CMU BLOCK UNLESS OTHERWISE NOTED SEE ELEVATIONS FOR EXTERIOR FINISHES. SEE FINISH SCHEDULE FOR INTERIOR FINISHES.

- PROVIDE THROUGH-PENETRATION FIRESTOP SYSTEM AND THROUGH PENETRATION FIRESTOP DEVICES, SEALANTS, AND RELATED PRODUCTS FOR FIRE-RATED FLOOR AND WALL PENETRATIONS (AND SEALING TOP OF RATED WALLS TO DECK OR BOTTOM OF EX. CONC. SLAB). THIS WORK ALSO INCLUDES FIRESTOPPING AT PENETRATIONS THROUGH FIRE RATED WALLS AND FLOORS. ALL RATED WALL PENETRATIONS SHALL MAINTAIN THE INTEGRITY OF THE WALL ASSEMBLY.

- PROVIDE CONSTRUCTION IN ACCORDANCE WITH THE UL DESIGN NUMBER INDICATED.

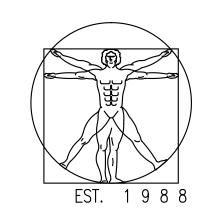
- ALL INTERIOR SIDES OF BLOCK WALLS SHALL BE SKIM COATED WITH STUCCO, READY TO RECEIVE PAINT FINISH.

- UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TAKEN FROM FACE OF CMU OR CONCRETE TO FACE OF FINISH, OR FACE OF FINISH TO FACE OF FINISH.

- DOORS NOT OTHERWISE DIMENSIONED SHALL BE 8" FROM FACE OF ADJACENT CMU OR CONCRETE WALL TO ROUGH DOOR OPENING. AND 4" FROM FACE OF ADJACENT STUD WALL TO ROUGH DOOR OPENING.

FLOOR FINISH SCHEDULE				
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
F-1	EPOXY W/ CHEM. RESIST. TOP COAT	TRAFFIC TUFF	GRAY	NEOGARD
F-2	CONCRETE	LIGHT BROOM FINISH		
WALL BASE FINISH SCHEDULE				
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
B-1	EPOXY W/ CHEM. RESIST. TOP COAT	TRAFFIC TUFF	GRAY	NEOGARD
WALL FINISH SCHEDULE				
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER
W-1	EPOXY PAINT	SW7008	ALABASTER	SHER WILLIAMS
W-2				
ACCESSORY SCHEDULE				
TAG	DESCRIPTION		REFERENCE	MANUFACTURER
<b>A-1</b>	STAINLESS STEEL	FRAME MIRROR	B-293-2436	BOBRICK
A-2	VANITY TOPS (SC	DLID SURFACE)	9Ø32ML	WILSONART





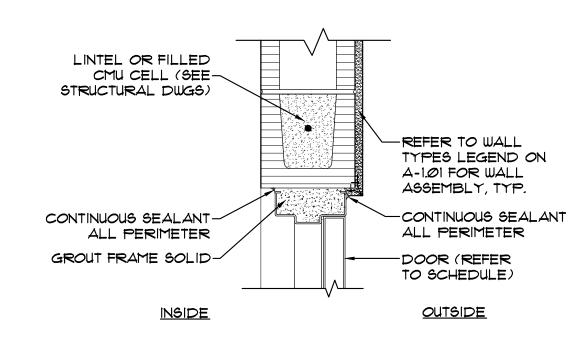
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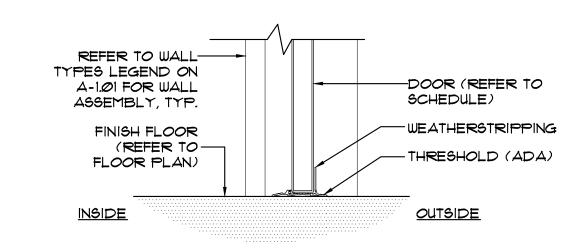
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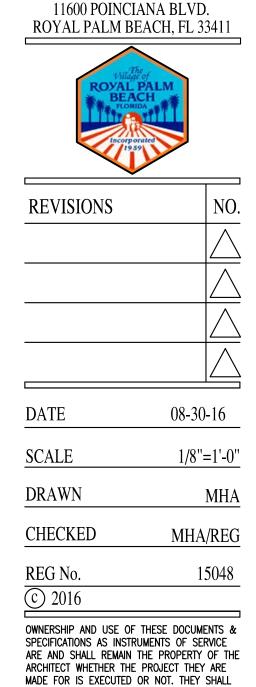
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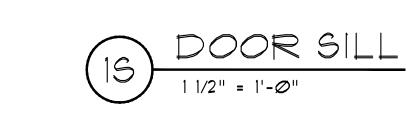
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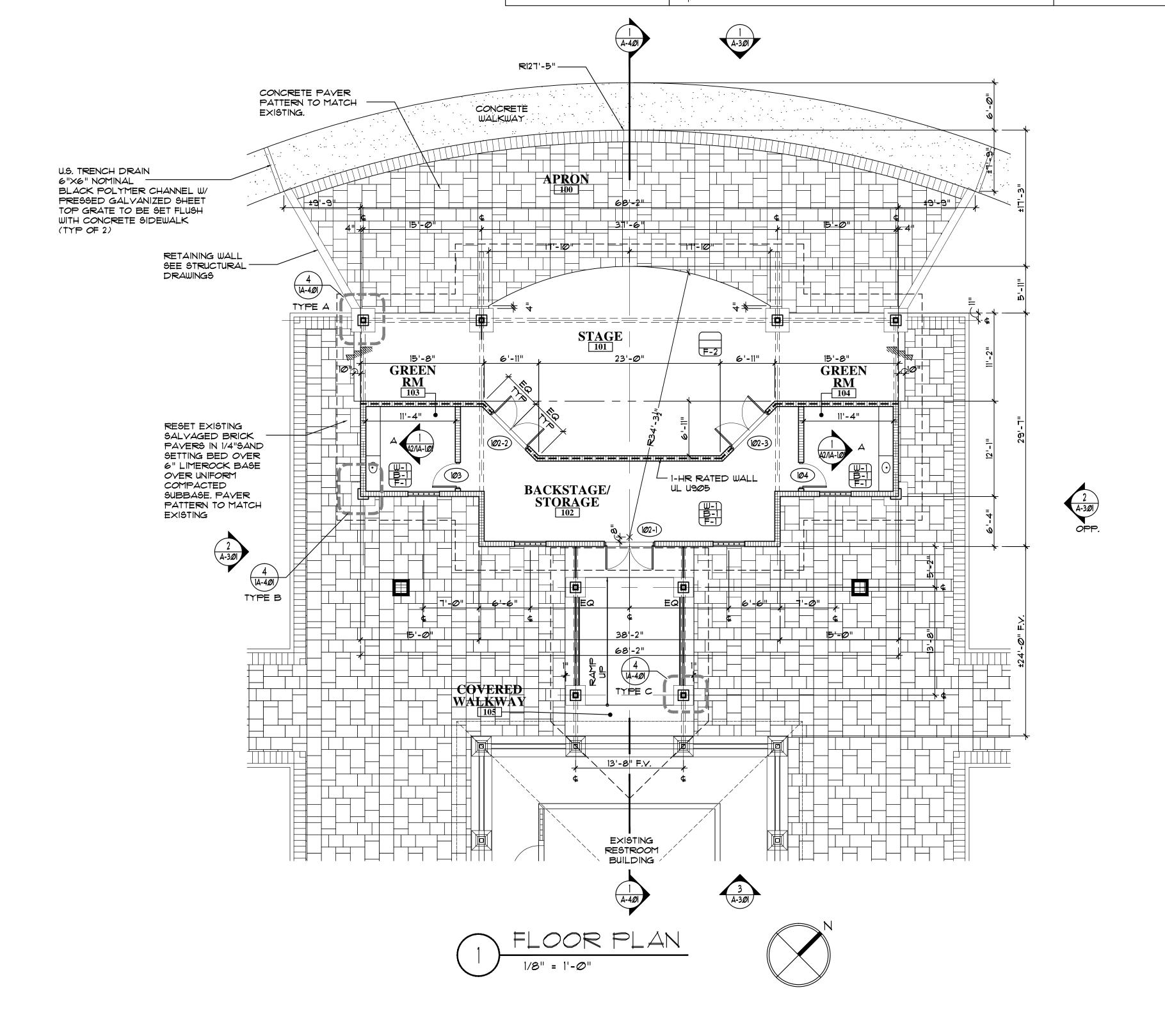
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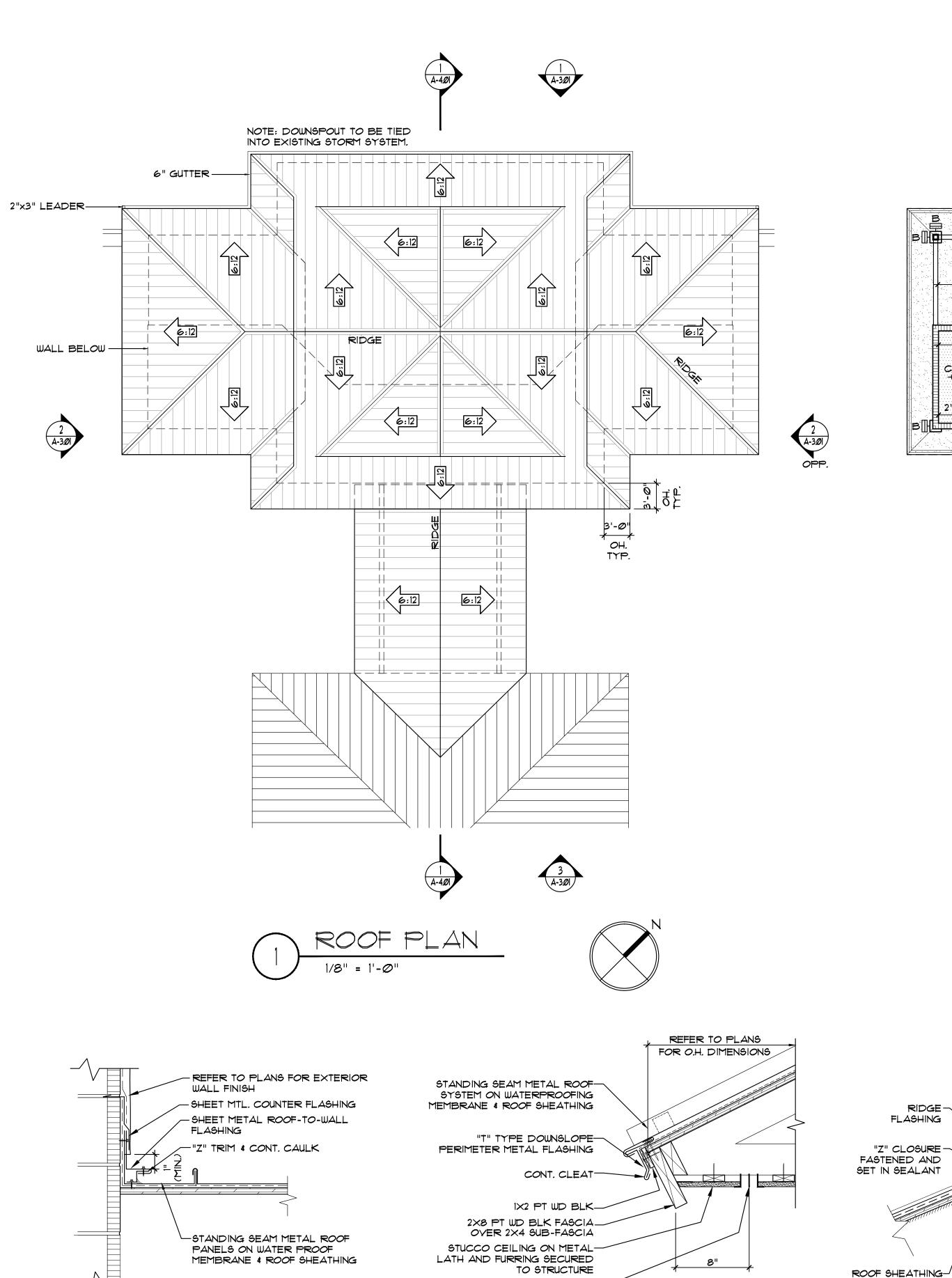
FLOOR PLAN

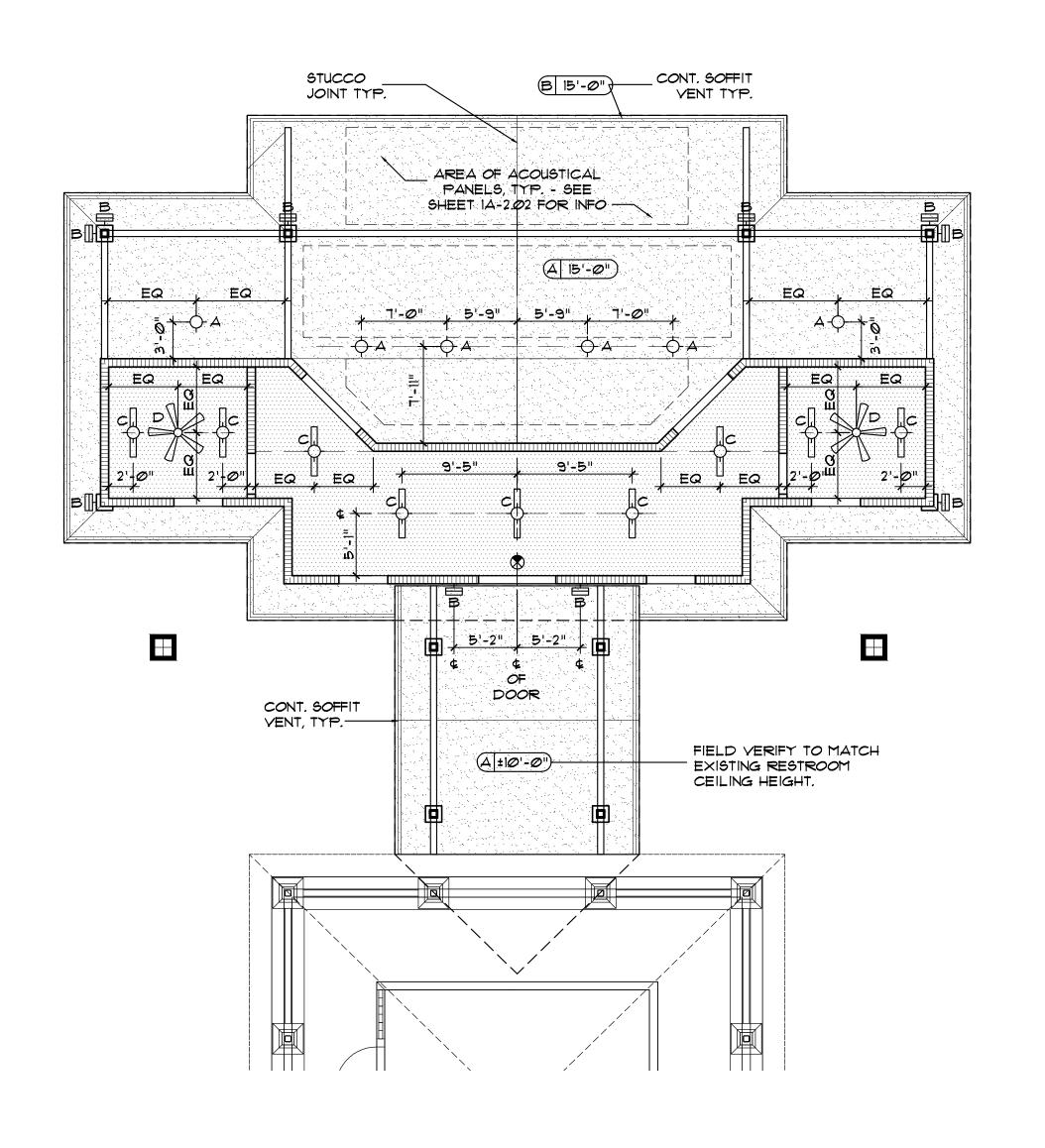
IN WRITING AND WITH APPROPRIATE

COMPENSATION TO THE ARCHITECT.

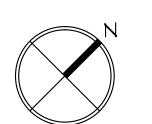


(HAGER 1906, US32D)



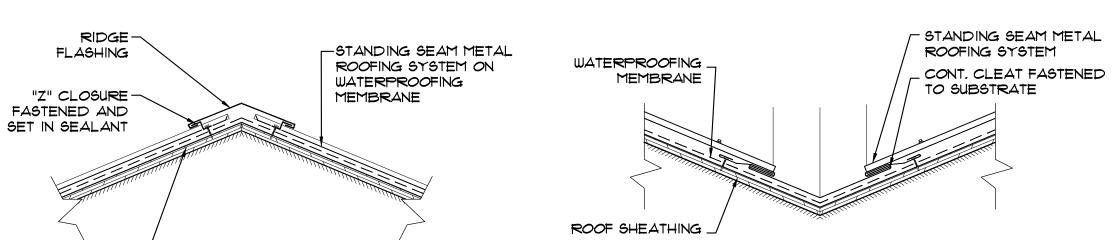






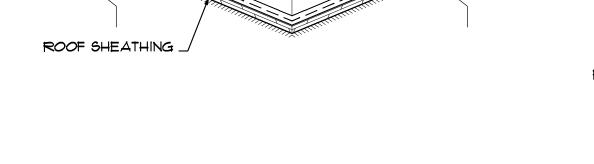
NOTE: REFER TO STRUCTURAL

PLANS FOR ROOF STRUCTURE

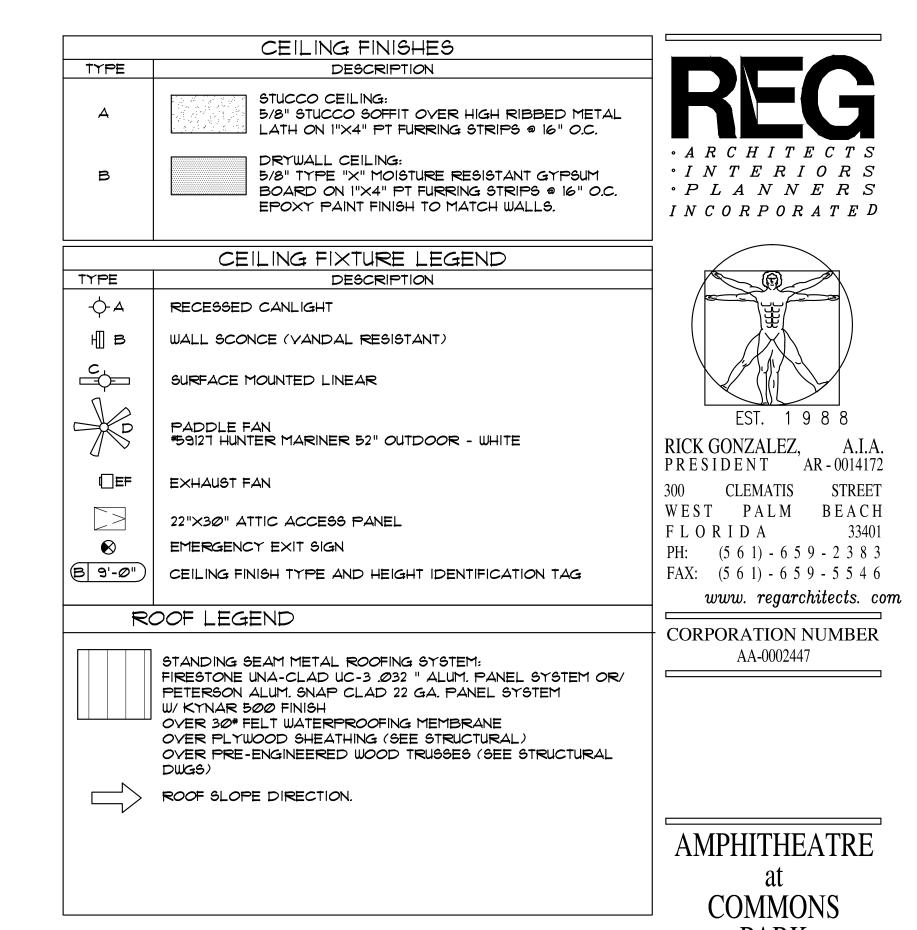


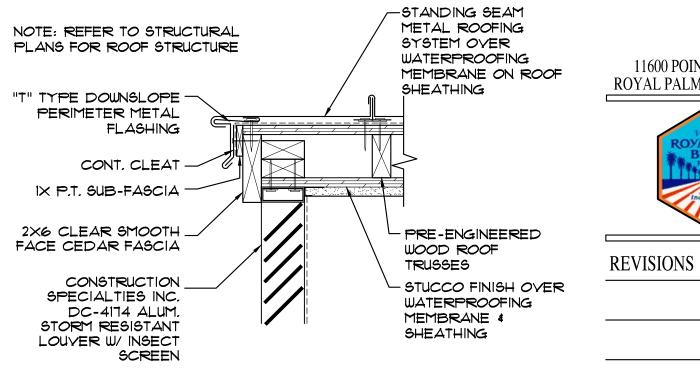


(SEE STRUCTURAL)



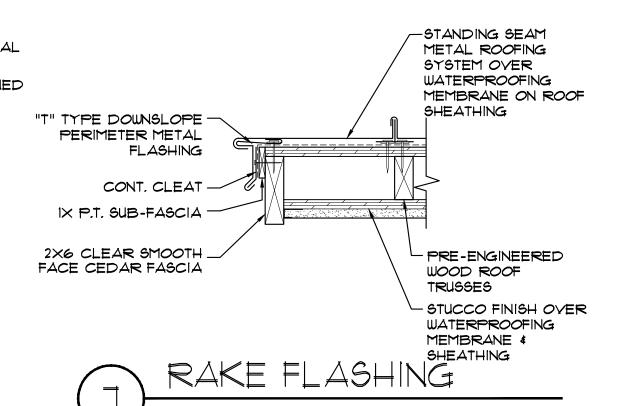








NOTE: REFER TO STRUCTURAL PLANS FOR ROOF STRUCTURE



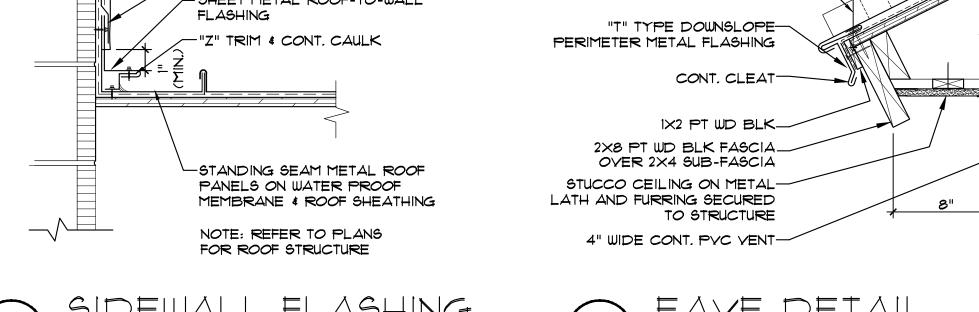
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> **ROOF PLAN** CEILING PLAN



# DATUM CL OF STAGE 28'-Ø" $\oplus$ **A-**�--ф- д **Φ** -**(**- Δ Φ $^{\prime}$ $\bigcirc$ $\bigcirc$ $\bigcirc$ $\bigcirc$ $\bigcirc$ KNP KNP KNP KNP KNP KNP PANEL PANEL PANEL NOTE: INSTALLER SHALL COORDINATE ALL CEILING PANELS WITH RIGGING STRONG POINTS AND RECESSED LIGHTING ACOUSTIC TREATMENT CEILING PLAN 3'-@"3'-@"3'-@" ש- כ"ש- נש- נ א'-6"<sub>4</sub>3'-6"<sub>4</sub>3'-6"<sub>4</sub>3'-6" KNP KNP PANEL PANEL KNP PANEL KNP PANEL KNP KNP KNP PANEL PANEL DATUM STAGE - FLOOR

DATUM CL

OF STAGE

ACOUSTIC TREATMENT WALL ELEVATION

SPECIFICATION

#### ACOUSTICAL WALL PANELS

MANUFACTURER: KINETICS NOISE CONTROL.

CONTACT: PO BOX 655, 6300 IRELAN PLACE, DUBLIN, OH 43017± TELEPHONE: (614) 889-0480± FAX: (614) 889-0075± E-MAIL: INTSALES@KINETICSNOISE.COM# WEB SITE: WWW.KINETICSNOISE.COM.

SUBSTITUTIONS: NO SUBSTITUTIONS PERMITTED.

#### MANUFACTURED UNITS

KNP PERFORATED METAL PANELS:

MODEL KNP (FLAT) THICKNESS: 2 INCHES (51 MM).

SIZE: AS INDICATED ON THE DRAWINGS.

CONSTRUCTION: 0.040 INCH (1.02 MM) MEDIUM DUTY ALUMINUM FACE PERFORATED WITH 3/32 INCH (2.4 MM) HOLES ON 3/16 INCH (4.8 MM) STAGGERED CENTERS, PROVIDING 23% OPEN AREA. 0.040 ALUMINUM CHANNEL/STIFFENER FRAMING. 2 INCHES (51 MM) THICK, FIBROUS INSULATION SOUND ABSORBER ENCASED IN 2.5 MIL THICK BLACK POLY EMBOSSED VINYL.

FINISH: MANUFACTURER'S STANDARD POWDER COATED PAINT FINISH.

COLOR: AS SELECTED FROM PANEL MANUFACTURER'S RANGE OF STANDARD COLORS.

SOUND ABSORPTION (ASTM E195, A MOUNTING): NOISE REDUCTION COEFFICIENT OF 0.90.

MOUNTING ACCESSORIES: AS REQUIRED FOR CEILING AND WALL MOUNTED PANELS.

#### SUBMITTALS

GENERAL: SUBMIT LISTED SUBMITTALS IN ACCORDANCE WITH CONDITIONS OF THE CONTRACT AND DIVISION I SUBMITTAL PROCEDURES SECTION.

PRODUCT DATA: SUBMIT PRODUCT DATA SHEET, FOR SPECIFIED PRODUCTS.

SHOP DRAWINGS: SUBMIT SHOP DRAWINGS SHOWING LAYOUT, EDGE PROFILES AND PANEL COMPONENTS, INCLUDING ANCHORAGE, ACCESSORIES, FINISH COLORS AND TEXTURES.

SAMPLES: SUBMIT SELECTION AND VERIFICATION SAMPLES OF FINISHES, COLORS AND TEXTURES.

TEST REPORTS: CERTIFIED TEST REPORTS SHOWING COMPLIANCE WITH SPECIFIED PERFORMANCE REQUIREMENTS.

STANDARD SYSTEMS: SUBMIT CERTIFIED COPIES OF PREVIOUS TEST REPORTS SUBSTANTIATING PERFORMANCE OF SYSTEM IN LIEU OF RETESTING.

#### DELIVERY, STORAGE & HANDLING

GENERAL: COMPLY WITH DIVISION I PRODUCT REQUIREMENTS SECTION.

DELIVERY: DELIVER MATERIALS IN MANUFACTURER'S ORIGINAL, UNOPENED, UNDAMAGED CONTAINERS WITH IDENTIFICATION LABELS

STORAGE AND PROTECTION: STORE MATERIALS PROTECTED FROM EXPOSURE TO HARMFUL ENVIRONMENTAL CONDITIONS AND AT TEMPERATURE AND HUMIDITY CONDITIONS RECOMMENDED BY THE MANUFACTURER.

#### PROJECT CONDITIONS

ENVIRONMENTAL REQUIREMENTS: DO NOT INSTALL PANELS UNTIL WET WORK, SUCH AS CONCRETE AND PLASTERING, IS COMPLETE.

#### MANUFACTURER'S INSTRUCTIONS

COMPLIANCE: COMPLY WITH MANUFACTURER'S PRODUCT DATA, INCLUDING PRODUCT TECHNICAL BULLETINS, PRODUCT CATALOG INSTALLATION INSTRUCTIONS AND PRODUCT CARTON INSTRUCTIONS FOR INSTALLATION.

#### EXAMINATION

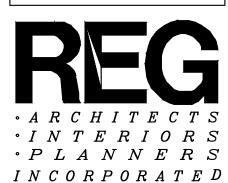
SITE VERIFICATION OF CONDITIONS: VERIFY THAT SUBSTRATE CONDITIONS, WHICH HAVE BEEN PREVIOUSLY INSTALLED UNDER OTHER SECTIONS, ARE ACCEPTABLE FOR PRODUCT INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

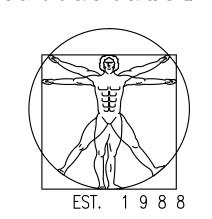
DO NOT INSTALL PANELS UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

#### CLEANING

FOLLOW MANUFACTURER'S INSTRUCTIONS FOR CLEANING PANELS SOILED DURING INSTALLATION. REPLACE PANELS THAT CANNOT BE CLEANED TO AS NEW CONDITION.

KEEP SITE FREE FROM ACCUMULATION OF WASTE AND DEBRIS.





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CORPORATION NUMBER AA-0002447

# **AMPHITHEATRE COMMONS**

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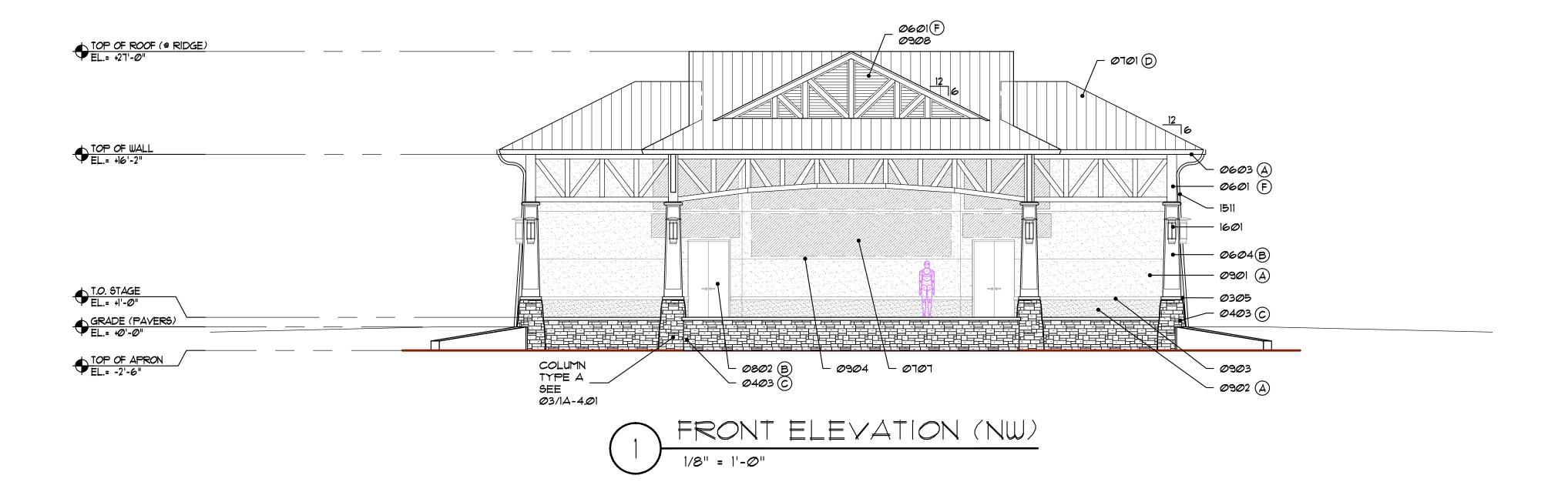


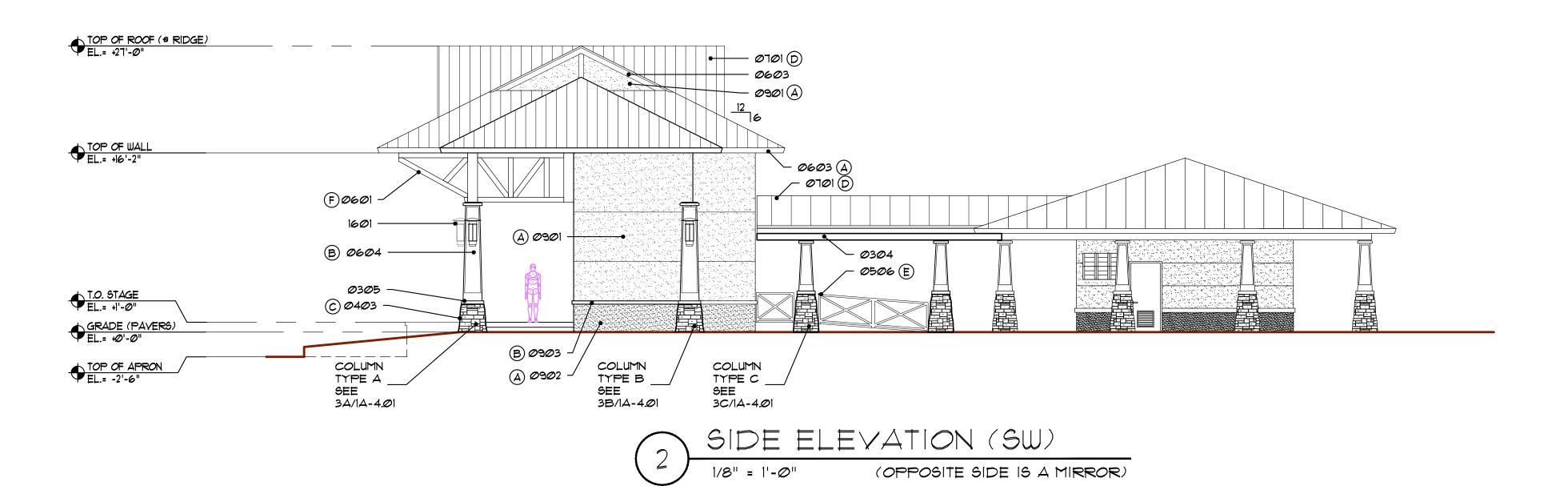
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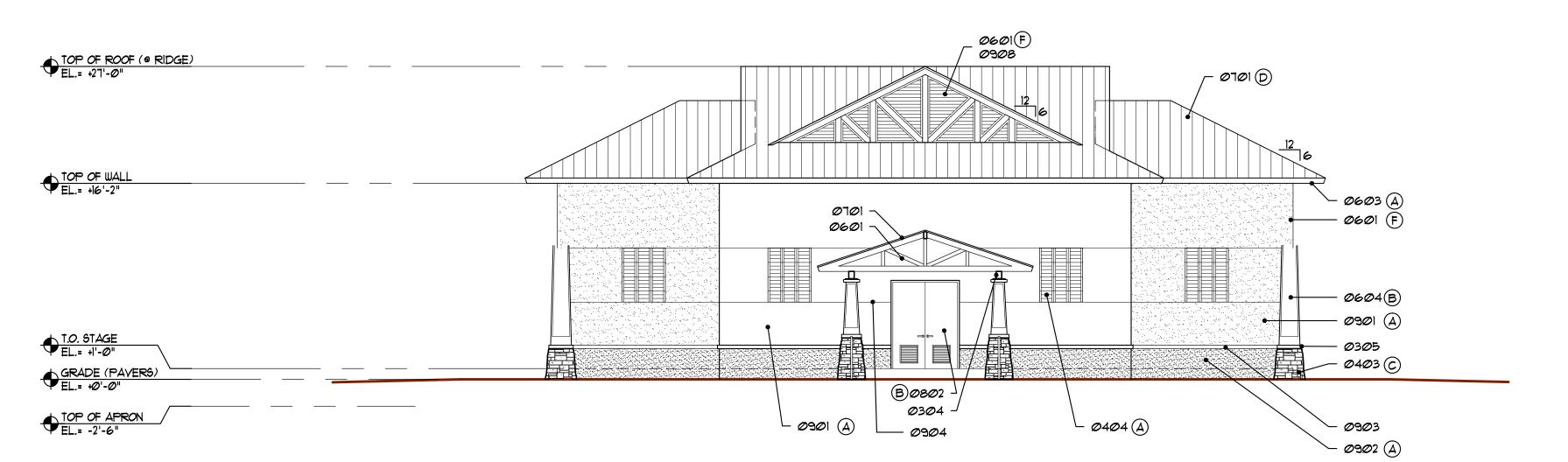
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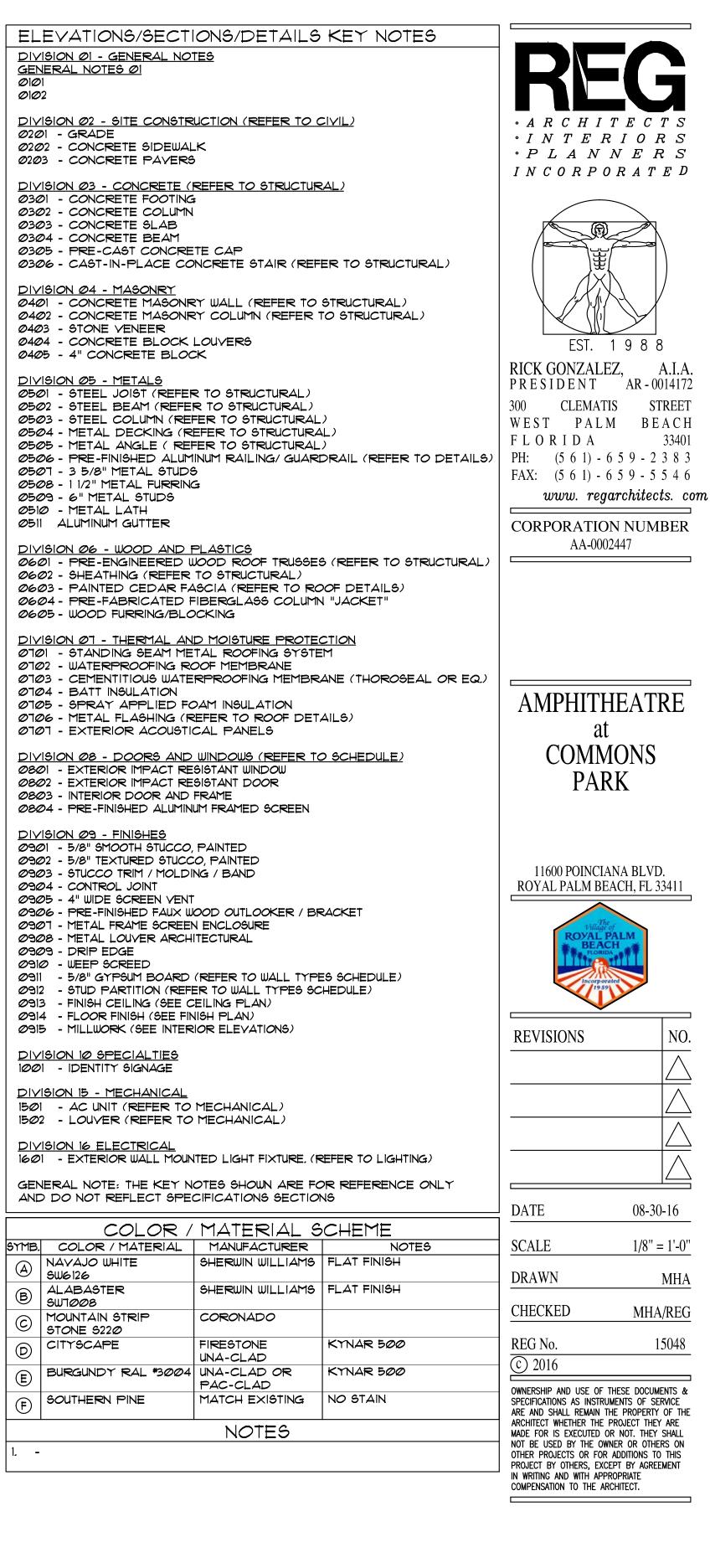
ACOUSTICAL PANEL FLOOR PLAN & **ELEVATION** 







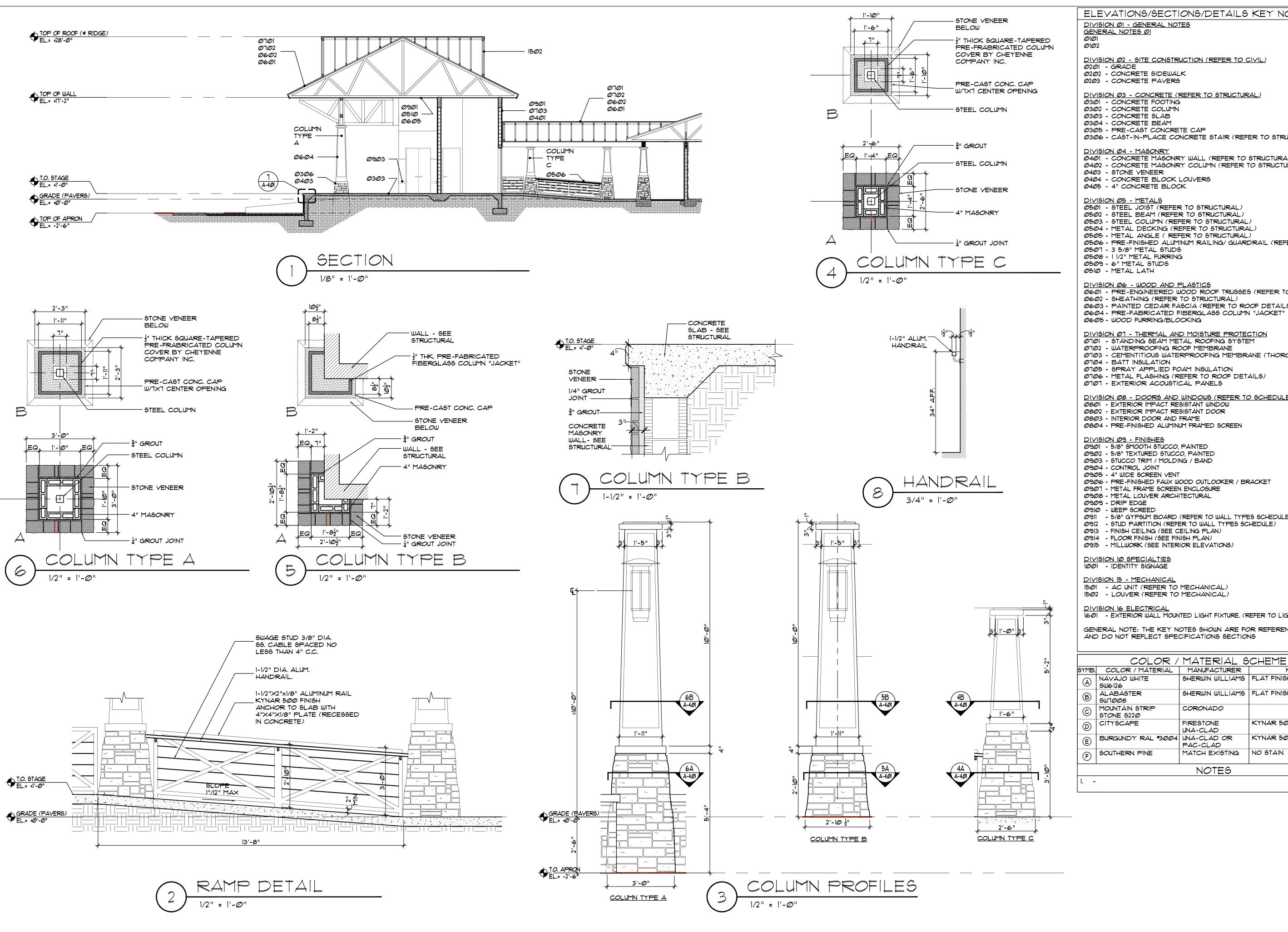
REAR ELEVATION (SE)



BUILDING **ELEVATIONS** 

MHA

15048



ELEVATIONS/SECTIONS/DETAILS KEY NOTES

DIVISION Ø1 - GENERAL NOTES GENERAL NOTES Ø1

DIVISION 02 - SITE CONSTRUCTION (REFER TO CIVIL)

0202 - CONCRETE SIDEWALK

0203 - CONCRETE PAYERS

DIVISION Ø3 - CONCRETE (REFER TO STRUCTURAL)

0301 - CONCRETE FOOTING

0303 - CONCRETE SLAB

0304 - CONCRETE BEAM 0305 - PRE-CAST CONCRETE CAP

0306 - CAST-IN-PLACE CONCRETE STAIR (REFER TO STRUCTURAL)

<u>DIVISION Ø4 - MASONRY</u>

0401 - CONCRETE MASONRY WALL (REFER TO STRUCTURAL)

0402 - CONCRETE MASONRY COLUMN (REFER TO STRUCTURAL) 0403 - STONE VENEER

0404 - CONCRETE BLOCK LOUVERS 0405 - 4" CONCRETE BLOCK

DIVISION 05 - METALS

0501 - STEEL JOIST (REFER TO STRUCTURAL) 0502 - STEEL BEAM (REFER TO STRUCTURAL)

0503 - STEEL COLUMN (REFER TO STRUCTURAL) 0504 - METAL DECKING (REFER TO STRUCTURAL)

0505 - METAL ANGLE ( REFER TO STRUCTURAL)

0506 - PRE-FINISHED ALUMINUM RAILING/ GUARDRAIL (REFER TO DETAILS) 0507 - 3 5/8" METAL STUDS

0508 - 1 1/2" METAL FURRING 0509 - 6" METAL STUDS

Ø51Ø - METAL LATH

<u>DIVISION Ø6 - WOOD AND PLASTICS</u> 0601 - PRE-ENGINEERED WOOD ROOF TRUSSES (REFER TO STRUCTURAL)

0602 - SHEATHING (REFER TO STRUCTURAL) 0603 - PAINTED CEDAR FASCIA (REFER TO ROOF DETAILS)

0605 - WOOD FURRING/BLOCKING

<u>DIVISION ØT - THERMAL AND MOISTURE PROTECTION</u> ØTØI - STANDING SEAM METAL ROOFING SYSTEM

0702 - WATERPROOFING ROOF MEMBRANE

0703 - CEMENTITIOUS WATERPROOFING MEMBRANE (THOROSEAL OR EQ.)

0704 - BATT INSULATION

0705 - SPRAY APPLIED FOAM INSULATION

0706 - METAL FLASHING (REFER TO ROOF DETAILS) 0707 - EXTERIOR ACOUSTICAL PANELS

DIVISION 08 - DOORS AND WINDOWS (REFER TO SCHEDULE)

0801 - EXTERIOR IMPACT RESISTANT WINDOW 0802 - EXTERIOR IMPACT RESISTANT DOOR

0803 - INTERIOR DOOR AND FRAME

DIVISION 09 - FINISHES 0901 - 5/8" SMOOTH STUCCO, PAINTED

0902 - 5/8" TEXTURED STUCCO, PAINTED 0903 - STUCCO TRIM / MOLDING / BAND

0904 - CONTROL JOINT

0905 - 4" WIDE SCREEN VENT 0906 - PRE-FINISHED FAUX WOOD OUTLOOKER / BRACKET

0907 - METAL FRAME SCREEN ENCLOSURE 0908 - METAL LOUVER ARCHITECTURAL

0909 - DRIP EDGE

0910 - WEEP SCREED 0911 - 5/8" GYPSUM BOARD (REFER TO WALL TYPES SCHEDULE)

0912 - STUD PARTITION (REFER TO WALL TYPES SCHEDULE) 0913 - FINISH CEILING (SEE CEILING PLAN)

0914 - FLOOR FINISH (SEE FINISH PLAN)

0915 - MILLWORK (SEE INTERIOR ELEVATIONS)

DIVISION 10 SPECIALTIES 1001 - IDENTITY SIGNAGE

1501 - AC UNIT (REFER TO MECHANICAL)

1502 - LOUYER (REFER TO MECHANICAL)

1601 - EXTERIOR WALL MOUNTED LIGHT FIXTURE. (REFER TO LIGHTING)

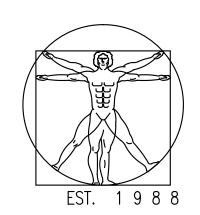
GENERAL NOTE: THE KEY NOTES SHOWN ARE FOR REFERENCE ONLY AND DO NOT REFLECT SPECIFICATIONS SECTIONS

COLOR / MATERIAL SCHEME				
SYMB.	COLOR / MATERIAL	MANUFACTURER	NOTES	
(A)	NAYAJO WHITE SW6126	SHERWIN WILLIAMS	FLAT FINISH	
B	ALABASTER SW1008	SHERWIN WILLIAMS	FLAT FINISH	
0	MOUNTAIN STRIP STONE S220	CORONADO		
<b>(D)</b>	CITYSCAPE	FIRESTONE UNA-CLAD	KYNAR 500	
E	BURGUNDY RAL #3004	UNA-CLAD OR PAC-CLAD	KYNAR 500	
(F)	SOUTHERN PINE	MATCH EXISTING	NO STAIN	

NOTES

 $\cdot$  I N T E R I O R S $| \cdot P L A N N E R S |$ 

INCORPORATED



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REVISIONS

08-30-16 **SCALE** DRAWN **NAME** CHECKED PM NAME/REG REG No. 15048 © 2016 OWNERSHIP AND USE OF THESE DOCUMENTS &

ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE

**SECTIONS** 

#### HVAC GENERAL NOTES

- 1. HVAC DRAWINGS ARE DIAGRAMMATICAL IN NATURE: DO NOT SCALE FOR EXACT LOCATIONS. THE AIR CONDITIONING CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS AS REQUIRED TO PROVIDE A COMPLETE AND FULLY OPERATIVE SYSTEM.
- 2. DUE TO DRAWINGS BEING DIAGRAMMATICAL IN NATURE, RISERS AND DROPS ARE NOT SHOWN CONTRACTOR SHALL INCLUDE THESE IN THE BID. WHERE POSSIBLE ALL RISERS AND DROPS SHALL BE CONSTRUCTED USING 45 DEGREE OR LONG RADIUS ELBOWS.
- 3. PROVIDE AND INSTALL NECESSARY DUCTWORK TRANSITIONS AND PIPING INCREASERS/REDUCERS AS REQUIRED FOR EQUIPMENT CONNECTIONS.

  CONSULT MANUFACTURER'S DATA FOR ACTUAL DUCTWORK AND PIPING CONNECTIONS SIZES, INCLUDING, BUT NOT LIMITED TO THOSE SHOWN.
- 4. IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR FOR THE ADVANCED ORDERING OF LONG LEAD ITEMS SO THAT DELIVERY WILL NOT INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
- 5. IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK SHOWN AND/OR NOTED ON THE DRAWINGS.
- 6. ALL DIMENSIONS ARE IN PHYSICAL UNITS OF INCHES UNLESS OTHERWISE
- 7. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF DUCT SIZE CHANGES ARE REQUIRED BECAUSE OF EXISTING CONDITIONS.
- 8. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, TESTS, AND ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- 9. AFTER BID SELECTION AND PRIOR TO COMMENCEMENT OF WORK, THE AIR CONDITIONING CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DUCT WORK, EXHAUST FANS, AIR DEVICES, AND EQUIPMENT AS STATED ON SCHEDULES AND OR NOTES. AHRI CERTIFICATES FOR ALL EQUIPMENT SHALL BE INCLUDED IN THE SUBMITTAL PACKAGE. IF THE CONTRACTOR PROPOSES TO USE ANY ARTICLE, DEVICE, PRODUCT, OR MATERIAL WHICH IS NOT AS SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVE TO THE ENGINEER THAT THE PROPOSED SUBSTITUTION IS EQUAL AND WILL FIT ALLOCATED SPACE.
- 10. LOCATION OF AIR CONDITIONING DUCTS AND AIR DEVICES MAY CHANGE. VERIFY EXACT LOCATION WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION. DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE FOR THE EXACT LOCATION OF DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF AIR DEVICES.
- 11. PROVIDE MANUAL VOLUME DAMPERS AT ALL LOW PRESSURE BRANCH DUCTS TO INDIVIDUAL DIFFUSERS AND GRILLES AND TO ALL LOW PRESSURE BRANCH DUCTS TO REHEAT COILS. PROVIDE DAMPERS AS CLOSE AS POSSIBLE TO BRANCH CONNECTION TO MAIN. SEE DIFFUSER AND GRILLE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 12. NO PIPING, DUCTWORK, OR CONDUIT SHALL BE INSTALLED UNTIL IT IS COORDINATED WITH ALL OTHER TRADES AFFECTED. PROVIDE ALL OFFSETS REQUIRED TO AVOID INTERFERENCE WITH OTHER TRADES; EXISTING CONDITIONS AND WITH THE STRUCTURE, INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN.
- 13. DO NOT BLOCK TUBE PULL OR SERVICE SPACE ON EQUIPMENT WITH PIPING, DUCTWORK, ETC.. (FLANGED OR REMOVABLE SECTIONS MAY BE USED IN SOME INSTANCES WHERE TIGHT CLEARANCES EXISTS).
- 14. IF NO SIZE IS SHOWN FOR DUCT SERVING DIFFUSER OR GRILLES, USE SIZE SHOWN ON DIFFUSER AND GRILLE SCHEDULE.
- 15. DUCTWORK ROUTED PARALLEL TO A WALL, RATED OR CORRIDOR SHALL BE INSTALLED WITH MINIMUM 6" CLEARANCE TO ALLOW FOR INSPECTION OF WALL PENETRATIONS. CONTRACTOR SHALL PROVIDE 12" CLEARANCE WHERE POSSIBLE, COORDINATE.
- 16. REFER TO DETAIL SHEETS AND SPECIFICATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS.

TRANSFER OPENINGS IN THE WORK AREA.

- 17. PROVIDE TEMPORARY FILTERS ON ALL RETURN AIR GRILLES AND
- 18. INSTALL AHU CONTROL PANELS TO PROVIDE FOR 3'-0" MIN. CLEARANCE IN FRONT OF PANEL.
- 19. UNLESS OTHERWISE NOTED ON PLANS, LOW RETURN AIR GRILLES AND LOW EXHAUST GRILLES SHALL BE 6" TO 8" A.F.F. TO BOTTOM OF GRILLE.
- 20. ALL DIFFUSERS IN SAME SPACE SHALL HAVE THE SAME FULL FACE SIZE USING LARGEST SIZE REQUIRED FROM DIFFUSER AND GRILLE SCHEDULE.
- 21. PROVIDE CLEAR ACCESS TO FIRE DAMPERS, SMOKE DAMPERS, AND VALVES.
- 22. ALL WORK SHALL BE PERFORMED BY A LICENSED AIR CONDITIONING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.
- 23. THE AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS CAUSED BY THE CONTRACTOR DURING THE PERFORMANCE OF WORK.

- 24. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- 25. THE PLUMBING CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS PER PLUMBING SPECIFICATIONS. (SEE PLUMBING SHEETS)
- 26. COMBUSTIBLE PIPING IS NOT PERMITTED IN RETURN AIR PLENUMS OR CEILING SPACES USED FOR RETURN AIR.
- 27. THE AIR CONDITIONING CONTRACTOR SHALL USE RADIUS TURNS WITH A 1.5 CENTERLINE TO WIDTH RATIO (1.5 R/W), VANED ELBOWS, SPLITTER DAMPERS WHERE INDICATED, VOLUME CONTROLS IN ALL BRANCH LINES AND SUPPLY AND RETURN AIR DEVICES UNLESS (OTHERWISE NOTED IN AIR DEVICE SCHEDULE).
- 28. THE AIR CONDITIONING CONTRACTOR SHALL SEAL ALL DUCTS IN AN APPROVED MANNER TO INSURE AGAINST LEAKAGE.
- 29. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY CONFLICTS IN LOCATIONS FOR DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC., IN ORDER TO NOT INTERFERE WITH THE PROGRESS OF CONSTRUCTION.
- 30. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT, EXCEPT FOR EXHAUST HOODS.
- 31. UNLESS NOTED AS EXISTING TO BE REUSED (E) OR RELOCATED (RE), ALL

EQUIPMENT, PIPING, DUCTS, REGISTERS, ETC., SHALL BE NEW.

- 32. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR UNDERWRITERS LABEL (UL) WHERE APPLICABLE.
- 33. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE ALL CONTRACTORS, STARTERS, RELAYS, AND THERMOSTATS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS, POWER WIRING AND CONTROL WIRING, UNLESS NOTED OTHERWISE.
- 34. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE 1" THICK MERV 8 (THROW-AWAY TYPE) FILTERS WITH EACH A/C UNIT (UON).
- 35. ALL PENETRATIONS OF FIRE-RATED WALLS, FLOORS OR CEILINGS SHALL BE FIREPROOFED BY A SEALING METHOD AND RATING AS SPECIFIED ON THE DRAWINGS OR AS REQUIRED BY THE LOCAL OR STATE CODES.
- 36. AIR HANDLING DEVICES IN EXCESS OF 2000 CFM WILL HAVE A DUCT SMOKE DETECTOR TO STOP THE FAN AND ACTIVATE A HORN AND STROBE LIGHT. ALL EQUIPMENT SHALL BE INTERLOCKED AS REQUIRED BY LOCAL CODES OR FIRE SAFETY OFFICIALS.
- 37. ALL WORK SHALL COMPLY WITH BASE BUILDING LIFE SAFETY/SMOKE CONTROL SYSTEM REQUIREMENTS. PROVIDE ALL NECESSARY WIRING, CONTRACTORS, RELAYS, ETC., AS REQUIRED FOR INTERFACE WITH BASE BUILDING SYSTEM.
- 38. THE AIR CONDITIONING CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED, FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- 39. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS BUILT DRAWINGS TO THE ENGINEER UPON COMPLETION OF INSTALLATION. IF FIELD CHANGES ARE MADE WHICH DEVIATE FROM ENGINEERING DRAWINGS TO THE EXTENT THAT THE BUILDING DEPARTMENT REQUIRES THESE CHANGES BE INCORPORATED PRIOR TO INSPECTION, THE CONTRACTOR SHALL PROVIDE SKETCHES TO THE ENGINEER FOR INCORPORATION INTO THE BUILDING PLANS. ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THAT CONTRACTOR.
- 40. AIR CONDITIONING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF ACCEPTANCE, AND ALL GUARANTEES AND WARRANTIES SHALL BE DELIVERED TO THE OWNER. COMPRESSORS SHALL HAVE EXTENDED FIVE YEAR WARRANTIES.
- 41. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT WITH THE OWNER'S REPRESENTATIVE AND THE ACTUAL EQUIPMENT BEING FURNISHED.
- 42. ALL ROOF MOUNTED EQUIPMENT SHALL BE HVHZ WIND-LOAD RATED WITH SIGNED AND SEALED DOCUMENTS / DRAWINGS FROM AN INDEPENDENT LICENSED FLORIDA PROFESSIONAL ENGINEER.
- 43. ALL ROOF MOUNTED EQUIPMENT SHALL BE MOUNTED ON CURBS OR STANDS. CURBS AND STANDS AND SHALL BE FLORIDA PRODUCT APPROVED OR MIAMI DADE PRODUCT APPROVED WITH CURRENT NOTICE OF ACCEPTANCE (NOA). CURBS AND STANDS SHALL BE ATTACHED TO THE ROOF STRUCTURE AND THE EQUIPMENT SHALL BE ATTACHED TO THE CURB OR STAND IN ACCORDANCE WITH THE NOA DOCUMENTS.
- 44.IF ANY CONFLICTS OR DISCREPANCIES APPEAR IN THESE DOCUMENTS, THE MORE STRINGENT OF THE REQUIREMENTS ARE TO BE TAKEN.

#### CONTRACTOR GENERAL CONDITIONS NOTES

- 1. RFI'S: CONTRACTOR SHALL SUBMIT RFI'S WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
- 2. SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- 4. LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS. PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
- 5. DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.

SCOPE OF PROJECT

THIS PROJECT CONSISTS OF A RENOVATION OF AN EXISTING OPEN-AIR

AMPHITHEATER WITH NATURALLY VENTILATED BACK-OF-HOUSE SPACES.

VENTILATION PER F.B.C. 402.2

LOUVER SHALL HAVE A FREE AREA OF AT LEAST 5 SF

LOUVERS SHALL HAVE A COMBINED FREE AREA OF

VENTILATION FOR GREEN ROOM:

 $122 \times 0.04 = 4.88$ 

FLOOR AREA: 122 SF

VENTILATION FOR BACKSTAGE STORAGE:

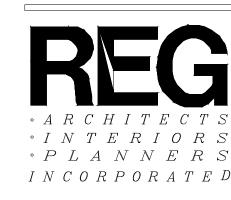
FLOOR AREA: 613 SF

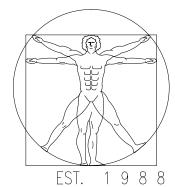
 $613 \times 0.04 = 24.52$ 

AT LEAST 25 SF

- 6. SUBSTITUTIONS:
- A. CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
- B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
- C. PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME.
- D. PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPTION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
- E. CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR.
- 7. AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
- 8. INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

MECHANICAL SHEET INDEX			
SHEET#	DESCRIPTION		
M0.1	MECHANICAL SCHEDULES, GENERAL NOTES & LEGENDS		
M1 1	MECHANICAL PLAN		





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REVISIONS

06-30-1
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RB/FR/
DA/S
1602

PROGRESS SET: 08/22/16



PM: BJ P/N 16028

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MECHANICAL SCHEDULES, LEGENDS NOTES & INDEX

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE

ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE

MADE FOR IS EXECUTED OR NOT. THEY SHALL

NOT BE USED BY THE OWNER OR OTHERS ON

OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT

IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

M0.1

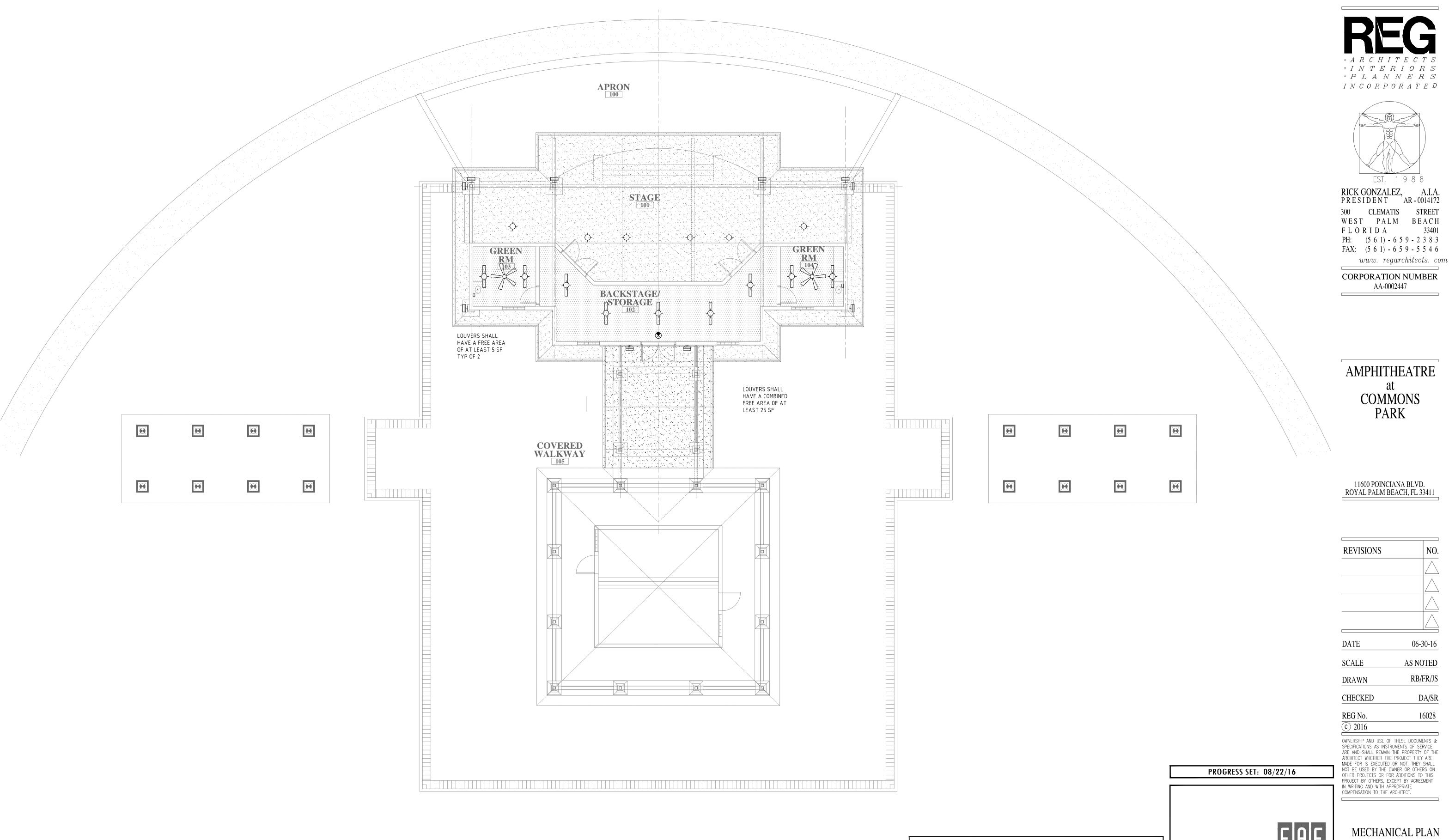
PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED.

THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED.

NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION.

NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.





PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

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700 WEST HILLSBORO BLVD. - BLDG. #1, SUITE 204 DEERFIELD BEACH, FLORIDA 33441 TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107 URSULA IAFRATE, P.E. LICENSE #73122 STEPHEN F. ROLLIN, P.E. LICENSE #36428 DONALD H. AUSTIN, JR., PE LICENSE #60651 JASON BARBER, P.E. LICENSE #73050 E-MAIL: INFO@FAECONSULTING.COM DESIGNED BY: RB/SK/JS PM: BJ P/N 16028 MECHANICAL PLAN

06-30-16

AS NOTED

RB/FR/JS

DA/SR

16028

AA-0002447

#### CONTRACTOR GENERAL CONDITIONS NOTES

- . RFI'S: CONTRACTOR SHALL SUBMIT RFI'S WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
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- 3. SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT
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- B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
- C. PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT
- D. PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPINION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
- E. CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY
- . AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE
- 8. INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

ELECTRICAL SYMBOL LEGEND				
ф	110V RECEPTACLE	Цш	FUSE DISCONNECT	
#	QUAD-PLEX RECEPTACLE		ELECTRICAL CIRCUIT BREAKER	
₩P	WATER PROOF WITH WR TYPE RECEPTACLE	$\boxtimes$	FACTORY INSTALLED DISCONNECT	
₩GFI	GROUND FAULT CIRCUIT INTERRUPTER		ELECTRICAL PANEL	
- <b>⊕</b>	RECEPTACLE MOUNTED ABOVE COUNTER VERIFY MOUNTING HEIGHT WITH		ELECTRICAL METER	
	OWNER/ARCHITECT PRIOR TO ROUGH IN  SPECIAL PURPOSE OUTLET (VERIFY)	$\blacksquare$	LIGHTING CONTROL TIME CLOCK/PANEL	
Φ	FLOOR RECEPTACLE WITH		TELEPHONE BOARD	
<b>(</b>	COVER PLATE, FLUSH WITH FLOOR	\$	SWITCH	
	CEILING RECEPTACLE	\$3	3-WAY SWITCH	
lack lac	FLOOR RECEPTACLE/TELE/FAX/DATA WITH COVER PLATE, FLUSH WITH FLOOR	\$4	4-WAY SWITCH	
	FLOOR TELE/FAX/DATA PORT WITH COVER PLATE, FLUSH WITH FLOOR	\$p	DIMMER SWITCH	
lack	TELE/FAX/DATA PORT **	\$m	MANUAL MOTOR STARTER	
$\bigcirc$	CEILING TELE/FAX/DATA PORT **	•	PUSH BUTTON	
TV	TELEVISION JACK **	CR	SENSOR DOOR OPENER/CARD READER ** BY OTHERS	
<u> </u>	JUNCTION BOX	Α	ALARM BY OTHERS **	
	POWER POLE	IG	ISOLATED GROUND	
IJ <sup>P</sup>	RECESSED JUNCTION BOX FOR SYSTEM FURNITURE POWER	ASW	ABOVE SHOW WINDOW	
T /D		CM	CEILING MOUNTED	
J <sup>T/D</sup>	RECESSED JUNCTION BOX FOR SYSTEM FURNITURE TELEPHONE/DATA	AC	ABOVE COUNTER	
(EF)	EXHAUST FAN	UC	UNDER COUNTER	
① ①	THERMOSTAT	AFF	ABOVE FINISHED FLOOR	
•	REMOTE ALARM TEST STATION	VIF	VERIFY IN FIELD	
		TGB TT	TELEPHONE GROUND BAR	
	SMOKE DUCT DETECTOR	(E)	EXISTING – COORDINATE REPLACING COVER PLATES W/ OWNER/ARCH	
Т	STEP DOWN TRANSFORMER	(5.5)		

\* NOTE: ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT \* \* PROVIDE 1"C WITH PULL WIRE UNLESS OTHERWISE NOTED. STUB UP 6" ABOVE CEILING.

CCP CENTRAL CONTROL PANEL

OF THE PRODUCT DATA SUBMISSION AND INSTALLATION.

FBC FOR LIGHTING AND HVAC SYSTEMS.

SECTIONS, AND STANDARDS.

RESPONSIBILITIES.

RECEPTACLES ARE TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED. SWITCHES ARE TO BE MOUNTED AT 48" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

#### SPECIAL PURPOSE OUTLET NOTES

RELOCATED EXISTING - COORDINATE

REPLACING COVER PLATES W/

OWNER/ARCH

NO SYMBOL **NEW** 

. CONTRACTOR IS CAUTIONED TO OBTAIN COMPLETE EQUIPMENT PRODUCT DATA FROM ARCHITECT, PRIOR TO BIDDING AND ROUGH-IN. 2. CONTRACTOR SHALL PROVIDE NEMA OUTLET TO MEET PROJECT AND EQUIPMENT REQUIREMENTS. CONTRACTOR TO PROVIDE MATCHING NEMA CAP/CORD AS REQUIRED.

#### **UL LISTING AND NRTL CERTIFICATIONS NOTE**

CONTRACTOR/MANUFACTURER SHALL PROVIDE COMPLETE DOCUMENTATION AND CERTIFICATIONS FOR ANY EQUIPMENT THAT HE PROPOSES WITH A NRTL (NATIONALLY RECOGNIZED TESTING LAB) LISTING AND LABELING EQUIVALENT TO THE BASIS OF DESIGN UL LISTING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ACCEPTABILITY BY THE LOCAL AHJ AND AGENCIES FOR THE NRTL LISTING AND CERTIFICATION FOR THE PRODUCTS HE PROPOSES AND DEMONSTRATE SUCH AS PART

FLORIDA BUILDING CODE 2014 CONFORMANCE

CONTRACTOR TO PROVIDE ALL LABOR AND MATERIAL TO CONFORM TO FBC 2014 ENERGY COMPLIANCE, RELATED

OWNER SHALL PROVIDE SERVICES OF AN INDEPENDENT COMMISSIONING AGENT(CxA) TO PREPARE FUNCTIONAL

TEST PROCEDURES (DOCUMENT SYSTEMS PERFORMANCE, WITNESS CONTRACTOR TESTING), AS REQUIRED BY

CONTRACTOR TO PROVIDE COMPLETE CERTIFICATIONS AND CHECKLISTS AS REQUIRED BY FBC FOR HIS WORK

CONTRACTOR SHALL PROVIDE SERVICES TO TEST, BALANCE AND COMMISSION THE SYSTEM VIA AN

INDEPENDENT AGENT FOR THE MECHANICAL SYSTEMS ENERGY PERFORMANCE.

#### **GENERAL ELECTRICAL NOTES**

- DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFIRM WITH OWNERS REPRESENTATIVES. CONTRACTOR SHALL REFER TO THE ENTIRE SET OF CONTRACT DOCUMENTS FOR PROJECT COORDINATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EDITIONS CURRENTLY ADOPTED BY THE LOCAL AUTHORITIES HAVING JURISDICTION OF THE FOLLOWING: THE NATIONAL ELECTRICAL CODE (NFPA 70), NFPA 72, NFPA 75, THE FIRE PREVENTION CODE INCLUDING NFPA 1 & NFPA 101, NFPA 110, AND THE FBC,
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THHN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THWN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THWN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
- THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL BE PROVIDED TO MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
- ALL MATERIALS SHALL BE NEW AND SHALL BEAR U.L. LABELS WHERE APPLICABLE.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR.
- . THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY, TELEPHONE COMPANY, AND BROADBAND PROVIDER.
- CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS, BALANCE LOADS ON EACH PHASE.
- SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.

MUST COMPLY WITH ARTICLE 310 OF THE N.E.C.

- FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY
- . ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS
- ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF
- ALL SYSTEMS AND ROUGH-IN SHALL BE CONCEALED IN FINISHED AREAS. COORDINATE WITH ARCHITECT.
- THE ELECTRICAL PORTION OF THE CONTRACT DOCUMENTS ARE COORDINATED WITH THE BASIS OF DESIGN EQUIPMENT SPECIFIED BY DIVISION 16 AND OTHER DIVISIONS. WHERE THE CONTRACTOR ELECTS TO SUBSTITUTE A PRODUCT IN LIEU OF PROVIDING THE DESIGN BASIS, AND SAID SUBSTITUTION IS ACCEPTED BY THE A/E AND OWNER, THE CONTRACTOR SHALL MAKE ALL CORRECTIONS TO THE ELECTRICAL SYSTEM NECESSARY IN ORDER TO ENSURE A COMPLETE AND OPERATIONAL INSTALLATION OF THE EQUIPMENT AT NO ADDITIONAL COSTS. WHERE THE CONTRACTOR'S DECISION TO SUBSTITUTE PRODUCTS OR MODIFY DESIGN REQUIRING A/E SERVICES, THE A/E RESERVES THE RIGHT TO REQUEST COMPENSATION FROM THE CONTRACTOR FOR SAID SERVICES.
- 21. CONTRACTOR SHALL PROVIDE A CONTROLS TRADE SUBCONTRACTOR TO DESIGN AND INSTALL ALL CONTROLS TO MEET THE PROJECT REQUIREMENTS.

#### AIR CONDITIONING EQUIPMENT AND CONTROLS SPECIFICATION

CONNECTED UNDER THIS SECTION OF THE SPECIFICATION.

- ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONTROL RACEWAY (CONDUIT), WIRE INSTALLATION. CONNECTIONS ETC. IN ACCORDANCE WITH WIRING DIAGRAMS ON AIR EQUIPMENT. A/C / ELECTRICAL PLANS OR DIAGRAMS FURNISHED BY MANUFACTURER OF THE EQUIPMENT. ALL POWER WIRING FOR THE AIR CONDITIONING EQUIPMENT SHALL BE FURNISHED, INSTALLED AND
- MECHANICAL CONTRACTOR SHALL PROVIDE MOTOR STARTERS FOR ALL AIR CONDITIONING EQUIPMENT. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONNECTIONS TO AIR CONDITIONING EQUIPMENT PER
- MANUFACTURERS SPECIFICATIONS AIR CONDITIONING EQUIPMENT INCLUDES CONDENSER, COMPRESSOR AND FAN, FAN COIL UNITS, ELECTRICAL STRIP HEATER, THERMOSTAT, ETC.

#### GENERAL DEMOLITION NOTES

- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN RELOCATING WIRING DEVICES, EQUIPMENT AND LIGHTING FIXTURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT OTHER WIRING DEVICES, EQUIPMENT, AND LIGHTING FIXTURES THAT MAY BE CONNECTED ON THE SAME CIRCUIT REMAIN
- INFORMATION SHOWN ON THESE DOCUMENTS ARE DIAGRAMMATIC IN NATURE. CONTRACTOR TO FIELD
- UPDATE ALL ELECTRICAL PANEL BOARD DIRECTORIES THAT ARE AFFECTED BY THE DEMOLITION AND/OR
- STORE ITEMS INDICATED TO BE RETURNED TO THE OWNER IN A DRY, CLEAN, AND PROTECTED AREA.
- COORDINATE ANY ALTERATION AND CHANGES TO THE ELECTRICAL SERVICE WITH THE LOCAL UTILITY
- PRE SCHEDULE ALL POWER INTERRUPTIONS WITH OWNER. GIVE OWNER 48 HOURS NOTICE PRIOR TO DISCONNECTING POWER TO ANY PORTION OF THE BUILDING AND MAKE ARRANGEMENTS TO MAINTAIN POWER TO ALL CRITICAL EQUIPMENT AS NEEDED AND REQUESTED BY OWNER.
- NEITHER THE OWNER NOR THE A/E MAKES ANY REPRESENTATION WARRANTY AS TO SITE CONDITIONS.
- CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE NATURE AND EXTENT OF THE WORK TO BE PERFORMED AND LOCAL CONDITIONS THAT MAY AFFECT THE WORK.
- DUE TO REMOVAL OR CORRECTION TO ANY WALLS OR OTHER CONSTRUCTION NECESSITATING CAPPING OF EXISTING ELECTRICAL WIRING DEVICES OR ANY OTHER ELECTRICAL EQUIPMENT INCLUDING RECONNECT OF SUCH EXISTING ITEMS IS CONSIDERED TO BE PART OF THE WORK UNDER THIS CONTRACT. ALL EXISTING OUTLETS SHOWN TO REMAIN WILL REMAIN ACTIVE. THE REWIRING SHALL BE INCLUDED UNDER THIS CONTRACT WITHOUT ADDITIONAL COST TO OWNER.
- 10. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES: NATIONAL ELECTRICAL CODE (NEC) NATIONAL FIRE PROTECTION AGENCY (NFPA)

FLORIDA BUILDING CODE

- WHERE CONDUIT IS INACCESSIBLE, REMOVE CONDUCTORS AND CUT BACK CONDUIT FLUSH WITH SLAB OR WALL. PATCH OPENING TO MATCH EXISTING FINISH. WHERE EXISTING WIRING EXTENDS OUTSIDE OF THE AREA BY NATURE OF THE ORIGINAL INSTALLATION, CONTRACTOR SHALL MODIFY EXISTING WIRING AS REQUIRED TO MAINTAIN CONTINUITY OF EXISTING CIRCUITRY SUCH THAT NO EQUIPMENT TO REMAIN IS LEFT WITHOUT SERVICE.
- THE CONTRACTOR IS TO GIVE THE OWNER AN OPPORTUNITY TO ACCEPT ANY ELECTRICAL ITEMS THAT TO KEEP SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.
- B. CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTING WHERE REQUIRED DURING DEMOLITION AND CONSTRUCTION SCOPE OF WORK.
- 4. THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE TAKEN FROM ORIGINAL DRAWINGS PROVIDED BY THE OWNER AND FIELD INVESTIGATION. THE ACTUAL CONDITIONS MAY VARY, ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. THE CONDITIONS SHOWN ARE INTENDED TO SHOW THE LOCATIONS OF THE EXISTING EQUIPMENT, AND IN NO WAY RELIEVES THE CONTRACTOR FROM PROVIDING ANY AND ALL COORDINATION REQUIRED TO COMPLETE THE NEW WORK. FIELD CONDITIONS
- . THE DEMOLITION PLAN IS NOT INCLUSIVE OF ALL ELECTRICAL DEVICES WITHIN THE PROJECT AREA. IT IS INTENDED TO PROVIDE THE CONTRACTOR WITH A GENERAL KNOWLEDGE OF THE EXISTING CONDITIONS WITHIN THE PROJECT AREA. ANY DISCREPANCIES OR CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED
- ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONDUITS, NEW OR EXISTING WITHIN THE PROJECT AREA ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN
- 17. THE CONTRACTOR SHALL PHASE DEMOLITION WORK AS REQUIRED OR DIRECTED BY THE OWNER.
- 19. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND SHALL BE

#### **VOLTAGE DROP NOTE**

THE CONTRACTOR, AS PART OF HIS PRICING AND BIDDING, SHALL INCLUDE ALL LABOR, MATERIAL, EQUIPMENT AND TERMINATIONS, INCLUDING FPL AND UTILITY REQUIREMENTS AND APPROVALS FOR ALL CONDUCTORING AND TERMINATIONS, TO SATISFY THE PROJECT REQUIREMENTS. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND INCLUDE ALL HIS BRANCH CIRCUIT, FEEDER, AND SERVICE CONDUCTOR CONDUITING AND WIRING LENGTHS AND ROUTING BASED ON HIS PROPOSED INSTALLATION MEANS AND METHODS. WIRING LENGTHS, SHOWN AS THE BASIS OF DESIGN LENGTHS, ARE MERELY AN APPROXIMATION BY THE CONSULTANT. THE CONTRACTOR SHALL USE THOSE BASIS OF DESIGN CONDUCTOR LENGTHS AND WIRING SIZES AS THE, MINIMUM, NOT LIMITED TO REQUIREMENTS FOR THE PROJECT BIDDING. THE CONTRACTOR, PRIOR TO BIDDING, SHALL CONFIRM ALL HIS PROPOSED LENGTHS, MAKE ANY AND ALL ADJUSTMENTS AS MAY IMPACT THE ELECTRICAL SYSTEMS AND EQUIPMENT FOR CODE COMPLIANCE AND CONSTRUCTABILITY, AND DOCUMENT ALL PROPOSED CHANGES AND ADJUSTMENTS TO THE ARCHITECT AS PART OF HIS BID RESPONSE. THE CONTRACTOR SHALL SUBMIT COMPLETE SCALED PROPOSED ROUTINGS FOR SERVICES AND FEEDERS, QUANTITIES AND CONDUCTORING, SECTIONS THRU BUILDING FOR RACKING, DUCTBANK CROSS SECTIONS FOR CLEARANCES AND COORDINATED AS FREE OF ALL INTERFERENCES, ETC. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION TO THE ARCHITECT FOR REVIEW NO LATER THAN 3 WEEKS AFTER NOTICE TO PROCEED.

- VERIFY ELECTRICAL CIRCUIT HOME RUNS TO ALL ELECTRICAL ITEMS SCHEDULED FOR DEMOLITION AND PERFORM THE WORK AS INTENDED AND DEPICTED ON THE DRAWINGS.
- RENOVATIONS. DIRECTORIES SHALL BE TYPED.
- NOTIFY OWNER WHEN ITEMS ARE READY TO BE REMOVED.
- CONTRACTOR IS RESPONSIBLE OF BECOMING FULLY INFORMED AS TO EXISTING CONDITIONS AT THE SITE

- WERE REMOVED FOR THEIR USE. SALVAGED MATERIALS, AND EQUIPMENT THE OWNER DOES NOT WISH
- DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR PATCHING ANY DAMAGE WHICH MAY OCCUR DURING DEMOLITION ACTIVITIES. REPAIRS TO BE DONE TO LOGICAL EDGES OF SURFACES AFFECTED, AND SHALL MATCH IMMEDIATE ADJACENT AREAS IN CONSTRUCTION, MATERIAL, FIRE RATING, FINISH AND COLOR.
- COORDINATED WITH OTHER TRADES.

#### LIGHTING NOTES

ELECTRICAL CONTRACTOR TO VERIFY IF ANY LIGHTING FIXTURES REQUIRE STEP-DOWN TRANSFORMERS. QUANTITY AND LOCATION OF THE TRANSFORMERS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONSULT ARCHITECT FOR LOCATIONS PRIOR TO BIDDING, PROVIDE ALL TRANSFORMERS AND INCLUDE IN BID.

CONTRACTOR TO COORDINATE VARIOUS TRADES TO AVOID ABOVE CEILING CONFLICTS.

2. ALL LIGHTING FIXTURES AND FANS TO BE SELECTED & LOCATED BY OWNER /ARCHITECT/INTERIOR DESIGNER. UNLESS OTHERWISE NOTED.

3. ARCHITECT TO SET MOUNTING HEIGHTS FOR ALL FIXTURES WHERE APPLICABLE, UNLESS OTHERWISE NOTED.

4. CONTRACTOR TO PROVIDE LUMINAIRES TO CONFORM TO ENERGY CODE, THERMAL ENVELOPE RATINGS.

#### **EQUIPMENT/FEEDER REMOVAL NOTES**

SALVAGED MATERIALS, EQUIPMENT, AND FEEDERS SHALL BE DELIVERED TO THE OWNER AT HIS PROPERTY AND STORED WITHIN THE BUILDING WHERE DIRECTED. ANY REMOVED MATERIALS OR EQUIPMENT WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.

#### **SCOPE OF WORK**

THE PROJECT CONSISTS OF A AMPHITHEATRE IMPROVEMENT WITHIN AN EXISTING SITE. UPGRADING ELECTRICAL SYSTEMS - POWER, LIGHTING, SIGNAL.

#### PROGRESS SET: 08/22/16

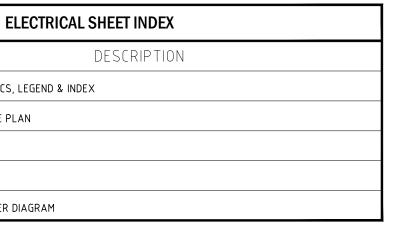
DONALD H. AUSTIN, JR., PE LICENSE #60651

JASON BARBER, P.E. LICENSE #73050



PM: BJ P/N 16028

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DEERFIELD BEACH, FLORIDA 33441 TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107 URSULA IAFRATE, P.E. LICENSE #73122 STEPHEN F. ROLLIN, P.E. LICENSE #36428 E-MAIL: INFO@FAECONSULTING.COM DESIGNED BY: RB/SK/JS



ELECTRICAL SPECS, LEGEND & INDEX

ELECTRICAL SITE PLAN

ELECTRICAL RISER DIAGRAM

FBC NOTE

I. CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.1). PROVIDE OWNER WITH A RECORD SET DRAWING OF COMPLETE

**LOW VOLTAGE NOTES** 

PROVIDE A STRUCTURED CABLING SYSTEM (SCS) FOR THE TV/CABLE/TELEPHONE DROPS, COORDINATE DESIGN, TYPE

FIRE RATING NOTE

ALL DEVICES PENETRATING FIRE RATED WALLS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLIES.

**COORDINATION NOTES** 

CONTRACTOR TO COORDINATE ALL FINAL LOCATIONS, ANY TYPES OF ALL DEVICES, AND EQUIPMENT WITH ARCHITECT

OF CABLE, AND FINAL LOCATIONS WITH OWNER/ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR TO

DESIGN/BUILD AND COMPLY WITH NEC AND EIA/TIA STANDARDS

(EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS)

2. CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.2). PROVIDE OWNER WITH OPERATIONAL MANUALS AND

POWER PLAN

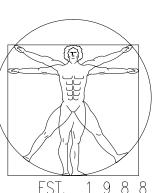
INSTALLATION DRAWINGS.

MAINTENANCE MANUALS.

PRIOR TO BID AND ROUGH-IN.

LIGHTING PLAN

# $\circ$ P L A N N E RI N C O R P O R A T E



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**CORPORATION NUMBER** 

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 3341

REVISIONS DATE 06-30-16

AS NOTED

RB/FR/JS

DA/SR

DRAWN CHECKED

**SCALE** 

REG No.

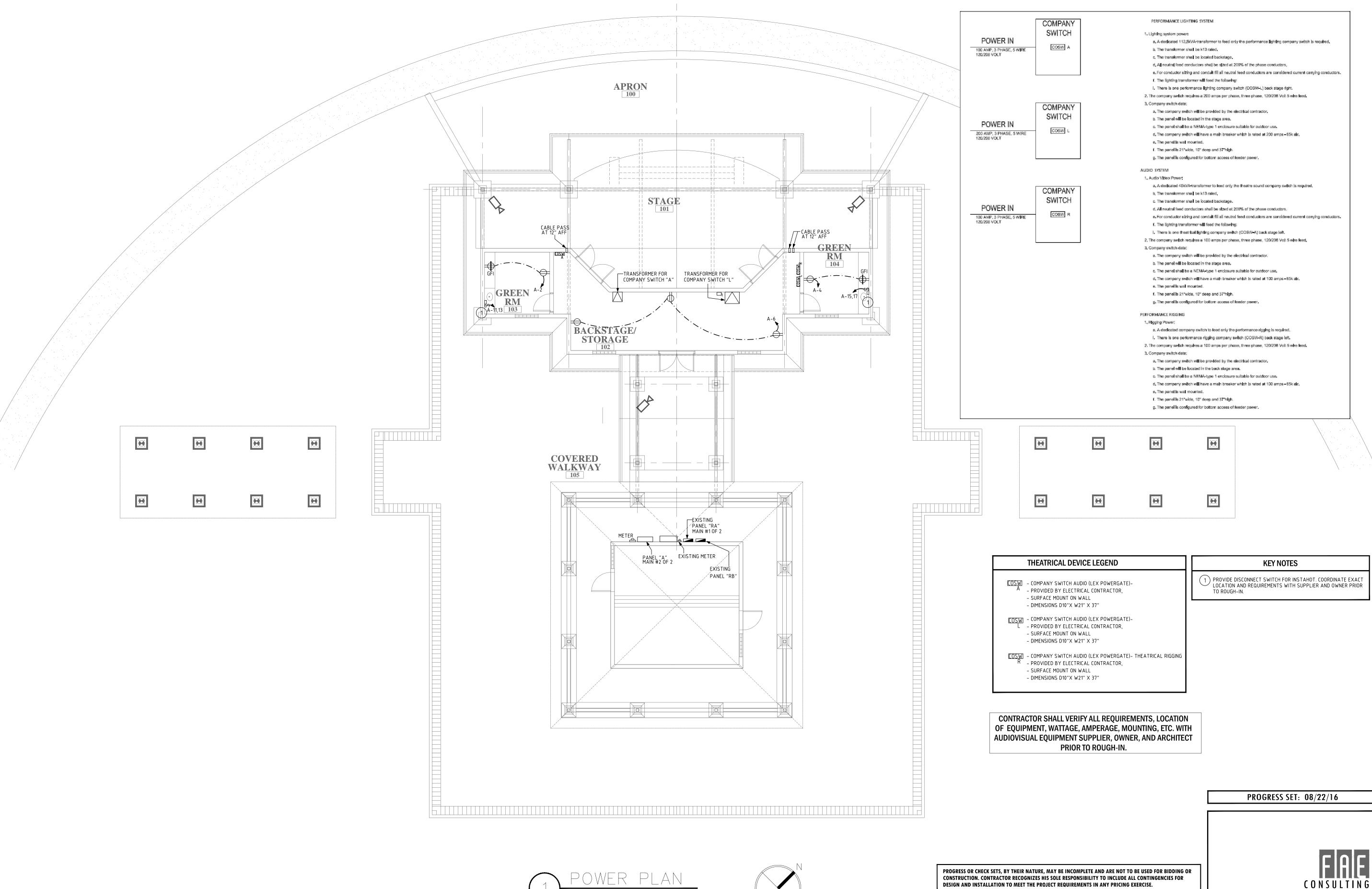
(c) 2016 OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON

OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT

IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT

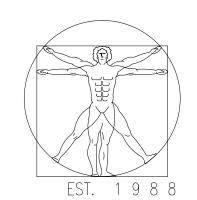
PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.



 $\cdot$  P L A N N E R S

 $I\ N\ C\ O\ R\ P\ O\ R\ A\ T\ E\ D$ 



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**REVISIONS** 

06-30-16 DATE **SCALE** AS NOTED RB/FR/JS DRAWN

DA/SR CHECKED REG No. 16028 (c) 2016

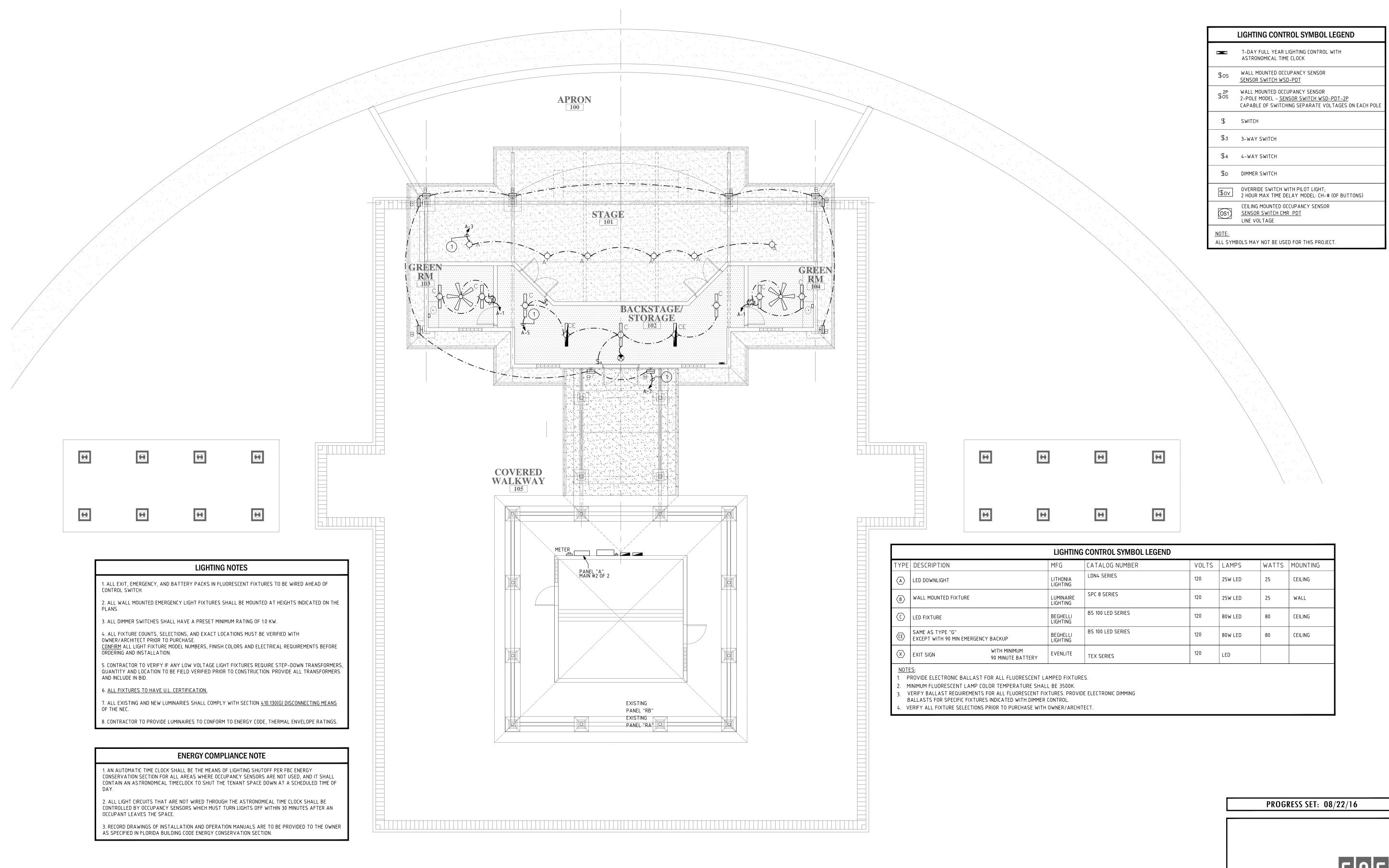
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

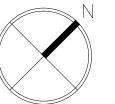
POWER PLAN

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

700 WEST HILLSBORO BLVD. - BLDG. #1, SUITE 204 DEERFIELD BEACH, FLORIDA 33441 TEL: (561) 391-9292 FAX: (561) 391-9898

CERTIFICATE OF AUTHORIZATION NO. 28107 URSULA IAFRATE, P.E. LICENSE #73122 STEPHEN F. ROLLIN, P.E. LICENSE #36428 DONALD H. AUSTIN, JR., PE LICENSE #60651 JASON BARBER, P.E. LICENSE #73050 E-MAIL: INFO@FAECONSULTING.COM DESIGNED BY: RB/SK/JS PM: BJ P/N 16028





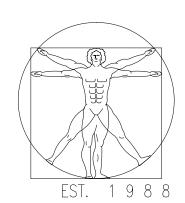
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PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

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 $\circ$  P L A N N E R SI N C O R P O R A T E D



RICK GONZALEZ, A.I.A. PRESIDENT AR - 0014172 CLEMATIS STREET WEST PALM BEACH FLORIDA PH: (5 6 1) - 6 5 9 - 2 3 8 3 FAX: (5 6 1) - 6 5 9 - 5 5 4 6

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AA-0002447

AMPHITHEATRE at COMMONS PARK

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411

**REVISIONS** 06-30-16 AS NOTED RB/FR/JS DRAWN DA/SR CHECKED REG No. (c) 2016

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

LIGHTING PLAN

2. ALL ELECTRICAL EQUIPMENT AND WIRE SHALL BE RATED @  $75^{\circ}$ C CONTINUOUS DUTY.

c) NOTIFY THE ENGINEER OF ANY CHANGES REQUIRED TO COMPLETE NEW CONSTRUCTION.

3. PRIOR TO CONSTRUCTION, THE ELECTRICAL CONTRACTOR SHALL: a) VERIFY ALL EXISTING CONDITIONS IN FIELD b) COORDINATE THE ELECTRICAL SERVICE WITH FP&L REPRESENTATIVE

4. ALL ELECTRICAL EQUIPMENT SHALL BE FIELD MARKED TO WARN OF POTENTIAL ELECTRICAL ARC FLASH HAZARDS. THE MARKING SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE BEFORE ANY EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE OF THE EQUIPMENT.

5. EACH DISCONNECT SHALL BE LEGIBLY MARKED TO INDICATE THE UNIT IT IS FEEDING. THE MARKING SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.

#### ALUMINUM NOTES(OWNER/CONTRACTOR BID OPTION)

1. ALL EQUIPMENT USED WITH ALUMINUM CONDUCTORS MUST BE LISTED FOR THE PURPOSE.

2. ALL ALUMINUM CONDUCTORS SHALL BE TERMINATED WITH HARDWARE AND COMPRESSION LUGS APPROVED FOR THE PURPOSE.

3. ALL COMPRESSION LUGS SHALL BE CHECKED 3, 6, & 11 MONTHS AFTER C.O. AND EVERY THREE YEARS THEREAFTER. BUILDING OWNER SHALL HAVE A MAINTENANCE CONTRACT WITH ELECTRICAL CONTRACTOR OF CHOICE. CONTRACTOR SHALL DOCUMENT ALL MEASUREMENTS AND VERIFICATION IN TABULAR FORM. PROVIDE CORRECTIVE RECOMMENDATIONS, ACTIONS TAKEN, AND TESTING EQUIPMENT UTILIZED.

4. THE ELECTRICAL CONTRACTOR MUST TORQUE ALL ALUMINUM TERMINATIONS IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.

5. PRIOR TO TERMINATING ALUMINUM CONDUCTORS, THE CONTRACTOR MUST CLEAN WIRE THOROUGHLY WITH

WIRE BRUSH AND APPLY AN ANTI-OXIDANT COMPOUND. 6. ALL BRANCH CIRCUITS FROM PANELS MUST BE COPPER.

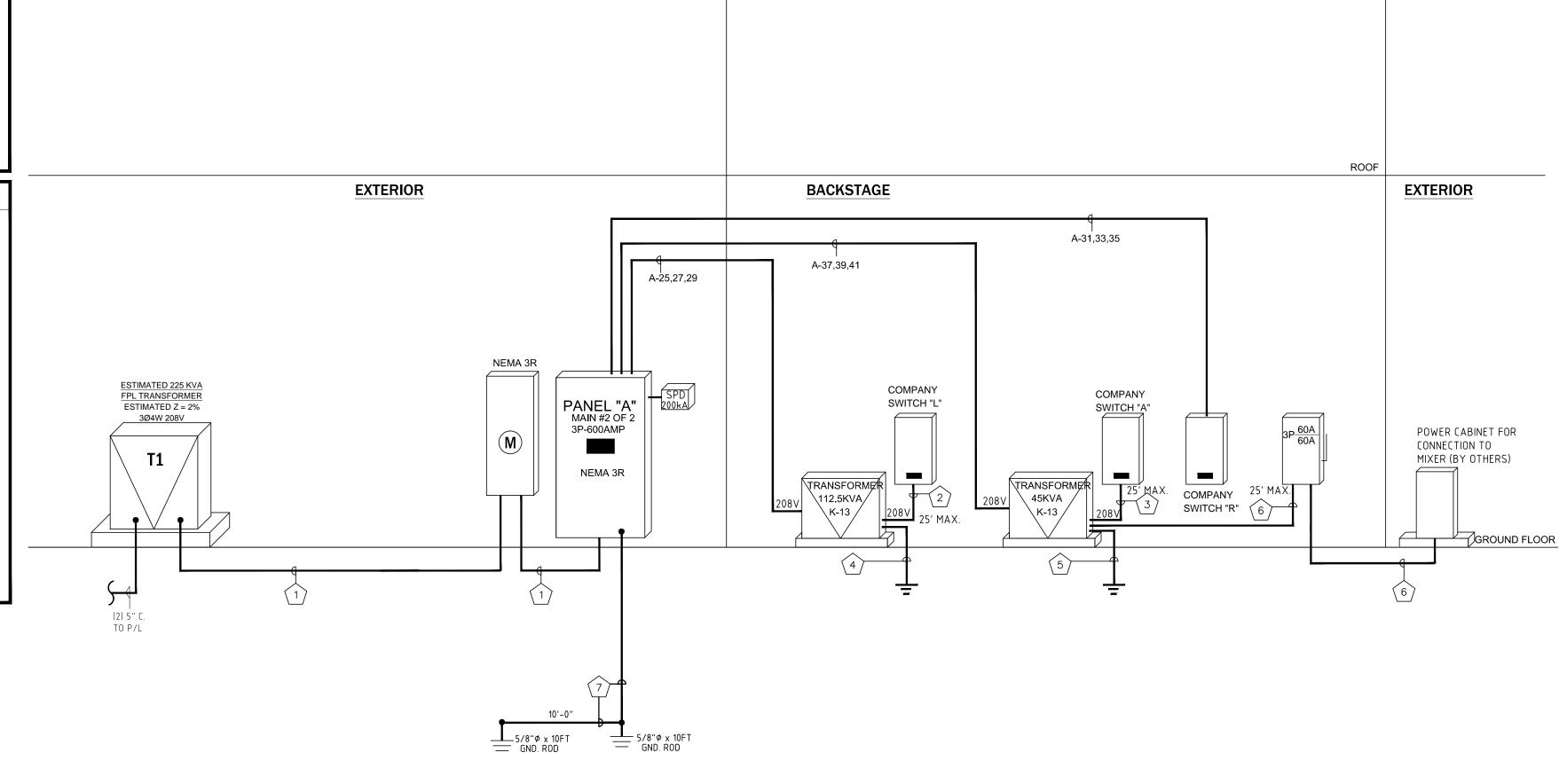
7. ALL GROUNDING SHALL BE COPPER.

8. UL LISTED LUGS SHALL BE RATED FOR 90°C WHERE ALUMINUM WIRE IS USED.

9. THE ELECTRICAL CONTRACTOR SHALL PERFORM MEGGER TEST ON ALL ALUMINUM FEEDERS AND PROVIDE RESULTS TO ENGINEER.

10. PIN CONNECTORS ARE NOT ACCEPTABLE FOR USE.

11. ALL ALUMINUM FEEDERS SHALL BE: ALUMA FLEX COMPACT STRANDED THWN-2.



NOT TO RISER PROPOSED ELECTRICAL RISER DIAGRAM SCALE NO.1

_			D' OR EQUAL				_	YPE	I-LINE		12	_			PANEL RATING	600	AMP	<u>'S</u>
_`	VOLTS	120/208V	304W				<u>_</u> F	PANEL	"A"									
	BUS KVA	C	LOAD	COND.	WIRE SIZE	GND	AMPS	CKT.	BUS	СКТ.	AMPS	GND	WIRE SIZE	COND.	LOAD		BUS KV/	
A	В		LIGHTING – GREEN ROOMS	1/2"	#12	ш10	20	1	1		20	#12	#12	1/2"	DECEDT CDEEN DM	A	В	С
0.5	0.0		LIGHTING - GREEN ROOMS	1/2"	#12	#12 #12	20 20	3		2	20	#12	#12	1/2"	RECEPT. – GREEN RM RECEPT. – GREEN RM	0.6	0.0	
	0.8	•		1/2"						4							0.6	0.6
		0.6	LIGHTING - BACKSTAGE		#12	#12	20	5		6	20	#12	#12	1/2"	RECEPT BACKSTAGE RM			0.6
0.6			LIGHTING - EXTERIOR	1/2"	#12	#12	20	7		8	20	-	-	-	SPARE	-		
	0.4		LIGHTING - RESTROOM LTS	1"	#8	#8	20	9		10	20	-	-	-	SPARE		-	
		1.8	INSTAHOT	3/4"	#10	#10	25	11	111	12	20	-	-	-	SPARE			-
1.8							/2	13	$\uparrow$	14	20	-	-	-	SPARE	-		
	1.8		INSTAHOT	3/4"	#10	#10	25/	15		16	-	-	-	-	SPACE		-	
		1.8					/2	17	1 1	18	-	-	-	-	SPACE			-
-			SPACE	-	-	-	-	19	<del>†</del>	20	-	-	-	-	SPACE	-		
	-		SPACE	-	-	-	-	21	<del>-   †  </del>	22	-	-	-	-	SPACE		-	
		-	SPACE	-	-	-	-	23	+++	24	-	-	-	-	SPACE			-
19.2			TRANSFORMER	2-1/2"	#3	#6	200/	25	+	26	100 /	-	-	-	SPARE	5.9		
	19.2		COMPANY SWITCH (LTG)					27	<del>-                                     </del>	28	] /						5.4	
		19.2					/3	29	+	30	/ 3							3.6
9.6			COMPANY SWITCH	1-1/4"	#3	#8	100 /	31	+	32	100 /	-	-	-	SPARE	5.9		
	9.6		Corn / mr o miren				/	33	-   -	34	1 /						5.4	
		9.6					<b>/</b> 3	35	-	36	/3							3.6
9.6			TRANSFORMER	1-1/4"	#3	#8	100	37	+	38	3/	(3)	(3)	(3)	SPD	-		
	9.6		COMPANY SWITCH (AUDIO)				/	39	$\rightarrow$	40	1 9						-	
	7,72	9.6					/3	41		42	/3							-
KVA ØA 53.7  KVA ØB 52.8  KVA ØC 50.4  AMP ØA 447.5  AMP ØB 440.0  AMP ØC 420  ELECTRICAL CONTRACTOR SHALL PROVIDE AN ACCURATE PER FIELD CONDITIONS, TYPED UP PANEL SCHEDULE UPON COMPLETION OF THE PROJECT.  2. VERIFY ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PRIOR TO CONSTRUCTION; ALL EQUIPMENT'S ELECTRICAL REQUIREMENTS SHALL BE CONFIRMED WITH MFG SPECS. VERIFY VOLTAGE, AMPERAGE, AND BREAKER SIZES.  3. PER MANUFACTURER RECOMMENDATIONS																		
*:	SEE RISE	R DIAG	RAM FOR INFO											MC	DUNT SURFACE MIN. A.I.C	<u>C.</u> 22,000	) AMPS	

## FEEDER SIZE KEY NOTES

- 2 SETS OF 4#350MCM THWN CU IN 3" CONDUIT (BASED ON 156 FEET DISTANCE 2% MAX VOLTAGE DROP) CONTRACTOR TO VERIFY DISTANCE IN FIELD AND UPGRADE FEEDER IF REQUIRED.
- 2 ) 3#3/0 PH, 2#3/0 NU, 1#2 EG, THWN CU IN 2-1/2" CONDUIT
- (3) 3#3 PH, 2#3 NU, 1#6 EG, THWN CU IN 1-1/2" CONDUIT 1 # 1/0 CU GROUNDING CONDUCTOR IN 3/4" SCHEDULE 40 PVC CONDUIT TO NEAREST EFFECTIVELY GROUNDED BUILDING STRUCTURAL STEEL MEMBER.
- 5 1 # 6 CU GROUNDING CONDUCTOR IN 3/4" SCHEDULE 40 PVC CONDUIT TO NEAREST EFFECTIVELY GROUNDED BUILDING STRUCTURAL STEEL MEMBER.
- 6 (4#4 & 1# 6 GND THWN CU IN 2" CONDUIT (BASED ON 120 FEET DISTANCE 2% MAX VOLTAGE DROP) CONTRACTOR TO VERIFY DISTANCE IN FIELD AND UPGRADE FEEDER IF REQUIRED.

7 ) 1#2/0 CU GND.

Fault SCA Source = TA Primary Infinite SCA Available = Infinite Length Units = Feet Motor Load = None Motor SCA = None Motor SCA Treatment = Motor SCA Not Included System Voltage = 208 System Phase = 3 Phase Transformers Name PH Size Pri.V Sec.V %Z SCA,3PH 3-PH 225 208 2 31,228 Name Cond Cable Size Qty Feet SCA,3PH SVS PVC, ABS 3/c,CU 350 2 156 17,211 Source: EDR, Electrical Designer's Reference

Software Version: 8.2 (Build 2012). Based on the 2011 NEC®.

Calculation of Fault Current

AC Calculation for Wire Length Voltage: 208 Load: 500 Amperes Load Circuit: 3-PH, 4-W, Wye Power Factor: 0.9 Insulation Temp: 75°C/167°F Conductor: Copper Conductors per Phase: 2 Conduit: PVC/ABS Voltage Drop: 2 % Conductor Gauge: 350 Results: Cable Length: 185.56 Feet Source: EDR, Electrical Designer's Reference Software Version: 8.2 (Build 2012). Based on the 2011 NEC⊗. Copyright • 2000–2007 C+E Electronic Publishing, Inc. All Rights Reserved.

PROGRESS SET: 08/22/16

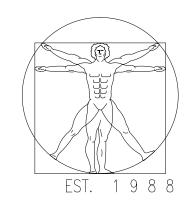


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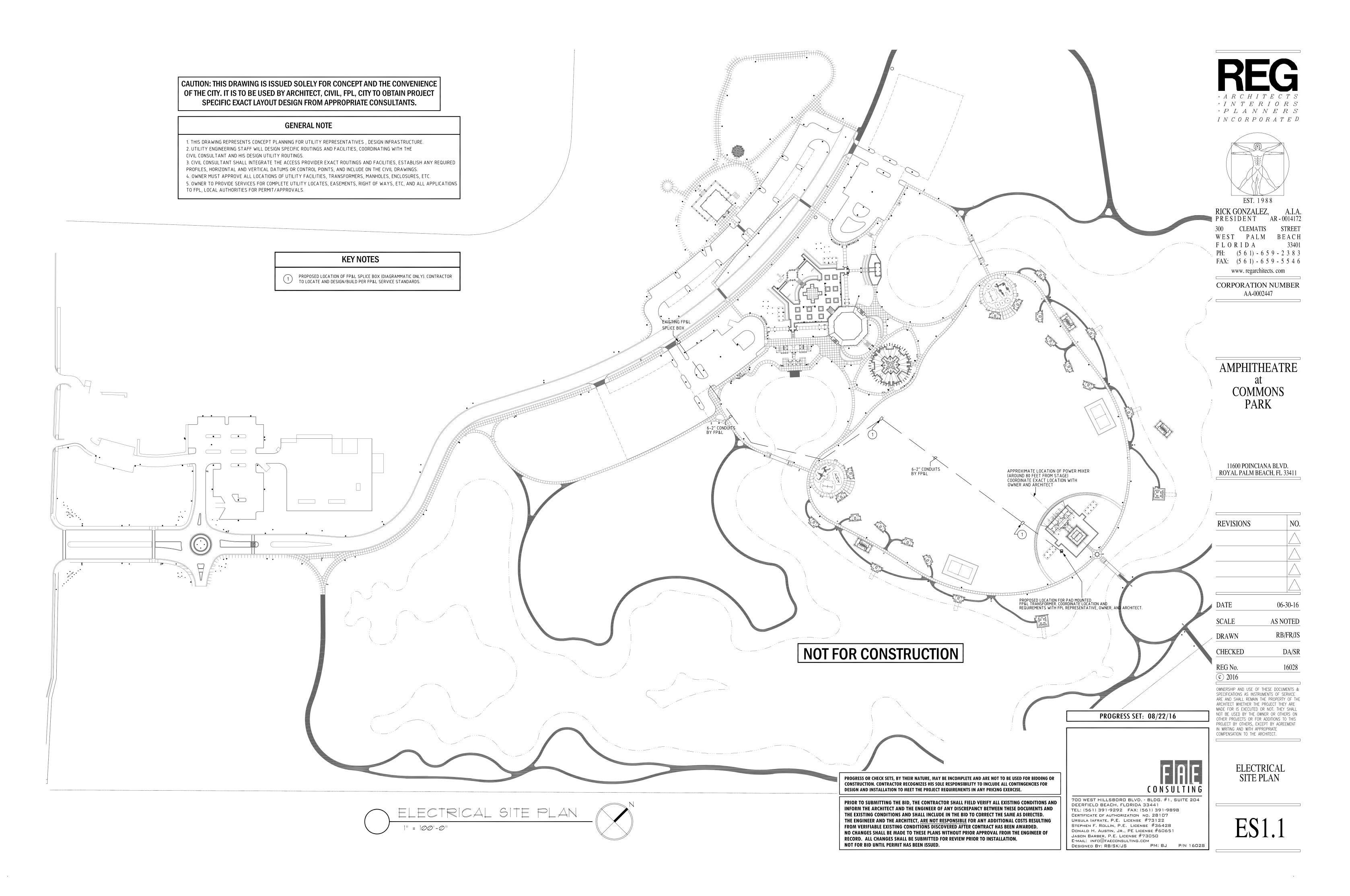
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> **ELECTRICAL** RISER DIAGRAM



#### **CONTRACTOR GENERAL CONDITIONS NOTES**

- RFI'S: CONTRACTOR SHALL SUBMIT RFI'S WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
- 2. SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- 3. SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- 4. LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS. PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
- 5. DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.

#### 6. SUBSTITUTIONS:

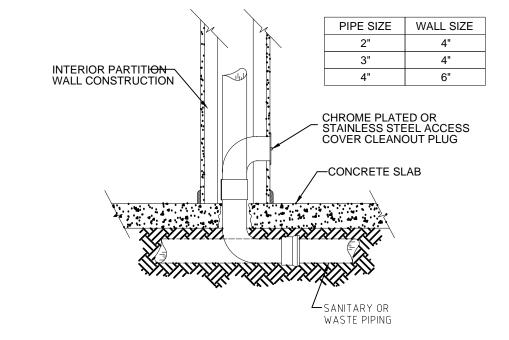
- A. CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
- B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
- C.PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME.
- D.PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPTION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
- E. CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR.
- 7. AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
- 8. INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

#### SCOPE OF WORK

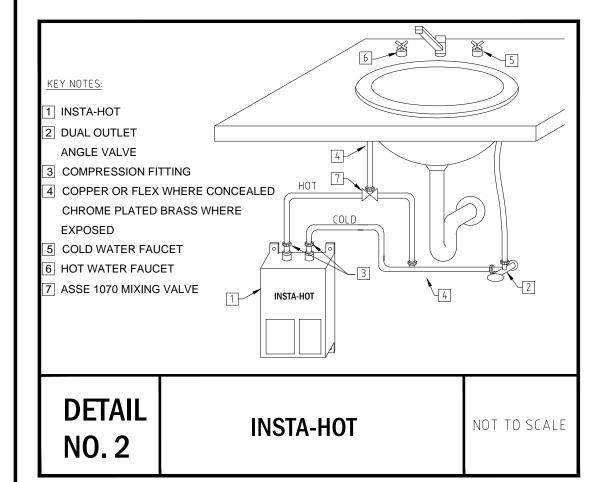
THIS PROJECT IS RENOVATION OF EXISTING AMPHITHEATER FOR TWO NEW SINKS. PLUMBING WORK INCLUDES SANITARY AND WATER DESIGN.

#### PLUMBING SPECIFICATIONS

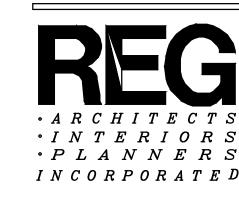
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE DISTRICT MASTER SPECIFICATIONS (DMS) AND THE FLORIDA BUILDING CODE 2014, FIFTH EDITION OF THE PLUMBING SECTION AND TO COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
- ALL WORKMANSHIP & MATERIALS TO BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
- 2. CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- 3. ALL MATERIALS TO BE NEW.
- 4. ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORK MAN LIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
- ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
- 7. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
- 8. EXISTING PIPE SIZES TO BE VERIFIED BY THE PLUMBER AND UPGRADED IF NOT LARGE ENOUGH TO ACCOMMODATE
- 9. ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION
- 10. THE CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
- 11. DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
- 12. DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
- 13. VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE CONTRACTOR.
- 14. INSTALL SIOUX CHIEF 650 SERIES WATER HAMMER ARRESTORS IN PIPING TO QUICK-CLOSING VALVES AS DEFINED IN FLORIDA PLUMBING CODE.
- 15. PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
- 16. ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
- 17. CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO EQUIPMENT AND ACCESSORIES ARE MADE.
- 18. SANITARY PIPE 2 1/2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 3" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
- 19. WHERE SOIL CONDITIONS REQUIRE THE USE OF PIER OR PILING SUPPORTED GRADE BEAM CONSTRUCTION OR IN FILLED GROUND WHERE THE SOIL COMPACTION IS LESS THAT 95% THE SANITARY PIPING TO BE INSTALLED BY TRENCHING INTO THE FILL, AND THEN PUTTING HANGERS WITH SUPPORT RODS ON THE PIPES AS THEY ARE INSTALLED. THE HANGER RODS EXTENDING UPWARD TO BE EMBEDDED IN AND ANCHORED IN THE CONCRETE PER ASTM F2536-06B AND UNDERGROUND PIPE TO CONFORM TO ASTM STANDARD D2665.
- 20. DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT.
- 21. WATER PIPING TO BE TYPE "L" COPPER ABOVE AND TYPE "K" COPPER BELOW GRADE.
- 22. SOIL, WASTE, VENT AND STORM PIPING TO BE PVC SCHEDULE #40 DWV CONFORMING TO ASTM D2665 FOR UNDERGROUND AND AS PER FLORIDA BUILDING CODE PLUMBING 2014 TABLE 70.2 & 702.3. CAST IRON SHALL BE USED IN COMMON PLENUM AREAS.
- 23. RAINWATER/STORMWATER TO BE SCHEDULE #40 DWV, INSULATE WITH ARMAFLEX INSULATION WHEN IN COMMON PLENLIM
- 24. HOT WATER, TEMPERED WATER AND HOT WATER RETURN PIPES TO BE INSULATED WITH ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER 2014 FBC PLUMBING 607.2.1.
- 25. THE DISCHARGE WATER TEMPERATURE FROM LAVATORIES, BIDETS & GROUP WASH FIXTURES LOCATED IN PUBLIC TOILET FACILITIES PROVIDED FOR CUSTOMERS, PATRONS AND VISITORS SHALL BE LIMITED TO A MAXIMUM TEMPERATURE OF 110°F (43°C) BY A WATER TEMPERATURE LIMITING DEVISE CONFORMING TO ASSE 1070 OR CSA
- 26. WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
- 27. ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/ OR FLOORS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLY. (EQUAL TO WALL FIRE RATING SEE ARCHITECTURAL DRAWINGS).
- 28. HOT WATER EXPANSION LOOPS SHALL BE INSTALLED AS REQUIRED TO PARTLY ABSORB TENSION OR COMPRESSION PRODUCED DURING ANTICIPATED CHANGE IN TEMPERATURE. INSTALL EXPANSION JOINTS OF SIZES OF PIPING IN WHICH THEY ARE INSTALLED. INSTALL ALIGNMENT GUIDES TO GUIDE EXPANSION AND TO AVOID LOADING STRESS.
- 29. NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
- 30. WHERE CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.
- 31. CONDENSATE LINES TO BE COPPER/PVC DEPENDING ON PROJECT REQUIREMENTS. INSULATE WITH ARMAFLEX INSULATION
- 32. FLUSH OUT EXISTING WATER PIPING, STERILIZE THE NEW WATER PIPING LINES BY INTRODUCING IN THEM A SOLUTION OF CALCIUM HYPOCHOLORITE OR CHLORIDE OF LIME. OPEN AND CLOSE ALL NEW VALVES WHILE SYSTEM IS BEING CHLORINATED. AFTER THE STERILIZING AGENT HAS BEEN APPLIED FOR 24 HOURS, TEST FOR RESIDUAL CHLORINE AT THE ENDS OF LINES. IF LESS THAN 10 PARTS PER MILLION IS INDICATED, REPEAT THE PROCESS. WHEN TESTS SHOW AT LEAST 10 PARTS PER MILLION OF RESIDUAL CHLORINE, FLUSH OUT THE SYSTEM UNTIL ALL TRACES OF THE CHEMICAL USED ARE REMOVED. MAKE NECESSARY CONNECTIONS TO STERILIZE PIPING.
- 33. AFTER STERILIZATION HAS BEEN ACCOMPLISHED INITIATE A BACTERIOLOGICAL TEST PERFORMED BY AN APPROVED TESTING LABORATORY. WATER SHALL BE DRAWN FROM THE SYSTEM AT A POINT FURTHEST FROM THE WATER ENTRANCE TO THE BUILDING. A CERTIFIED TEST REPORT OF THESE TESTS RESULTS INDICATING SATISFACTORY COLIFORM COUNT, COLOR AND CHLORINE RESIDUAL SHALL BE PRESENTED TO THE ARCHITECT AND OWNER WHEN THE WATER SUPPLY PIPING SYSTEM IS SUBSTANTIALLY COMPLETED DURING CONSTRUCTION. ANOTHER SIMILAR TEST SHALL BE PERFORMED AT THE TIME OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY WITH ANOTHER CERTIFIED TEST REPORT PRESENTED TO THE ARCHITECT AND OWNER AT THAT TIME.
- 4. FEDERAL LAW MANDATES AS OF JANUARY 4, 2014 THE WETTED SURFACE OF EVERY PIPE, FIXTURE AND FITTING INSTALLED IN POTABLE WATER APPLICATIONS SHALL NOT CONTAIN MORE THAN 0.25% LEAD BY WEIGHT. SOLDER AND FLUX SHALL NOT CONTAIN MORE THAN 0.2% LEAD. NON-COMPLIANCE MAY RESULT IN FINES, INSTALLED PRODUCT REMOVAL COSTS, LAWSUITS BY PRIVATE PARTIES OR GOVERNMENT AGENCY.
- 35. CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- 36. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
- 37. CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.

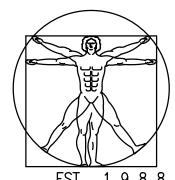


DETAIL NO.1 WALL CLEAN-OUT NOT TO SCALE



PLUMBING SHEET INDEX						
SHEET#	DESCRIPTION					
P0.1	PLUMBING NOTES, DETAILS, & SPECS.					
P1.1	RESTROOM PLUMBING PLAN & RISER DIAGRAMS					





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CORPORATION NUMBER

MPHITHEATRE at COMMONS PARK

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411

REVISIONS		NO.
		$\triangle$
		$\triangle$
		$\triangle$
DATE	06-3	30-16
SCALE	AS NO	TED
DRAWN	RB/I	FR/JS
CHECKED	D	A/SR
REG No.	1	6028
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PROGRESS SET: 08/22/16



700 WEST HILLSBORD BLVD. - BLDG. #1, SUITE 204 PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DEERFIELD BEACH, FLORIDA 33441 INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND TEL: (561) 391-9292 FAX: (561) 391-9898 THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. CERTIFICATE OF AUTHORIZATION NO. 28107 THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING URSULA JAFRATE, P.E. LICENSE #73122 STEPHEN F. ROLLIN, P.E. LICENSE #36428 FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. DONALD H. AUSTIN, JR., PE LICENSE #60651 NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF JASON BARBER, P.E. LICENSE #73050 RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. E-MAIL: INFO@FAECONSULTING.COM NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED. DESIGNED BY: RB/SK/JS PM: BJ P/N 16028

PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR

DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

AMPHITHEATRE SCHEDULES & SPEC

OWNERSHIP AND USE OF THESE DOCUMENTS &

ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE

SPECIFICATIONS AS INSTRUMENTS OF SERVICE

MADE FOR IS EXECUTED OR NOT. THEY SHALL

NOT BE USED BY THE OWNER OR OTHERS ON

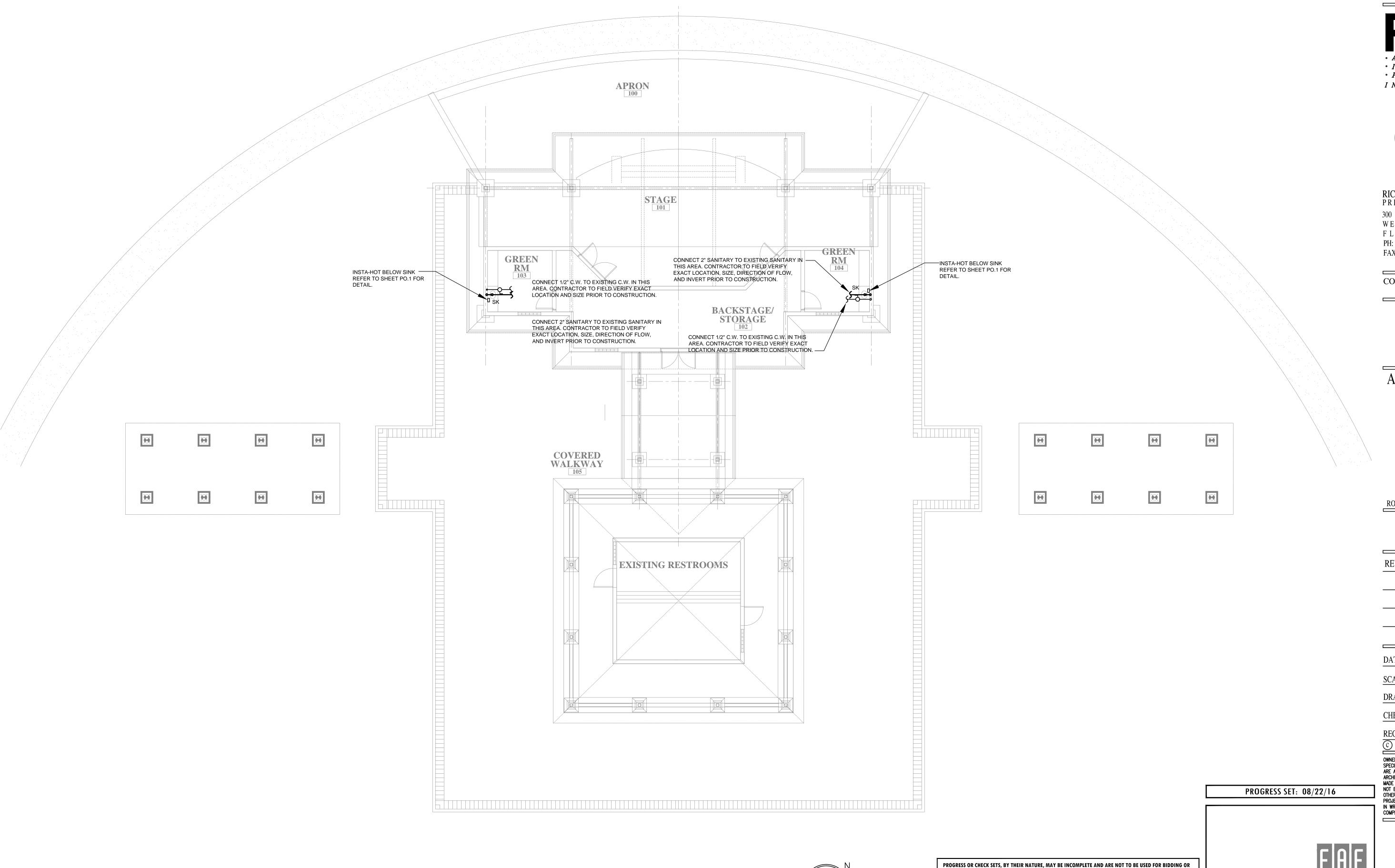
OTHER PROJECTS OR FOR ADDITIONS TO THIS

PROJECT BY OTHERS, EXCEPT BY AGREEMENT

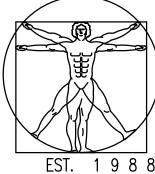
IN WRITING AND WITH APPROPRIATE

COMPENSATION TO THE ARCHITECT.

P0.1







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CHECKED	DA/SR
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IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

> AMPHITHEATRE PLUMBING PLAN

700 WEST HILLSBORO BLVD. - BLDG. #1, SUITE 204

DESIGNED BY: RB/SK/JS PM: BJ P/N 16028

DEERFIELD BEACH, FLORIDA 33441

JASON BARBER, P.E. LICENSE #73050

E-MAIL: INFO@FAECONSULTING.COM

TEL: (561) 391-9292 FAX: (561) 391-9898

CERTIFICATE OF AUTHORIZATION NO. 28107 URSULA IAFRATE, P.E. LICENSE #73122

STEPHEN F. ROLLIN, P.E. LICENSE #36428 DONALD H. AUSTIN, JR., PE LICENSE #60651

AMPHITHEATRE PLUMBING PLAN

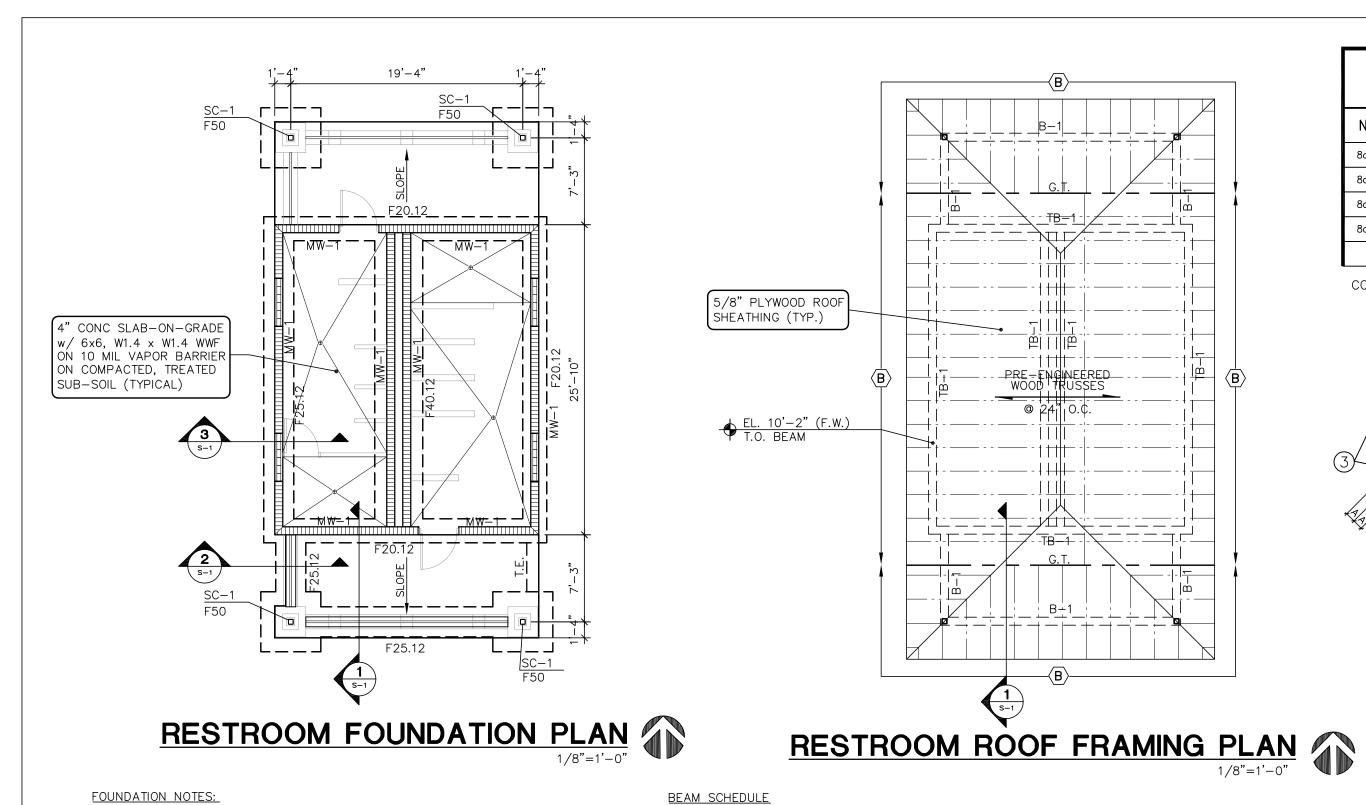
1/8" = 1'-0"

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND

CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR

DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.



MW-1 MASONRY WALLS SHALL BE 8" CMU w/ #5 @ 48"o.c. U.N.O.

4. TOP OF ALL FOOTINGS SHALL BE 1'-4" BELOW TOP OF SLAB.

1. WALL SEGMENTS SHALL BE REINFORCED WITH 9 GA. GALVANIZED

6" INTO POURED ELEMENTS AND AROUND ENCASED STEEL.

MATCHING VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT.

3. ALL MASONRY REINFORCED CELLS SHALL BE FILLED WITH

2. ADJACENT TO ANY EXTERIOR/INTERIOR WALL OPENING, PLACE (1)

LATERAL REINFORCING @ 16" O.C. HORIZ. EXTEND REINFORCING

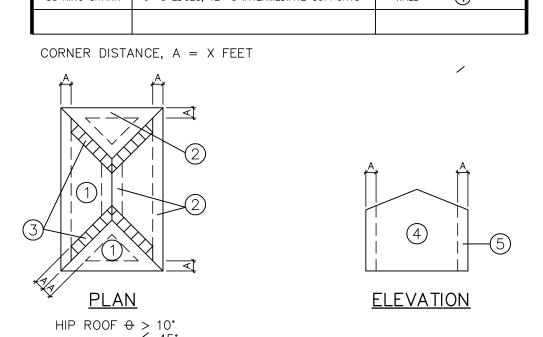
PROVIDE #5 VERTICAL @ ALL JAMBS, CORNERS AND WALL INTERSECTIONS.

DENOTES ADDITIONAL #5 VERTICAL BAR.

MASONRY WALL NOTES:

3000 PSI GROUT MIX.

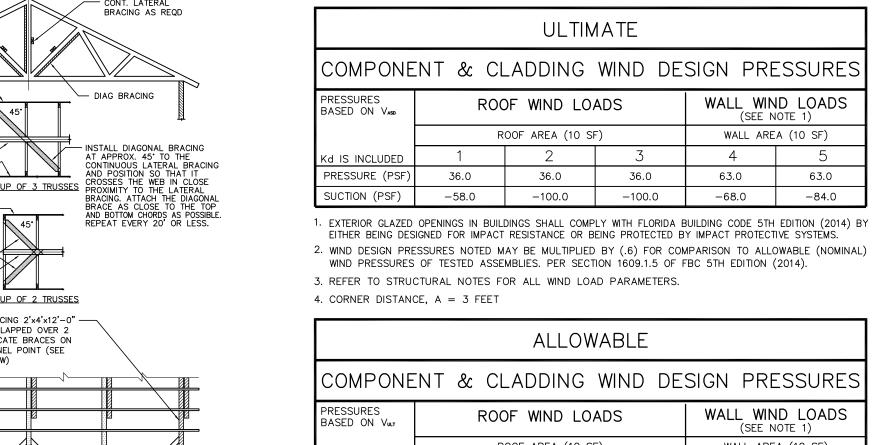
#### PLYWOOD SHEATHING NAILING SCHEDULE (WALLS AND ROOF) NAIL SIZE NAIL SPACING ZONE ROOF (3) 8d RING SHANK 4" @ EDGES, 6" @ INTERMEDIATE SUPPORTS 8d RING SHANK 6" @ EDGES, 6" @ INTERMEDIATE SUPPORTS ROOF (1) (2) 4" @ EDGES, 8" @ INTERMEDIATE SUPPORTS 8d RING SHANK WALL **(4)** 8d RING SHANK 6" @ EDGES, 12" @ INTERMEDIATE SUPPORTS WALL



# CONT. LATERAL BRACING AS REQD - DIAG BRACING SHEATHING -COMPRESSION WEB -SLOPING OR VERT INSTALL DIAGONAL BRACING AT APPROX. 45' TO THE CONTINUOUS LATERAL BRACING AND POSITION SO THAT IT GROUP OF 3 TRUSSES PROXIMITY TO THE LATERAL BRACING, ATTACH THE DIAGONAL BRACE AS CLOSE TO THE TOP AND BOTTOM CHORDS AS POSSIBLE. REPEAT EVERY 20' OR LESS. CONT LATERAL BRACE CEILING ----DIAGONAL BRACING -CONT LATERAL BRACE -GROUP OF 2 TRUSSES LATERAL BRACING 2'x4'x12'-0" -OR GREATER LAPPED OVER 2 TRUSSES. LOCATE BRACES ON OR NEAR PANEL POINT (SEE NOTE 2 BELOW) BOTTOM CHORD OF TRUSSES BRACED BAY @ 20 FT INTERVALS; REPEAT @ BOTH ENDS

- . WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE "TRUSS PLATE INSTITUTE" AND BCSI; GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES. BRACING TO BE INSTALLED IN THE PLAN OF THE WEB MEMBERS.
- a. THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
- b. LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.
- c. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.
- 2. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" O. C. WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES. OR IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES BRACING SHALL BE MIN. 2 x 4 @ 36" O.C. NAILED TO THE TOP OF THE BOTTOM CHORD. SECURE BRACING TO BOTTOM CHORD W/ (2)  $10d \times 3$ " NAILS IF USING 2x4'S AND (3)  $10d \times 3$ " NAILS IF USING 2x6'S (TYP.). DIAGONALS PLACED AT 45° TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END. AND AT 20 FOOT INTERVALS IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.
- 3. TOP CHORD BRACING :
- a. IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPRAGHM ACTION, BRACING IS NOT REQUIRED.
- b. IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 80 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

WOOD TRUSS BRACING DETAIL



COMPONENT & CLADDING WIND DESIGN PRESSURES							
PRESSURES BASED ON Vult							
	R	OOF AREA (10 SI	F)	WALL AREA (10 SF)			
Kd IS INCLUDED	1	2	3	4	5		
PRESSURE (PSF)	22	22	22	38.0	38.0		
SUCTION (PSF)	-35.0	-60.0	-60.0	-41.0	-51.0		

WALL WIND LOADS

WALL AREA (10 SF)

63.0

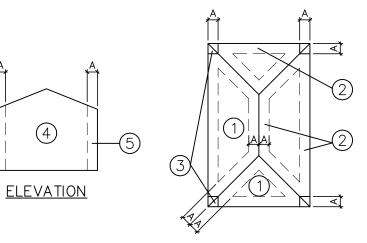
-84.0

(SEE NOTE 1)

63.0

-68.0

- 1. EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH FLORIDA BUILDING CODE 5TH EDITION (2014) BY EITHER BEING DESIGNED FOR IMPACT RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS.
- 2. REFER TO STRUCTURAL NOTES FOR ALL WIND LOAD PARAMETERS.
- 3. CORNER DISTANCE, A = 3 FEET



# RESTROOM **FACILITIES COMMONS PARK**

 $\circ$  I N T E R I O R S

 $\cdot$  P L A N N E R S

I N C O R P O R A T E D

EST. 1988

PRESIDENT AR - 0014172

WEST PALM BEACH

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**CORPORATION NUMBER** 

AA-0002447

RICK GONZALEZ,

300 CLEMATIS

FLORIDA

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411



REVISIONS	NO
DATE	06-30-16

**SCALE** 

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NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT

6/30/16

THESE ARE PROGRESS DRAWINGS, THEREFORE THEY ARE ISSUED PRIOR TO

MECHANICAL DESIGNS; AND AS SUCH, ARE INCOMPLETE BY NATURE FOR

COMPLETION OF THE STRUCTURAL DESIGN, AND OTHER DESIGN

THE COMPREHENSIVE SCOPE OF THE PROJECT. ALLOWANCES FOR

STRUCTURAL ELEMENTS REQUIRED DUE TO THE COMPLETION AND

CROSS-COORDINATION OF ALL OTHER DISCIPLINES SHOULD BE MADE.

DISCIPLINES. INCLUDING BUT NOT LIMITED TO ARCHITECTURAL OR

321 15TH STREET, SUITE 200 WEST PALM BEACH, FLORIDA 33401 (561) 835 - 9994 FAX (561) 835 - 8255

LIC. #0004386 JOB # 341.110

PROVIDE ANCHOR STRAP FROM TABLE BELOW AT EACH BEARING POINT FOR EACH WOOD TRUSS AND

EACH GIRDER TRUSS ADEQUATE TO RESIST UPLIFT AS SPECIFIED BY THE WOOD TRUSS MANUFACTURER.

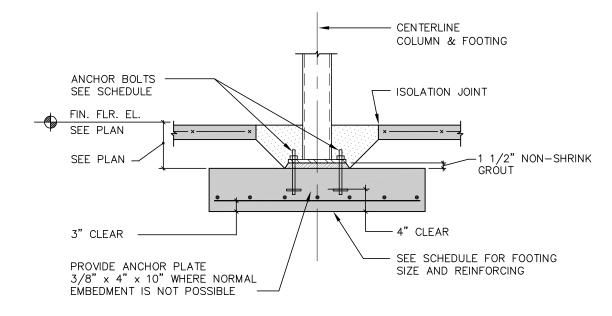
TRUSS TIE DOWN SCHEDULE											
MARK	MANUF & MODEL NO.			NAILS TO COMPONENT	NAILS TO SEAT	BOLTS	ALLOWABLE UPLIFT	LATERAL LOAD PARALLEL TO WALL	LATERAL LOAD PERPEND. TO WALL		
(A)	SIMPSON HETAL 12	TRUSS/MASONRY OR CONCRETE	FL11473.5	7-10d x 1 1/2"	_	-	1265 # (*)	415 #	1100 #		
B	SIMPSON HETAL 16	TRUSS/MASONRY OR CONCRETE	FL11473.5	14-10d x 1 1/2"	5-10d x 1 1/2"	ı	1810 # (*)	415 #	1100 #		
<b>©</b>	SIMPSON MGT	GIRDER TRUSS/ MASONRY OR CONC.	FL11470.7	22-10d	NOTE 5	5/8 <b>"</b> ø	3965 # (**)	ı	-		
(D)											
F											
F	SIMPSON ST6224	_	FL10852.13	14-16d TO TRUSS	14-16d TO BEAM	-	2540 # (**)	-	-		
<b>(G</b> )	SIMPSON MTS 12	_	FL10456.33	7-10d x 1 1/2"	7-10d x 1 1/2"	-	840 # (*)	-	-		
$\langle H \rangle$	SIMPSON MTS 12	_	FL10456.33	7-10d	7–10d	-	1000 # (*)	-	-		
	SIMPSON HHETA 20	TRUSS/MASONRY OR CONCRETE	FL11473.9	12-10dx1 1/2"	-	-	2235 # (*)	335 #	730 #		
J	SIMPSON HGT-2	GIRDER TRUSS/ MASONRY OR CONC.	FL10456.18	16-10d	NOTE 5	2-3/4"ø	10980 # (**)	-	-		
⟨ <b>K</b> ⟩	HGAM 10	TRUSS / CMU	FL11473.6	4-SDS 1/4"x 1 1/2"	IIIEN	-	850 #	1105 #	1005 #		
L	SIMPSON LGT2	_	FL11470.6	16-16d SINKER	(7)1/4" X 2 1/4" TITEN		2150 # (**)				
(M)	SIMPSON MTSM 16	_	FL11473.2	7–10d	(4)1/4" X 2 1/4" TITEN TO BEAM	_	860 # (*)	235 #	190 #		

NOTES: 1. (\*) - ONE PLY MEMBER (\*\*) - TWO PLY (MIN.) MEMBER

2. T.B. - THRU-BOLT

3. U.N.O. - UNLESS NOTED OTHERWISE 4. APPROVED EQUAL OR BETTER TIE DOWNS FOR THE SAME LATERAL & UPLIFT LOADS ARE ACCEPTABLE.

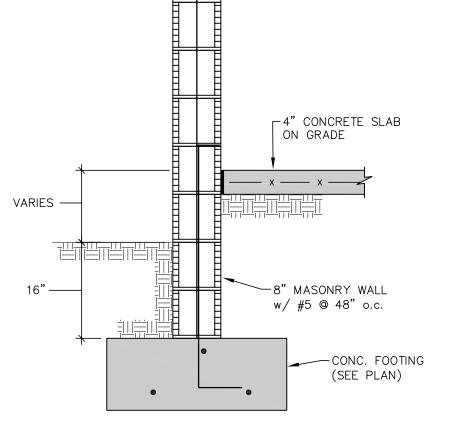
5. USE "ULTRABOND 1" EPOXY W/ 12" MIN. EMBED. 6. USE "ULTRABOND 1" EPOXY W/ 5" MIN. EMBED.



TYPICAL STEEL COLUMN FOOTING

PHILIP J. RIZZO P.E. FLORIDA REG. #60998

STRUCTURAL ENGINEERS



SECTION 3/4"=1'-0"

<u>SC-1</u> HSS 3 1/2" x 3 1/2" x 1/4 w/ 4. AT END, CORNERS, AND INTERSECTION OF WALLS PLACE (1) 3/4"x10"x0'-10" BASE PLATE w/ (4) MATCHING VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT. 3/4"ø ANCHOR BOLTS WOOD TRUSS BY TRUSS MANUFACTURER 5/8" PLYWOOD SHEATHING-SIMPSON CONNECTOR-(SEE PLAN) 2x FASCIA~ -CONC. BEAM -CONC. BEAM 5/8" PLYWOOD -(SEE PLAN) (SEE PLAN) 6" LONG ∼8"MASONRY (SEE PLAN) -STEEL COLUMN (BEYOND) (3)#4 CONT. P PLAN #4 @ 12" o.c. ACROSS CONCRETE SLAB -(3)#5 CONT. #5 @ 12" o.c. ACROSS CONC. SLAB (SEE PLAN) — x — x — 2'-6"

SECTION

1/2"=1'-0"

RAILING --10" W imes 8" TALL CONC. (SEE ARCH.) CURB w/(2)#5 CONT. -4" CONCRETE SLAB ON GRADE — x —— x —— 16" MIN.— -8" MASONRY WALL 18" MAX. w/ #5 @ 48" o.c. — CONC. FOOTING (SEE PLAN)

@ 24ili 0.c.

B-1 8"x10" w/(4)#5 w/#3 STIRRUPS @ 4" o.c.

F20.12 2'-0" x 12" x CONT. W/ (2) #5 CONT. BOTT. (1) #5 CONT. TOP

<u>F25.12</u> 2'-6"  $\times$  12"  $\times$  CONT.  $\times$  (5) #5 CONT. (1) TOP & (4) BOTTOM

 $\frac{\text{F50}}{\text{5'-0"}}$  5'-0" x 5'-0" x 12" W/ (5) #5 TOP & BOTTOM EACH WAY

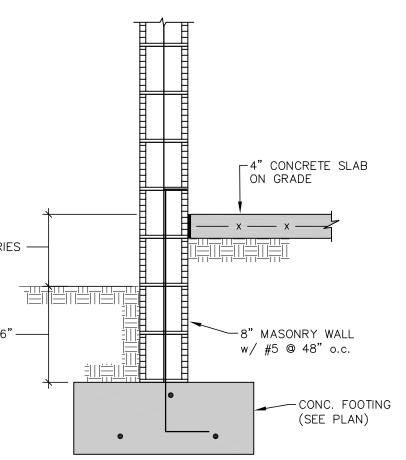
CONC. FOOTING (SEE PLAN)

FOOTING SCHEDULE

F40.12 4'-0" x 12" x CONT.

COLUMN SCHEDULE

SECTION 3/4"=1'-0"



Structural Drawing Updated Based on Architectural Backgrounds Dated 6-13-16 CONTRACTOR NOTE THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. O'DONNELL, NACCARATO, MIGNOGNA & JACKSON, INC. IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR

CODES AND STANDARDS 1. WIND LOADS AS PER:

- A. SECTION 1609 OF THE FLORIDA BUILDING CODE 5TH EDITION (2014) WITH AN ULTIMATE WIND SPEED VULT = 170 MPH (NOMINAL WIND SPEED VASD = 132 MPH), FOR RISK CATEGORY II, EXPOSURE C AND INTERNAL PRESSURE COEFFICIENT +/- 0.18.
- B. THIS BUILDING IS DESIGNED AS AN ENCLOSED BUILDING.
- 2. THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE:

RELATED SAFETY PRECAUTIONS AND PROGRAMS.

- A. FLORIDA BUILDING CODE 5TH EDITION (2014) B. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE
- (ACI 318/ LATEST EDITION).
- C. MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315/ LATEST EDITION). D. SPECIFICATION FOR THE DESIGN, FABRICATION & ERECTION OF
- STRUCTURAL STEEL FOR BUILDINGS. (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) AISC ASD/ 9TH EDITION OR LRFD 3RD EDITION.
- E. SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS, ACI 301/LATEST EDITION.
- F. NATIONAL DESIGN SPECIFICATION, WOOD CONSTRUCTION NDS/LATEST
- G. BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY
- STRUCTURES (ACI 530, 530.1/ASCE 5, 6/TMS 402, 602/LATEST EDITIONS). ARCHITECTURAL AND MECHANICAL DRAWINGS:
- THE STRUCTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT BY THEMSELVES PROVIDE ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT STRUCTURE. THE GENERAL CONTRACTOR SHALL CONSULT THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE TO INFORMATION CONTAINED IN THESE DRAWINGS WITH THE STRUCTURAL DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT.
- B. REFER TO ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, DEPRESSIONS, FINISHES, INSERTS, BOLTS SETTINGS, DRAINS, REGLETS, ETC.
- C. BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. THE ONTRACTOR SHALL VERIFY ALL MEASUREMENTS TO PROPERLY SIZE OR FIT THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED BY THE OWNER RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT.
- D. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH ANY WORK
- . ALL STRUCTURES HAVE BEEN DESIGNED TO RESIST THE DESIGN DADS LISTED ONLY AS COMPLETED STRUCTURES. THE GENERAL CONTRACTOR SHALL FULLY BRACE AND OTHERWISE PROTECT WORK PROGRESS UNTIL THE STRUCTURES ARE COMPLETED. GENERAL CONTRACTOR SHALL ALSO ENSURE THAT ITS OPERATIONS AND PROCEDURES PROVIDE NO LOADING GREATER THAN THE DESIGN LOADS LISTED ON ANY MEMBER.
- 4. SECTIONS AND DETAILS

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SHOWN.

THRESHOLD INSPECTIONS SHALL BE PERFORMED DURING CONSTRUCTION OF THIS BUILDING AS REQUIRED BY SECTION 110.8 OF FBC.

MATERIALS AND ASSEMBLY TEST AS FOLLOWS:

OF ONE OF THE FOLLOWING SPECIFICATIONS:

- A. EXTERIOR WINDOWS, SLIDING AND PATIO GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND SHALL BE LABELED WITH AN APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT CERTIFICATION AGENCY, TESTING LABORATORY, EVALUATION ENTITY OR FLORIDA STATE WIDE PRODUCT APPROVAL NUMBER TO INDICATE COMPLIANCE WITH THE REQUIREMENTS
- ANSI/AAMA/NWWDA 101/I.S. 2-97 OR TAS 202 (HVHZ SHALL COMPLY WITH
- EXTERIOR DOOR ASSEMBLIES SHALL BE TESTED FOR STRUCTURAL INTEGRITY IN ACCORDANCE WITH ASTM E330 AT A LOAD OF 1.5 TIMES THE REQUIRED DESIGN PRESSURE LOAD. THE LOAD SHALL BE SUSTAINED FOR 10 SECONDS WITH NO PERMANENT DEFORMATION OF ANY MAIN FRAME OR PANEL MEMBER IN EXCESS OF 0.4 PERCENT OF ITS SPAN AFTER THE LOAD IS REMOVED. HVHZ SHALL COMPLY WITH TAS 202. AFTER EACH SPECIFIED LOADING, THERE SHALL BE NO GLASS BREAKAGE PERMANENT DAMAGE TO FASTENERS HARDWARE PARTS, OR ANY OTHER DAMAGE, WHICH CAUSES THE DOOR TO BE
- O. CUSTOM (ONE OF A KIND) EXTERIOR DOOR ASSEMBLIES SHALL BE TESTED BY AN APPROVED TESTING LABORATORY OR BE ENGINEERED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES.
- WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE WITH THE PUBLISHED MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURE SPECIFIED. SUBSTITUTE ANCHORING SYSTEM USED FOR SUBSTRATES T SPECIFIED BY THE FENESTRATION MANUFACTURER SHALL PROVIDE EQUAL OR GREATER ANCHORING PERFORMANCE AS DEMONSTRATED BY ACCEPTED ENGINEERING
- 7. ALL FASTENERS DESIGNATED, AS STAINLESS STEEL SHALL CONFORM TO AISI 316 SPECIALTY ENGINEERED PRODUCTS
- OF SPECIALTY ENGINEERED SHOP DRAWINGS WHICH SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE SPECIALTY ENGINEERED SHOP DRAWINGS ARE SUBMITTED IN A TIMELY MANNER SO AS TO ALLOW REVIEWS AND RESUBMISSIONS AS REQUIRED. ALL SPECIALTY ENGINEERED PRODUCTS SHALL BE DESIGNED FOR THE APPROPRIATE GRAVITY LOADS AND WIND LOADS INCLUDING UPLIFT AND LATERAL LOADS. INTERIOR SPECIALTY PRODUCTS SHALL BE DESIGNED FOR LATERAL LOADS TO ASSURE STABILITY. SPECIALTY ENGINEERED PRODUCTS SHALL BE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PROPER SUBMISSION

- A. LIGHT GAUGE METAL, INCLUDING BUT NOT LIMITED TO, SOFFITS, CLADDING,
- B. MISCELLANEOUS HANGERS, CHANDELIERS, CABINETS, METAL FRAMES, LADDERS, RIGGING, HANGING WALLS, RAILINGS, GLAZING FRAMES, CLADDING SUCH AS STONE, PRECAST, ALUMINUM, METAL PANELS, CABLE BARRIER SYSTEMS, ET R ANY OTHER MISCELLANEOUS PRODUCT REQUIRED BY ANY OF THE CONSTRUCTION
- C. IN ADDITION TO THE LOADS SHOWN IN THE DESIGN LOAD SCHEDULE. THE PLUMBING AND ELECTRICAL EQUIPMENT AND FIXTURES, AS WELL AS CHANDELIER FIXTURES, BAR CABINETS, AND ART WORK / MOBILES.

GENERAL CONTRACTOR TO INCLUDE IN THEIR BID THE COST OF THE ABOVE NOTED SPECIALTY SHORING AND RESHORING

1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE THE STABILITY OF THE STRUCTURE DURING SUBMIT SIGNED AND SEALED SHOP DRAWINGS PREPARED B DELEGATED ENGINEER EXPERIENCED IN SUCH WORK AND LICENSED IN THE STATE OF FLORIDA. SUBMIT DRAWINGS TO THE ARCHITECT, ENGINEER, SPECIAL INSPECTOR AND BUILDING OFFICIAL FOR RECORD ONLY. SHORING AND RESHORING DESIGN AND ISTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE ENGINEER IN HIS EMPLOY.

THE DELEGATED ENGINEER WHO PREPARES THE SHORING AND RESHORING DRAWINGS SHALL INSPECT THE SHORING AND RESHORING. HE SHALL PROVIDE A FIELD REPORT OF EACH INSPECTION TO THE CONTRACTOR AND ARCHITECT.

- THE BRACING DETAILS OF THE EXTERIOR WALLS OF WHICH IN SOME CASES, THE ROOF DECK DIAPHRAGM AND ROOFING MEMBERS WILL BE REMOVED LEAVING THE EXTERIOR WALLS UNBRACED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HIRE A SPECIALTY SHORING AND BRACING ENGINEER TO PROVIDE THE REQUIRED DOCUMENTS FOR THIS FOUNDATION
- ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE:
- A. REPORT ON SOILS AND FOUNDATION INVESTIGATION PREPARED BY N1,
- B. RECOMMENDATIONS ON SOILS AND FOUNDATIONS INVESTIGATION PREPARED BY AN APPROVED TESTING LABORATORY PRIOR TO
- FOUNDATION WORK. 2. BOTTOM OF FOOTINGS TO BEAR ON:
- A. CONTROLLED COMPACTED FILL CAPABLE OF SAFELY SUPPORTING N1 PSF. 3. SOILS SUPPORTING ALL FOOTINGS MUST BE INSPECTED AND APPROVED BY REGISTERED SOILS ENGINEER BEFORE COMMENCING WORK, ORDERING MATERIALS OR MOVING FORWARD IN ANY WAY. APPROVAL IN WRITING MUST INDICATE THE SOIL IS ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE.
- 4. TOP OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 16" BELOW EXTERIOR FINISH

- EXCAVATION & BACKFILL:
  - ALL EXCAVATION SHALL BE KEPT DRY. EXCAVATE TO DEPTHS AND DIMENSIONS INDICATED. TAKE EVERY PRECAUTION TO GUARD AGAINST ANY MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, UTILITIES,
  - B. PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.
- CENTERLINE OF FOOTINGS: SHALL COINCIDE WITH CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED ON DRAWINGS. 7. DIMENSIONS: ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS MUST BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL
- DRAWINGS BY THE CONTRACTOR BEFORE PROCEEDING WITH THE CONSTRUCTION.
  DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.
- 1. CONCRETE ELEMENTS TO HAVE THE FOLLOWING STRENGTHS
  - . SLAB-ON-GRADE . COLUMNS 4000 PSI TIF BEAMS 4000 PS G. STRUCTURAL SLABS 4000 PS
- H. MASONRY GROUT 3000 PSI ALL OTHER CONCRETE TO BE 4000 PSI UNLESS NOTED OTHERWISE
- 2. ALL CONCRETE SHALL BE READY MIX AND MEET THE FOLLOWING REQUIREMENTS:
- A. A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS
- B. A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS C. SLUMPS SHALL BE 4" MINIMUM AND 6" MAXIMUM.
- D. CONCRETE SHALL HAVE 3 +/- 1.5 PERCENT AIR ENTRAINMENT. E. ALL CONCRETE TO HAVE MAXIMUM WATER/CEMENT RATIO OF 0.55.
- F. JOBSITE WATER SHALL NOT BE ADDED.
- G. CEMENT SHALL CONFORM WITH ASTM C150 TYPE 1. SLAG, ASTM C989 SHALL BE LIMITED TO 50% (BY WEIGHT OF CEMENTITIOUS MATERIAL AND FLY ASH, ASTM C618, CLASS F, SHALL BE LIMITED TO 25% (BY WEIGHT) OF CEMENTITIOUS MATERIAL.
- 3. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318/ LATEST EDITION), THE ACI DETAILING MANUAL (ACI 315/ 1994 EDITION), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301/ LATEST EDITION).
- 4. SUBMIT REINFORCING STEEL SHOP DRAWINGS PRIOR TO ANY FABRICATION. 5. CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY
- 6. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A 185, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE AND SUPPORT ON SLAB BOLSTERS SPACED AT 3'-0" O.C.
- ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615
- WWF SHALL COMPLY WITH ASTM A 185.
- 8. LAP ALL BARS WITH CLASS B TENSION LAP SPLICE UNLESS OTHERWISE NOTED ON DRAWINGS. LAP ALL WWF A MINIMUM OF 12 INCHES (UNLESS OTHERWISE
- REINFORCING BARS
- A. AT CORNERS OF CONCRETE WALLS, BEAMS AND CONTINUOUS WALL FOOTINGS, PROVIDE MATCHING HORIZONTAL BARS X 5'-C BENT BAR FOR EACH HORIZONTAL BAR SCHEDULED AT EACH FACE.
- WHERE COLUMNS ARE AN INTEGRAL PART OF CONCRETE WALLS, WALL REINFORCEMENT SHALL BE CONTINUOUS THRU THE COLUMNS.
- C. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.
- D. FOR BALCONIES, SLABS AND WALKWAYS EXPOSED TO WEATHER ALL OTHER DEVICES FOR SPACING, SUPPORTING AND FASTENING REINFORCING SHALL BE GALVANIZED CONFORMING TO ASTM A767. BOLSTERS AND CHAIRS O BE PLASTIC. CONCRETE PLACED IN THESE AREAS TO HAVE .40 W/C RATIO MAXIMUM AND CONTAIN 2.5 GALLONS OF CALCIUM NITRATE PER
- CUBIC YARD. REBAR COVER TO BE 1.5" MINIMUM. E. ALL REBARS THAT ARE TO BE DRILLED AND FASTENED WITH ADHESIVE ANCHORS (ONLY IN AN OVERHEAD, INCLINED UPWARD OR HORIZONTAL POSITION) INTO CONCRETE, REQUIRE THE INSTALLER BE ACI CERTIFIED PER ACI 318—11. THE
- ALTERNATIVE IS TO PERFORM A PULL TEST ON EVERY REBAR. F. CONTRACTOR SHALL INCLUDE IN HIS BASE BID THE COST OF 50 TONS OF ADDITIONAL REINFORCING STEEL, INCLUDING DETAILING, FABRICATION, BENDING, FURNISHING, AND PLACING. THIS EXTRA STOCK SHALL BE FURNISHED AND USED FOR SPECIAL CONDITIONS AS DIRECTED BY THE ARCHITEC THE ARCHITECT'S AGENT OR BY THE OWNER'S CONSTRUCTION SUPERVISOR THE PRICE OF THE UNUSED EXTRA STOCK SHALL BE CREDITED TO THE OWNER'S
- A. DROP BOTTOM OF BEAM OR SLAB AT WINDOWS, DOORS AND MASONRY OPENINGS AS REQUIRED TO PROVIDE A CONCRETE CLOSURE BETWEEN THE BOTTOM OF THE BEAM AND WINDOW AND/OR DOOR HEADER OR PROVIDE A PRECAST CONCRETE LINTEL BY CASTCRETE IF NOT NEXT TO A POURED CONCRETE COLUMN.
- B. MAXIMUM DROP SHALL BE 16" (TWO BLOCK COURSES) AND SPAN EQUAL TO MASONRY OPENING WIDTH. PROVIDE 2 #5 AT BOTTOM OF DROP INCLUDING #3 TIES @ 24" O.C. EXTENDING TO TOP OF BEAM REINFORCING. IF THE LINTEL EXCEEDS THE ABOVE LIMIT OF DROP, A SEPARATED LINTEL SHALL BE PROVIDED AS FOLLOWS:
- L1. OPENING LESS THAN 6'0" WIDE 8" X 8" W/2 #5 BOTTOM BARS. L2. OPENING BETWEEN 6'0" AND 12'0" WIDE 8" X "12" W/2 #6 BOTTOM
- C. LINTELS TO HAVE 8" MINIMUM BEARING AT EACH END.
- D. IF THE MASONRY OPENING HAS AN END ADJACENT TO A CONCRETE COLUMN PROVIDE (2) #5 OR #6 DOWELS, AS THE CASE MAY BE, IN THE CONCRETE COLUMN WITH SHEAR KEY 1-1/2 INCH DEEP BY LINTEL'S DEPTH AND WIDTH FOR ITS SUBSEQUENT CONSTRUCTION.
- MASONRY UNITS SHALL BE

MASONRY

- LOAD BEARING ASTM C90
  TYPE II NON-MOISTURE CONTROLLED
- NORMAL WEIGHT ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR IN RUNNING BOND
- 2. THE COMPRESSIVE STRENGTH OF MASONRY (F'M) SHALL BE 1,500 PSI AS CALCULATED IN ACCORDANCE WITH ASTM C1314.
- ALL MORTAR SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATION C270.
- A. FROM FIELD OBTAINED TEST CUBES. (MIN. OF TWO)
- 4. GROUT SHALL BE A HIGH SLUMP MIX A. IN ACCORDANCE WITH ASTM SPECIFICATION C476
- 5. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS SHALL BE
- B. INSPECTED BY A CERTIFIED INSPECTION COMPANY AND CONSTRUCTED IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES" (ACI 530/ASCE 5/TSM 402) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530.1/ASCE 6/TSM 602)/ LATEST EDITIONS.
- 6. PROVIDE 8" X 8" MASONRY BEAM WITH 2 #5 CONT. AT EVERY WINDOW SILL. EXTEND BEAM 8" BEYOND EDGE OF OPENING
- 7. PROVIDE HOT DIPPED GALVANIZED LADDER TYPE HORIZONTAL JOINT WALLS. PROVIDE DOVE TAIL SLOT ANCHORS AT CONCRETE COLUMNS.
- FOR JOINT REINFORCEMENT, WALL TIES, ANCHORS AND INSERTS, APPLY A MINIMUM COAT OF 1.5 OUNCES PER SQUARE FOOT (PSF) (458/G/M2) COMPLY WITH THE REQUIREMENTS OF ASTM A153, CLASS B.
- 8. EPOXY GROUT SHALL BE NON-SHRINK HIGH CREEP RESISTANT, AND SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE PROPERTIES: FLEXURAL STRENGTH, ASTM C 580: 4,000 PSI COMPRESSIVE STRENGTH, ASTM C 579: 1,600 PSI/7 DAYS.
- 9. MINIMUM LAP SPLICES FOR REINFORCED CMU AS FOLLOWS:
- A. LAP SPLICES SHALL OCCUR DIRECTLY ABOVE FOOTINGS AND SLABS. NO SPLICES ARE ALLOWED AT MID-HEIGHT OF WALL.

- LAP SPLICES THAT OCCUR AT CANTILEVERED WALLS SUCH AS: PARAPETS, RETAINING WALLS, ETC. SHALL HAVE LAP SPLICE LENGTHS INCREASED BY 50% TO 72 BAR DIAMETERS. 10. MASONRY LINTELS:
- A. A PRECAST CONCRETE LINTEL BY CASTCRETE SHALL BE PROVIDED OVER ALL MASONRY WALL OPENINGS. THE LINTEL SHALL BE FULLY GROUTED.
- B. LINTELS TO HAVE 4" MINIMUM BEARING AT EACH END. C. SHORE PRECAST LINTEL PER MANUFACTURER'S INSTRUCTIONS.

B. ASTM SPECIFICATION A 36 FOR MISCELLANEOUS STEEL SHAPES

- 1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC CODE. STRUCTURAL STEEL SHALL CONFORM TO: A. ASTM SPECIFICATION A 992 GRADE 50 FOR ALL WIDE FLANGE BEAMS.
- (ANGLES, PLATES, ETC.). C. SQUARE OR RECTANGULAR HSS SHALL CONFORM TO ASTM SPECIFICATION A 500 GRADE B (FY=46 KSI).
- D. ROUND HSS SHALL CONFORM TO ASTM SPECIFICATION A500, GRADE B (FY=42 KSI). ROUND HSS WITH A WALL THICKNESS GREATER THAN 5/8", SHALL CONFORM TO ASTM A53, GRADE B (FY=35 KSI).
- E. ALL STEEL TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT. F. DELETE PAINT ON ALL STEEL TO RECEIVE SPRAYED ON FIREPROOFING OR CONCRETE ENCASEMENT
- G. ALL MILL CAMBER TO BE ORIENTED UPWARD DURING FABRICATION AND
- 2. ALL SHOP AND FIELD WELDING SHALL BE PERFORMED BY WELDERS QUALIFIED, AS DESCRIBED IN "AMERICAN WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE" (AWS D1.1), TO PERFORM THE TYPE OF WORK REQUIRED.
- 3. ALL CONNECTIONS SHALL BE BOLTED WITH 3/4" DIAMETER, A-325 HIGH STRENGTH BOLTS OR WELDED (UNLESS SHOWN OTHERWISE ON THE
- A. FULL DEPTH DOUBLE CLIP ANGLE CONNECTIONS ARE TO BE USED ON ALL GIRDER AND BEAM CONNECTIONS TO COLUMNS. BOLTS TO BE AT
- 4. ALL ALUMINUM AND STEEL MEMBERS TO BE TREATED OR PROPERLY SEPARATED TO PREVENT GALVANIC AND CORROSIVE EFFECTS.
- 5. ALL STEEL WELDING RODS SHALL BE E70XX ELECTRODES. 6. SUBMIT ALL STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY
- EQUIPMENT SUPPORTS: PROVIDE ALL SUPPORTING STEEL NOT INDICATED ON PLAN AS REQUIRED FOR THE INSTALLATION OF MECHANICAL EQUIPMENT AND MATERIALS, INCLUDING ANGLES, CHANNELS, BEAMS, HANGERS, ETC. DO NOT SUPPORT
- PROVIDE 1/4" BENT PLATES AT ALL HIPS, VALLEYS, SKEWED BEAMS AND OTHER AREAS FOR DECK SUPPORT.
- ALL STRUCTURAL WOOD MEMBERS ARE DESIGNED AS "DRY-USE". MOISTURE CONTENT MUST BE 19% OR LESS. STORE WOOD FRAMING ABOVE GROUND AND UNDER TARPS WITH PROPER AIR CIRCULATION.
- ALL LUMBER SHALL BE SOUTHERN PINE SPECIES #2 GRADE OR APPROVED EQUAL. ALLOWABLE DESIGN STRESSES SHALL FOLLOW NATIONAL DESIGN SPECIFICATION (NDS) (LATEST EDITION).
- 3. HEADERS AT NON BEARING CONDITIONS SHALL BE AS FOLLOWS: OPENING SIZE (2) 2" X 6" (2) 2" X 8" UP TO 4' -0" 4'- 0" TO 6'- 0' 6'- 0" TO 9'- 0"
- PROVIDE SP ACQ PRESSURE TREATED LUMBER IN ACCORDANCE WITH AWPA STANDARDS TO A MINIMUM 0.40 PCF RETENTION WHERE LUMBER IS IN CONTACT WITH CONCRETE/MASONRY OR OUTSIDE OF BUILDING. ALL METAL CONNECTORS N CONTACT WITH PRESSURE TREADED LUMBER SHALL BE GALVANIZED WITH A RATING OF G—185 AND CONFORM TO ASTM A653. ALL NAILS AND SCREWS USED WITH PRESSURE TREATED LUMBER ARE TO BE HOT-DIPPED GALVANIZED AND TO CONFORM TO ASTM A15.3 CLASS D. FLECTROGALVANIZED FASTENERS NOT TO BE USED IN DIRECT CONTACT WITH ACQ TREATED LUMBER.
- PLYWOOD SHEATHING
- ROOF: Use 19/32" 40/20 RATED, STRUCTURAL 1, EXP. 1, PLYWOOD B. SEE FRAMING PLANS FOR NAILING AND/OR BLOCKING REQUIREMENTS.

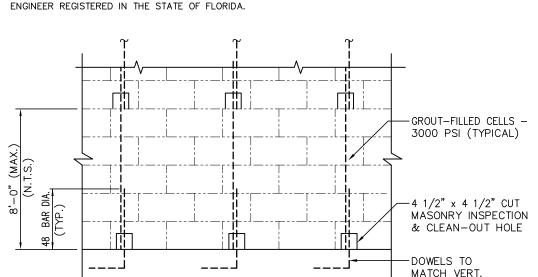
USE 8'- 0" LONG X 4'-0" WIDE SHEETS WITH LENGTH ACROSS FRAMING

- STAGGER PANEL END JOINTS 4'-0" TYP., ALLOW 1/8" SPACE ALONG PANEL C. SEE FRAMING PLANS FOR DIAPHRAGM NAILING TYPE, SIZE, SPACING AND
- WOOD CONNECTIONS ALL NAILS USED FOR STRUCTURAL FRAMING MEMBERS SHALL BE COMMON WIRE, U.N.O. ALL NAILS, TRUSS HANGERS, TRUSS ANCHORS AND STRAPS SHALL BE GALVANIZED FOR CORROSIVE RESISTANCE. ALL METAL STRAPS MUST BE INSTALLED WITH EQUAL LENGTHS ABOUT THE JOINT LINE. USE SIMPSON STRONG-TI CONNECTOR PRODUCTS OR APPROVED EQUAL. TOE NAILING WILL NOT BE PERMITTED.
- WOOD TRUSSES SYSTEM WOOD
- A. ROOF TRUSSES SHALL BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL DELEGATED ENGINEER REGISTERED IN THE STATE OF FLORIDA. SEALED CALCULATIONS AND LAYOUT DRAWINGS DESIGNED IN ACCORDANCE 61G15.31.003 LORIDA ADMINISTRATIVE CODE, FOR WOOD TRUSS SYSTEM ARE TO BE SUBMITTED FOR APPROVAL. TRUSS SYSTEM FABRICATOR TO PROVIDE ALL TRUSS—TO—TRUSS HANGERS AS REQUIRED TO RESIST GRAVITY AND UPLIFT REACTION. (UPLIFT LOADING SHALL USE COMPONENTS & CLADDING WIND FORCES.)
- 2. WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE 2006 EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES. JOINTLY PRODUCE BY WTCA AND TRUSS PLATE INSTITUTE. BRACING IN THE PLANE OF THE
- A. THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
- B. LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS C. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE
- AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS 3. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AS SPECIFIED BY TRUSS SPECIALTY ENGINEER WITH AN 8'-0" MAXIMUM (2X4 MIN)ON CENTER WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES. IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES BRACING SHALL BE MINIMUM 2X4 @ 36" ON CENTER NAILED TO THE TOP OF THE SHALL BE LOCATED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH. DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS. SECURE CONTINUOUS AND DIAGONAL BRACING WITH A MINIMUM OF (2) 10D X 3" NAILS FOR 2X4'S AND (3) 10DX 3" FOR 2X6'S.
- 4. TOP CHORD BRACING:
- A. IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPHRAGM ACTION, BRACING IS NOT
- B. IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20-FOOT INTERVALS.
- DO NOT CUT, DRILL OR NOTCH ROOF OR FLOOR TRUSSES WITHOUT WRITTEN APPROVAL FROM TRUSS ENGINEER. COORDINATE MECHANICAL, ELECTRICAL, PLUMBING, ETC. SIZES AND LOCATIONS WITH TRUSS LAYOUT PRIOR TO
- DESIGN SPECIFICATION(S) FOR WOOD CONSTRUCTION, AF & PA, AND NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1-1995, AND THE LOCAL CODE JURISDICTIONS. 7. DO NOT OVERLOAD FLOOR OR ROOF TRUSSES WITH BUILDING MATERIALS.

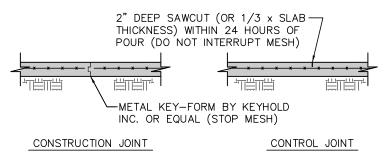
6. TRUSSES SHALL BE MANUFACTURED & DESIGNED IN ACCORDANCE WITH NATIONAL

- CONNECTOR PLATES SHALL BE MANUFACTURED BY A WTCA MEMBER PLATE SUPPLIER AND SHALL MEET OR EXCEED ASTM A653/A653M REQUIREMENTS WOOD TRUSS MANUFACTURER TO DESIGN BOTTOM CHORDS OF WOOD ROOF TRUSSES FOR A MINIMUM 10 PSF LIVE LOAD. BOTTOM CHORDS OF WOOD ATTIC TRUSSES TO BE DESIGNED FOR 30 PSF MINIMUM LIVE LOAD.
- 10. WOOD TRUSSES MANUFACTURER TO DESIGN BOTTOM CHORD OF WOOD TRUSSES FOR 11. IN ADDITION TO THE LOADS SHOWN IN THE DESIGN LOAD SCHEDULE. THE WOOD TRUSS MANUFACTURER SHALL DESIGN FOR THE WEIGHT OF ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT/FIXTURES AS WELL AS CHANDELIER FIXTURES, BAR CABINETS AND ART WORK/MOBILES.

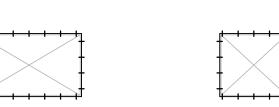
- THE SHOP DRAWINGS SHALL BE SUBMITTED IN COMPLETE PACKAGES, WITH THE GENERAL CONTRACTOR'S REVIEW STAMP FOR THE FOLLOWING:
- A. CONCRETE MIX DESIGNS
- B. CONCRETE REINFORCING STEEL AND WELDED WIRE FABRIC
- C. CONCRETE MASONRY UNIT SUBMITTALS AND OTHER MASONRY ACCESSORIES
- D. PRE-ENGINEERED WOOD TRUSSES E. HEAVY TIMBER WOOD FRAMING
- PRE-ENGINEERED ITEMS SHALL BE SUBMITTED SIGNED AND SEALED BY A SPECIALTY



TYPICAL MASONRY FILLED CELL DETAIL



TYPICAL SLAB-ON-GRADE NOTE: CONTROL JOINTS/CONSTRUCTION JOINTS SHALL CREATE PANELS OF 150 SQ. FEET (MAXIMUM)

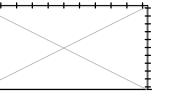


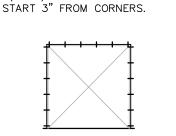
2" X P.T. BUCK W/ 1/4"ø TAPCON N/ 1 1/2" EMBEDMENT AT 8"o.c., START 3" FROM CORNERS. 

(WINDOW & DOOR OPENINGS

7'-0" WIDE AND LARGER)

START 3" FROM CORNERS.





START 3" FROM CORNERS.

(WINDOW & DOOR OPENINGS

6'-6" WIDE AND SMALLER)

2" X P.T. BUCK W/ 1/4"ø TAPCON

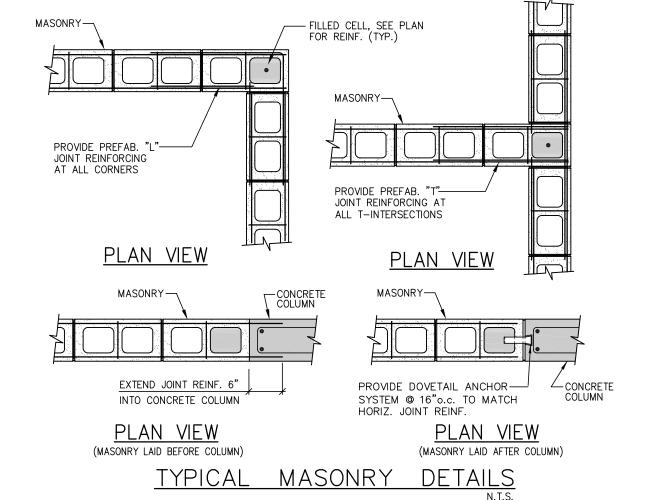
W/ 1 1/2" EMBEDMENT AT 8"o.c.,

(16'-0" GARAGE DOOR OPENING) (8'-0" GARAGE DOOR OPENING) 2" X P.T. BUCK W/ 1/4"ø TAPCON 2" X P.T. BUCK W/ 1/4"ø TAPCON W/ 1 1/2" EMBEDMENT AT 8"o.c., W/ 1 1/2" EMBEDMENT AT 8"o.c.,

BUCKS TO BE FASTENED HORIZONTALLY AND VERTICALLY TO CONCRETE BEAMS AND COLUMNS OR CONCRETE FILLED MASONRY.

#### G.C. TO COORDINATE OPENING DIMENSIONS. TYPICAL WOOD BUCK TO CONCRETE <u>CONNECTION DETAIL</u>

1. EXTERIOR GLAZED OPENINGS IN BUILDINGS SHALL COMPLY WITH 2010 FLORIDA BUILDING CODE BY EITHER BEING DESIGNED FOR IMPACT RESISTANCE OR BEING PROTECTED BY IMPACT PROTECTIVE SYSTEMS.



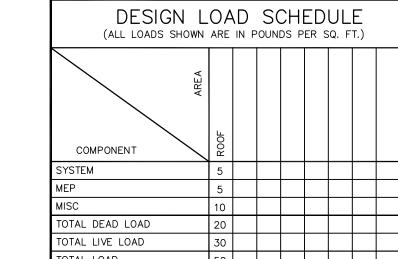
THICKENED EDGE

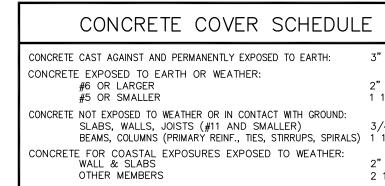
SFF PLAN FOR

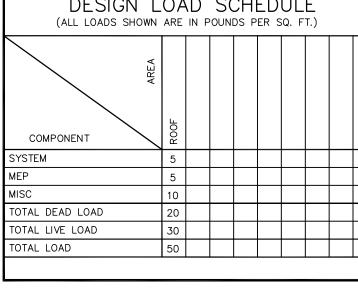
ADJACENT SLAB

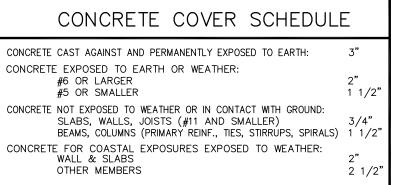
OR FILL ---

SLAB DESIGNATION -

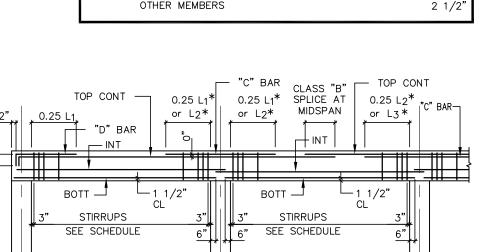








L2 (INTERIOR SPAN)



TOP BAR AT INTERIOR SUPPORT (IN ADDITION TO TOP CONT BARS) PLACE IN SAME LAYER AS TOP CONT BARS (U.O.N.). LOCATE AT RIGHT SUPPORT OF SPAN INDICATED IN SCHEDULE.

L1 (END SPAN)

SCHEDULED BEAM SIZES : [ SEE DIAGRAM A ]

TOP BAR AT EXTERIOR SUPPORT (IN ADDITION TO TOP CONT BARS) PLACE IN SAME LAYER AS TOP CONT BARS (U.O.N.). "INT" BARS: INTERMEDIATE BARS LOCATED AT A SPACING EQUAL TO THE WIDTH

OF THE BEAM BUT NOT GREATER THAN 12" ABOVE BOTT BARS. IF MORE THAN ONE PAIR, PLACE IN LAYERS OF TWO. CLASS "B" **TENSION** SPLICE (3000 PSI) #6 56" #9 105" WHICHEVER IS GREATER. INTERIOR BEAM SPANDREL BEAM NOTES

BARS. USE LAP SPLICE LENGTH OF SMALLER SIZE BAR. ( 2L ) - INDICATES BARS PLACE IN TWO LAYERS, WHERE BARS ARE PLACED IN TWO LAYERS. THE SECOND LAYER BARS MUST BE PLACED DIRECTLY UNDER BARS IN THE IRST LAYER (IF TOP BAR) OR DIRECTLY OVER BAR IN THE FIRST LAYER (IF BOTT BAR). PROVIDE 1" CLEAR DISTANCE BETWEEN LAYERS OR ONE BAR DIAMETER, WHICHEVER IS ' THE GREATER DISTANCE.

WHEN ADJACENT BEAMS OR TIE BEAMS HAVE TOP CONT BARS OF DIFFERENT SIZE,

HE TRANSITION SHOULD BE MADE AT MIDSPAN OF THE BEAM WITH SMALLER SCHEDULED

"H" INDICATES BEAM DEPTH DIMENSIÓN. LESS 1 1/2" FOR RECESS FOR BLOCK WALL DEDUCTED WHERE APPLICABLE, OR MINIMUM DEPTH IN A VARIABLE DEPTH BEAM. COORDINATE BEAM CONFIGURATION WITH ARCHITECTURAL DRAWINGS

**REVISIONS** "B" INDICATES BEAM WIDTH DIMENSION. WHEN BEAM IS OVER A BLOCK WALL, USE ACTUAL TYPICAL BEAM BAR PLACEMENT DIAGRAM 06-30-16

# NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT

6/30/16

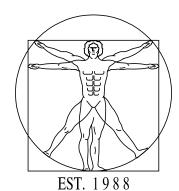
THESE ARE PROGRESS DRAWINGS, THEREFORE THEY ARE ISSUED PRIOR TO COMPLETION OF THE STRUCTURAL DESIGN, AND OTHER DESIGN DISCIPLINES. INCLUDING BUT NOT LIMITED TO ARCHITECTURAL OR MECHANICAL DESIGNS; AND AS SUCH, ARE INCOMPLETE BY NATURE FOR THE COMPREHENSIVE SCOPE OF THE PROJECT. ALLOWANCES FOR STRUCTURAL ELEMENTS REQUIRED DUE TO THE COMPLETION AND CROSS-COORDINATION OF ALL OTHER DISCIPLINES SHOULD BE MADE.





JOB # 341.110

 $\cdot$  P L A N N E R SINCORPORATED



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**CORPORATION NUMBER** AA-0002447

**RESTROOM COMMONS** PAKK

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DRAWN

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COMPENSATION TO THE ARCHITECT.



Structural Drawing Updated Based on Architectural Backgrounds Dated 6—13—16

#### GENERAL NOTES

- THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS ARE THE LEGAL PROPERTY OF THE ARCHITECT AND ARE INSTRUMENT OF SERVICE NOT TO BE REPRODUCED IN WHOLE OR IN PARTS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE SAME.
- 2. IT IS THE INTENT OF THE ARCHITECT THAT THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER AND IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES, AND REGULATIONS.
- 4. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- ALL DIMENSIONS SHOWN ARE NOMINAL UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
- 6. SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.Y.D. OR AN ELEVATION NO LESS THAN HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
- ALL DESIGN LOADS ARE TO BE AT MINIMUM PER F.B.C. 2014 AND AS OTHERWISE INDICATED IN THE CONTRACT.
- 8. ALL EXTERIOR WINDOWS & DOORS SHALL BE IMPACT RESISTANT.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED, ALL HEADERS ARE DOUBLE MEMBERS UNLESS OTHERWISE NOTED.
- 10. ALL PENETRATIONS THRU ANY RATED ASSEMBLY SHALL BE PROVIDED WITH UL APPROVED PENETRATION RATED MATERIAL
- HARDWARE, BATHROOM AND LIGHTING FIXTURES, AND OTHER MISCELLANEOUS ITEMS NOT SPECIFICALLY CALLED OUT ON DRAWINGS SHALL BE SELECTED BY OWNER.
- 12. ALL MECHANICAL, PLUMBING AND ELECTRICAL SHALL COMPLY WITH THE F.B.C. 2014 (MECH) (ELECT) (PLUMB).
- 13. ALL WORK TO BE TRUE TO LINE, PLUM AND SQUARE AND ADEQUATELY SUPPORTED. FILL ALL YOIDS BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET THE ARCHITECT'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY WORKMANSHIP WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 14. WHEN CONFLICTING INFORMATION ARE FOUND IN THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- 15. THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR DEMOLITION (IF APPLICABLE), CONSTRUCTION, AND OCCUPANCY OF THE PROJECT.
- 16. THE CONTRACTOR SHALL SUBMIT A SCHEDULE FOR DEMOLITION AND CONSTRUCTION PROCEDURES AND OPERATIONAL SEQUENCE FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT/ENGINEER AND
- CONTRACTOR IS TO COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THE WORK IS COMPLETED IN A TIMELY MANNER. COMPLYING WITH OWNER/CONTRACTOR AGREEMENT.
- 18. CONTRACTOR SHALL SUBMIT PRODUCT APPROVAL DATA FOR ALL PRODUCTS AND MATERIALS AS REQUIRED BY CODE AND SPECIFIC MUNICIPALITY THE PROJECT IS LOCATED IN.
- 19. CONTRACTOR SHALL SUBMIT, WITHIN 15 DAYS FROM OWNER/CONTRACTOR CONTRACT, A SHOP DRAWING AND SUBMITTAL SCHEDULE FOR ARCHITECT AND OWNER APPROVAL.
- 20. CONTRACTOR SUBMITTALS MUST CONTAIN (3) THREE SETS FOR ARCHITECT/ENGINEER/OWNER RECORDS, PLUS ANY ADDITIONAL SETS REQUIRED FOR PERMITTING AND CONTRACTORS USE. ALL SUBMITTALS MUST BE COMPLETE (NO PARTIAL SUBMITTALS WILL BE RECEIVED). ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTING TO THE ARCHITECT/ENGINEER AND OWNER.
- 21. CONTRACTOR SHALL SUBMIT TO ARCHITECT SIGN & SEAL TRUSS SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
- 22. CONTRACTOR SHALL PROVIDE THE ARCHITECT AND OWNER WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
- 23. ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, APPLICABLE CODES, RULES AND REGULATIONS HAVING JURISDICTION.
- 24. CONTRACTOR SHOULD MAINTAIN THE SITE SAFE AND CLEAR OF DEBRIS. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED FROM THE WORK AREAS DAILY AND FROM THE SITE AT PROPER INTERVALS.
- 25. THE CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION APPROVED BY THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- 26. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF HIS WORK, INCLUDING BUT NOT LIMITED TO VANDALISM, THEFT, ETC.
- 27. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF GOODS BEING INSTALLED UNDER THIS CONTRACT, AS WELL AS FOR COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
- 28. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES OR FOR PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT'S CONSTRUCTION.

#### 29. THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING BUILDING AND SITE CONDITIONS AND DIMENSIONS, SHOULD ANY DISCREPANCIES BE ENCOUNTERED BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE ARCHITECT/ENGINEER SHOULD BE NOTIFIED IN WRITING I DAYS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK

- 30. CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTARY MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
- 31. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- 32. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SPECIFIC STANDARDS AND REQUIREMENTS BY CORRESPONDING TESTING AGENCIES ON ASSEMBLIES CALLED OUT IN DRAWINGS \$ SPECIFICATIONS.
- 33. CONTRACTOR SHALL EMPLOY AND PAY FOR SERVICES OF AN INDEPENDENT, QUALIFIED TESTING LABORATORY TO PERFORM SOIL COMPACTION TEST AS WELL AS COMPRESSIVE STRENGTH TEST IN CONCRETE SAMPLINGS, AS PER ASTM STANDARDS.
- 34. CONTRACTOR SHALL PROVIDE MOCKUP FOR EXTERIOR AND INTERIOR FINISHES AND COLOR SELECTIONS FOR ARCHITECT AND OWNER'S APPROVAL (SEE PROJECT NARRATIVE).
- 35. TO OBTAIN ARCHITECT'S APPROVAL ON APPLICATION FOR PAYMENT, CONTRACTOR SHALL SUBMIT DETAILED SCHEDULE OF VALUES PER TRADE, BROKEN DOWN TO SUFFICIENT LINE ITEMS TO GRANT PAYMENT ON COMPLETED PORTIONS ONLY. NO PAYMENT WILL BE APPROVED ON PARTIALLY COMPLETED LINE ITEMS.
- 36. IN ADDITION TO THE GENERAL NOTES REFERRED TO ABOVE PLEASE REFER TO THE PROJECT'S DESIGN NARRATIVE FURNISHED BY THE CITY OF PALM BEACH GARDENS FOR ADDITIONAL REQUIREMENTS AND INFORMATION.

OCCUPANT LOAD CALCULATIONS:

FIRST FLOOR:

RESTROOMS

TOTAL

OCCUPANTS:

568 SF/ 50G

OCCUPANCY:		UTILITY - U		
DESCRIPTION:		REQUIRED:	PROVIDED:	
	SPECIAL OCCUPANCY CLASSIFICATIONS:	N/A	N/A	
	ALLOWABLE AREA:	5,500 SF	95Ø SF	
	AREA MODIFICATIONS:	N/A	N/A	
	BUILDING HEIGHT:	40 FT 1-STORY	±15 FT 1-STORY	
	OCCUPANCY SEPARATION:	N⁄Α	N/A	
	TENANT SEPARATION:	N/A	N/A	
TYPE OF CONST	RUCTION:	TYPE VB		
HOURLY FIRE R	ATING:	REQUIRED:	PROVIDED:	
	PRIMARY STRUCTURAL FRAME:	0	Ø	
	BEARING WALLS: EXTERIOR: INTERIOR:	0	Ø	
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	Ø	Ø	
	ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0	Ø	
MEANS OF EGRE	E <del>SS:</del>	REQUIRED:	PROVIDED:	
	OCCUPANT LOAD:	(SEE OCCUF CALCUL,		
	EGRESS WIDTH:			
	STAIRWAYS (0.3" PER OCCUPANT):	N/A	N/A	
	OTHER EGRESS COMPONENTS (Ø2" PER OCCUPANT):	N/A	N/A	
	MIN. CLEAR OPENING:	32"	32"	
	MIN. STAIR WIDTH:	N/A	N/A	
	MAX. COMMON PATH OF TRAVEL:	100 FT	Ø FT	
	MAX. TRAVEL DISTANCE:	300 FT	24 FT	
	MIN. CORRIDOR WIDTH:	N/A	N/A	
	MAX. DEAD END:	2Ø FT	Ø FT	
	NUMBER OF EXITS	1	1	
NOTES:				

AREA CALCULATIONS:					
DESCRIPTION	AREA				
EXTERIOR (COVERED)	392 SF				
INTERIOR	568 SF				
TOTAL	95Ø SF				

## ABBREVIATIONS

#### NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS SET

ABY ABOVE AIR CONDITIONER ABOVE FINISHED FLOOR

AHU AIR HANDLER UNIT BLK BLOCK BD BOARD

B.O. BOTTOM OF

CENTRE LINE CLG. CEILING CMU CONCRETE MASONRY UNITS COL. COLUMN

CONC. CONCRETE CONT. CONTINUOUS

DBL. DOUBLE DRINKING FOUNTAIN DIA. DIAMETER DN.

DRAWING

DWG

EXT.

F.C.L.

N.I.C.

NO.

S.S.

SB

SD

W.A.

WC

WD.

W.H.

STL.

EXIST.

DS

DOWNSPOUT ELEC. ELECTRICAL EXPANSION JOINT

> EXTERIOR EXISTING FINISHED CEILING LEVEL

FINISHED FLOOR LEVEL F.F.L. FLOOR DRAIN GAUGE GALV. GALYANIZED GYP. GYPSUM

HC HOLLOW CORE INSULATION

INTERIOR

MAX. MAXIMUM MFR. MANUFACTURER M.O. MASONRY OPENING MTL. METAL

> NOT IN CONTRACT NUMBER

OVERHANG ON CENTER O.D. OUTSIDE DIAMETER

> PAPER HOLDER PROPERTY LINE POUNDS PER LINEAR FOOT

PRESSURE TREATED P.T.D. PAINTED PLYWD. PLYWOOD

ROOF DRAIN SCUPPER SOLID CORE

SQUARE FOOT SINGLE HUNG SIMILAR STAINLESS STEEL STEEL SWITCH

SPLASH BLOCK STORM DRAIN

TYP. TYPICAL U.N.O. UNLESS NOTED OTHERWISE UNDERWRITERS LABORATORIES

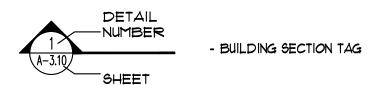
WEDGE ANCHORS WITH WATER CLOSET

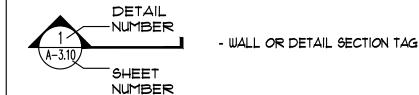
WATER HEATER

WOOD

#### ARCHITECTURAL SYMBOLS

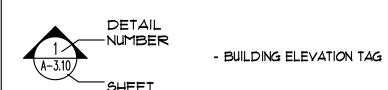
#### ELEVATIONS / SECTIONS / DETAILS SYMBOLS





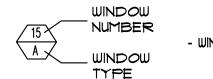
NUMBER

NUMBER



<u>PLANS</u>

- ROOM NAME AND NUMBER

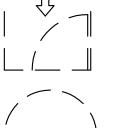


NUMBER

(104) DOOR

WINDOW TAG (REFER TO WINDOW SCHEDULE)

WALL TYPE TAG (REFER TO WALL TYPE SCHEDULE)



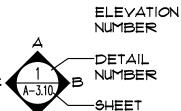
(2)----

AT DOORS IN EGRESS AREAS (FBC/ADA)

- WHEELCHAIR MANEUVERING FLOOR CLEARANCE

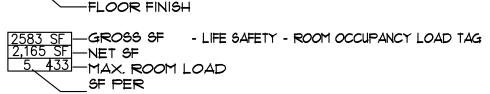
- DOOR TAG (REFER TO DOOR SCHEDULE)





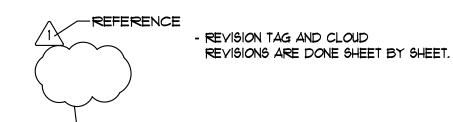
- INTERIOR ELEVATIONS TAG



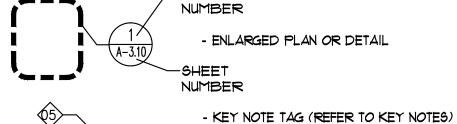




<u>GENERAL</u>



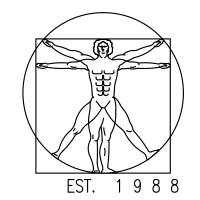
-EXTENT OF CHANGES SHOWN INSIDE CLOUD NUMBER



GENERAL NOTE: ALSO REFER TO SPECIFIC PLAN LEGEND

- FINISH TAG TOP OF WALL OR F.F.L. - VERTICAL ELEVATION TAG





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REVISIONS DATE 08-30-16 SCALE N.T.S.

MHA

MHA/REG

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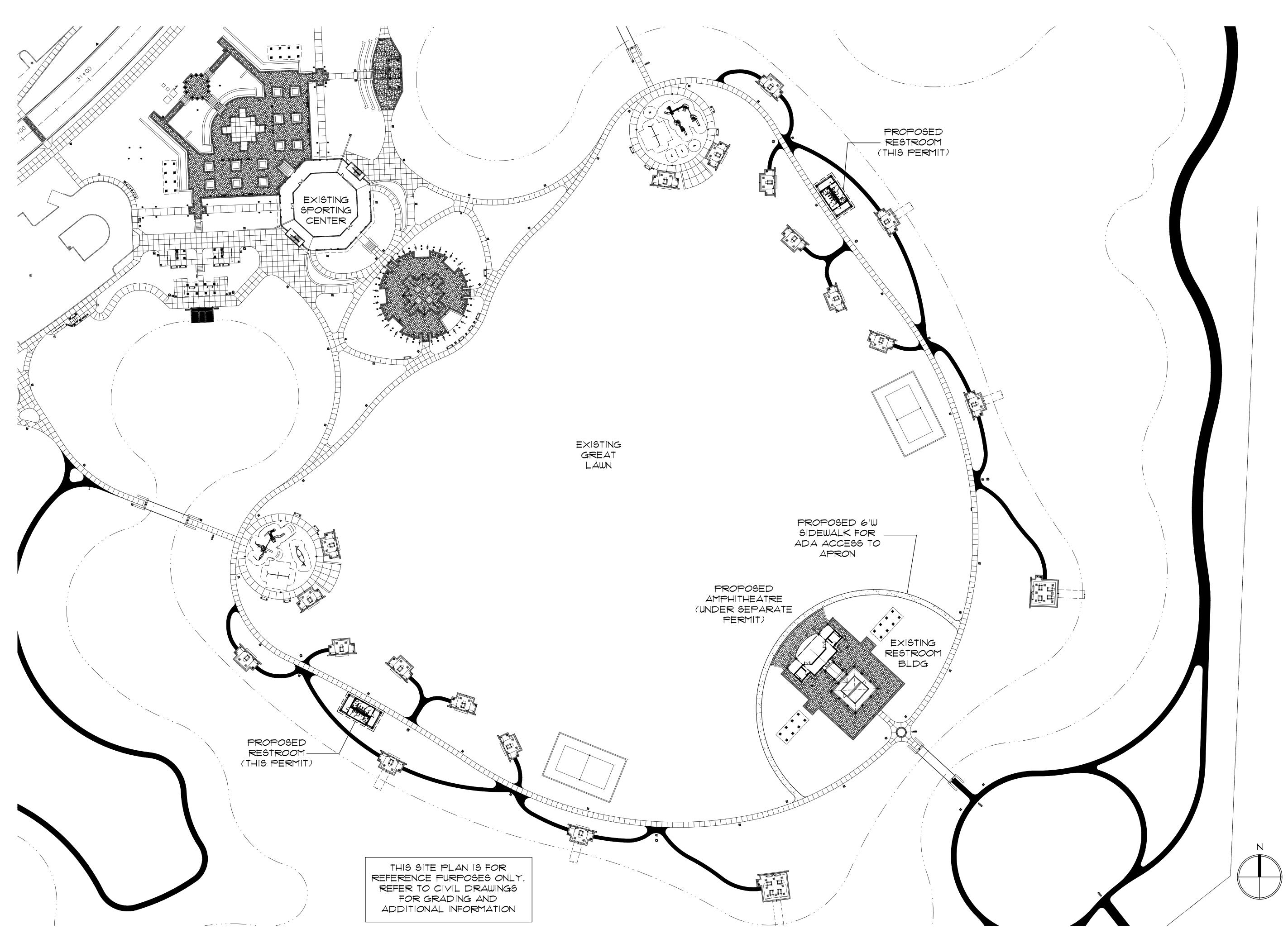
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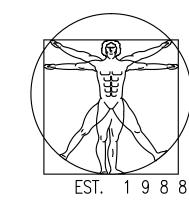
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**ARCHITECTURAI** INFORMATION SHEET

NOT FOR PERMIT







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## RESTROOM FACILITIES at COMMONS PARK

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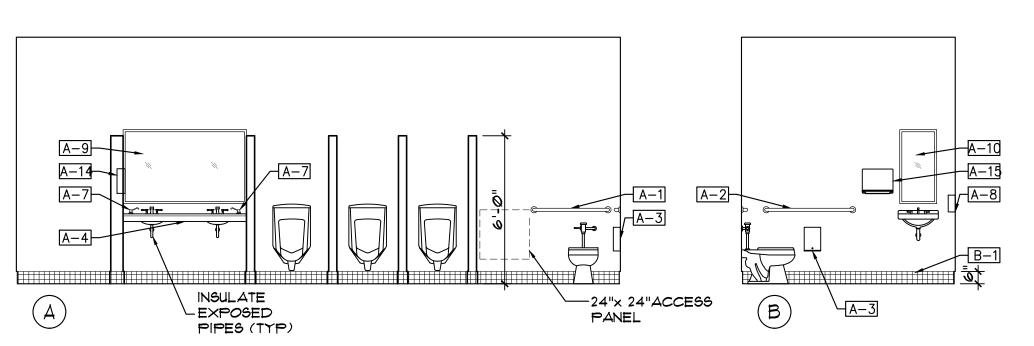
**REVISIONS** 

DATE	08-30-16
SCALE	1"=50'-(
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CHECKED	MHA/RE
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SITE PLAN

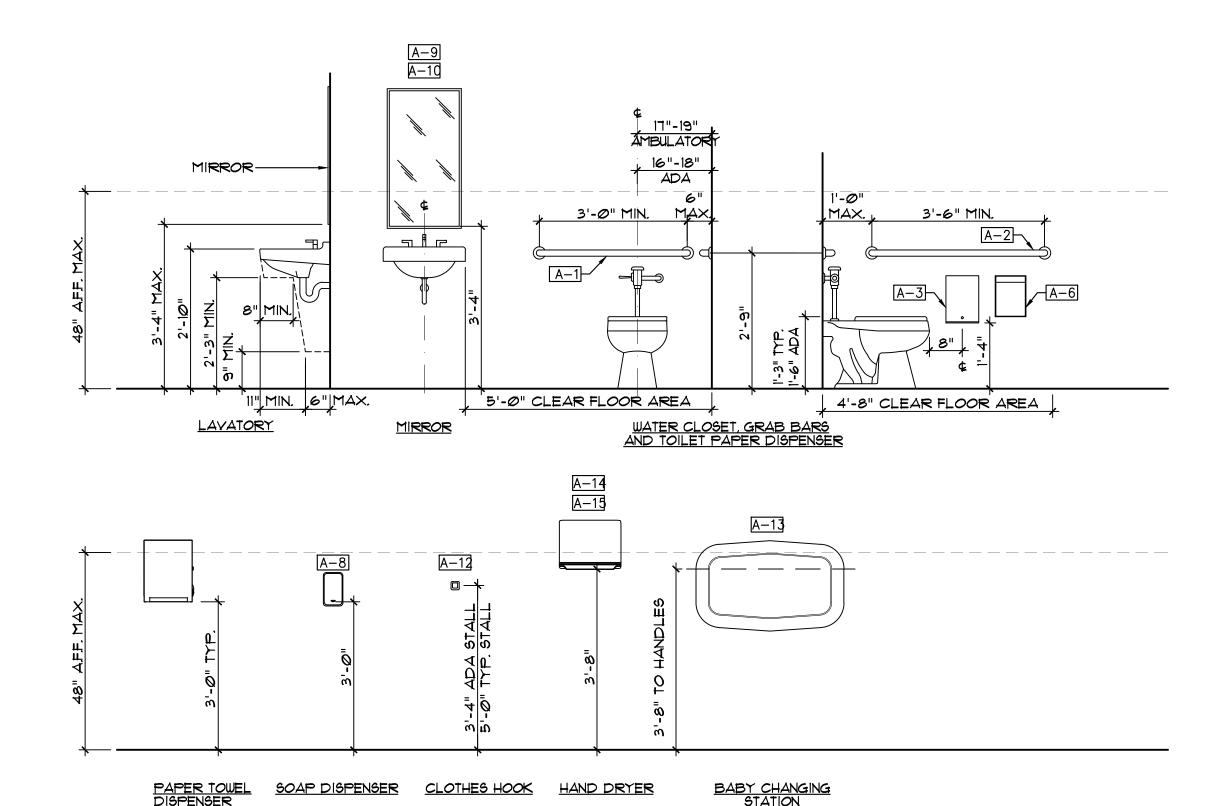
NOT FOR PERMIT 2A-0.01



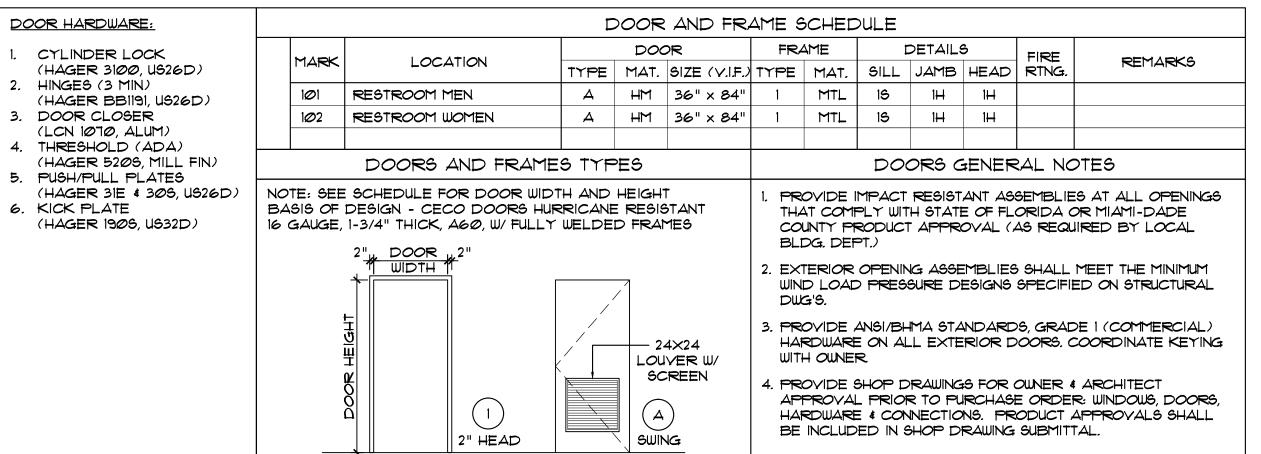
MEN'S RESTROOM INTERIOR ELEVATIONS

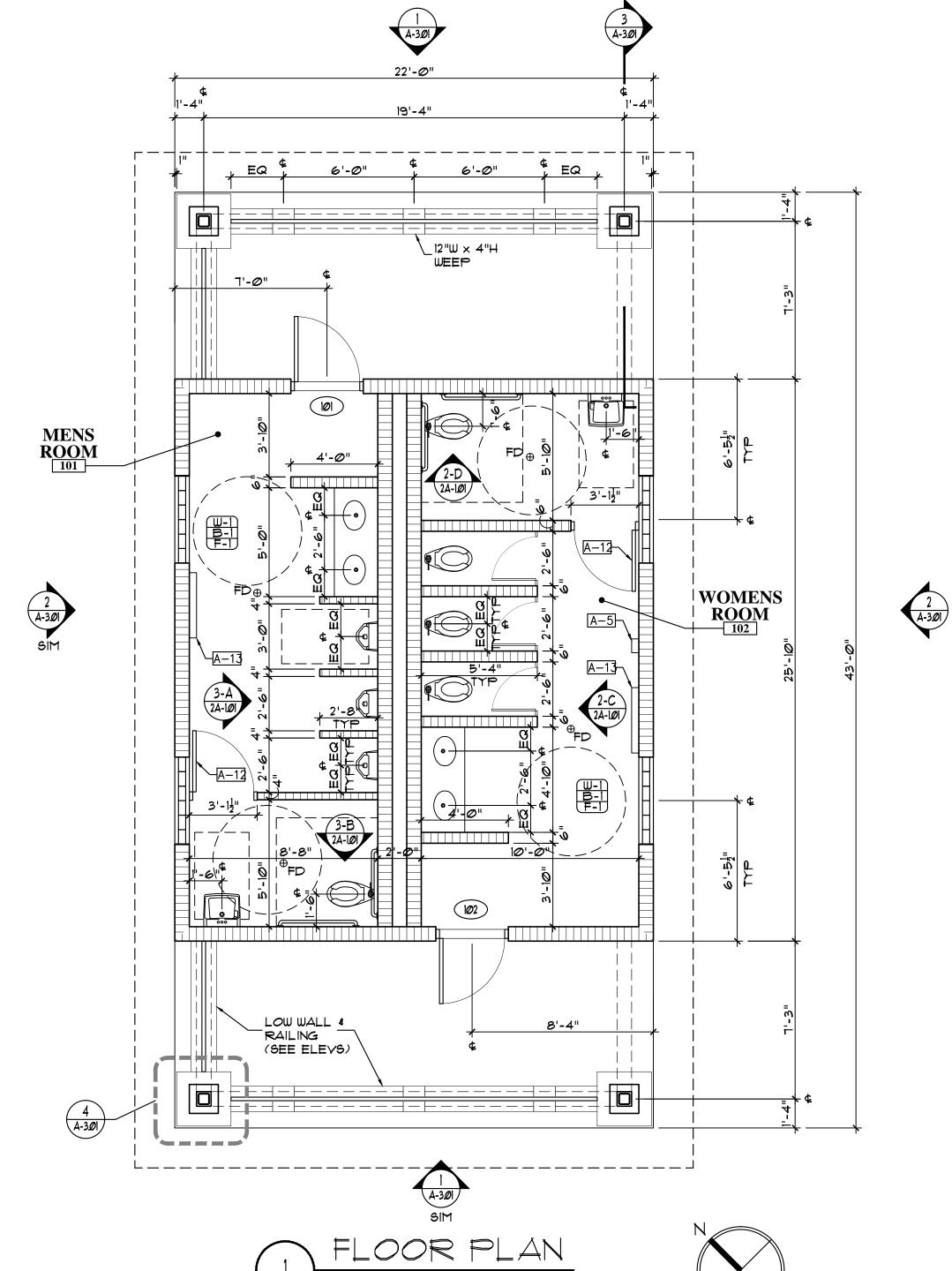
A-9 A-14 A-7 A-4	A-12 A-12 A-12 A-13 A-1 A-3 A-3	
<u>C</u>	STALL DOOR SHOWN HIDDEN FOR CLARITY 24"X 24"ACCESS CLOTHES HOOK TO BE PLACED INTERIOR PANEL OF STALL DOOR.	$ \begin{array}{c}                                     $

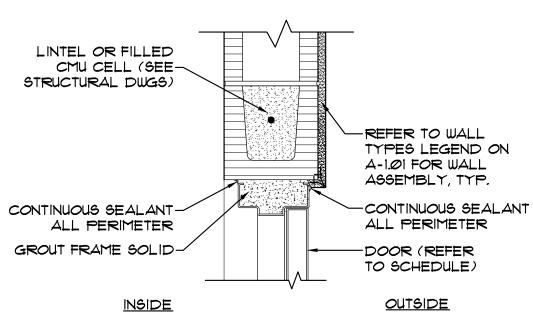
WOMEN'S RESTROOM INTERIOR ELEVATIONS



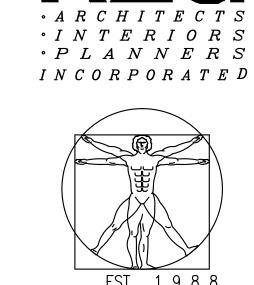
ADA ACCESSORIES MOUNTING DETAILS





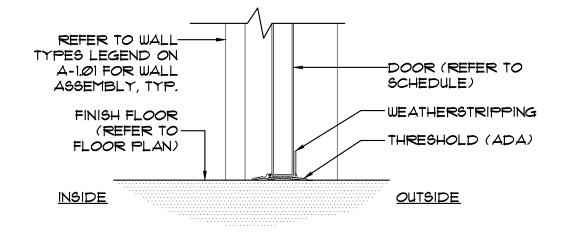




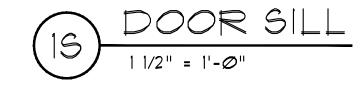


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RESTROOM **COMMONS PARK** 



INTERIOR FINISHES.

A-12 HOOK

A-10 MIRROR (18"×30")

A-11 STALL DOOR

A-8 LIQUID SOAP DISPENSER (ADA)

|A-9| MIRROR (VANITY WIDTH  $\times$  36"H)

|A-13| BABY CHANGING STATION A-14 HAND DRYER (RECESSED)

A-15 HAND DRYER (SURFACE)

WALL TYPES NOTES - ALL WALLS ARE STANDARD 8" CMU BLOCK UNLESS OTHERWISE NOTED. SEE ELEVATIONS FOR EXTERIOR FINISHES. SEE FINISH SCHEDULE FOR

- ALL INTERIOR SIDES OF BLOCK WALLS SHALL BE SKIM COATED WITH STUCCO, READY TO RECEIVE PAINT FINISH.

- UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TAKEN FROM FACE OF CMU OR CONCRETE TO FACE OF FINISH, OR FACE OF FINISH TO FACE OF PRIVISIONS

1	ISH.	REVISIONS			
AD	JACENT CMU OR C	RWISE DIMENSIONEI CONCRETE WALL TO DJACENT STUD WAL	O ROUGH DOOR O	PENING AND	
	FL	OOR FINISH	SCHEDULE		
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER	
F-1	EPOXY W/ CHEM. RESIST. TOP COAT	TRAFFIC TUFF	GRAY	NEOGARD	
	WAL	L BASE FINIS	3H SCHEDUL	E	DATE
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER	SCALE
B-1	EPOXY W/ CHEM. RESIST. TOP COAT	TRAFFIC TUFF	GRAY	NEOGARD	DRAWN
	U	UALL FINISH :	SCHEDULE		CHECKED
TAG	DESCRIPTION	REFERENCE	COLOR	MANUFACTURER	
W-1	EPOXY PAINT	SW7008	ALABASTER	SHER WILLIAMS	REG No.
W-2					© 2016
	Δ	CCESSORY	SCHEDULE		OWNERSHIP AND USE OF THESE SPECIFICATIONS AS INSTRUMENTS
TAG	DESCRI	PTION	REFERENCE	MANUFACTURER	ARE AND SHALL REMAIN THE PRI ARCHITECT WHETHER THE PROJEC
A-1	36" GRAB BAR		B-6806-36	BOBRICK	MADE FOR IS EXECUTED OR NOT NOT BE USED BY THE OWNER O
A-2	42" GRAB BAR		B-6806-42	BOBRICK	OTHER PROJECTS OR FOR ADDITI PROJECT BY OTHERS, EXCEPT BY
A-3	TISSUE DISPENSE	R	B-2888	BOBRICK	IN WRITING AND WITH APPROPRIA COMPENSATION TO THE ARCHITEC
A-4	VANITY TOPS (SO	OLID SURFACE)	9032ML	WILSONART	
A-5	FEMININE NAPKIN	DISPENSER	B-2706-25	BOBRICK	
A-6	FEMININE NAPKIN	DISPOSAL	B-27Ø	BOBRICK	
<b>A-7</b>	LIQUID SOAP DIS	PENSER	B-8226	BOBRICK	FLOOR PLA
			1	1	i

BOBRICK

BOBRICK

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KOALA KARE

AMPCO

B-2112

B-293-1830

KB200-00

B-750

B-708

SOLID (HDPE)

STAINLESS STEEL FRAME

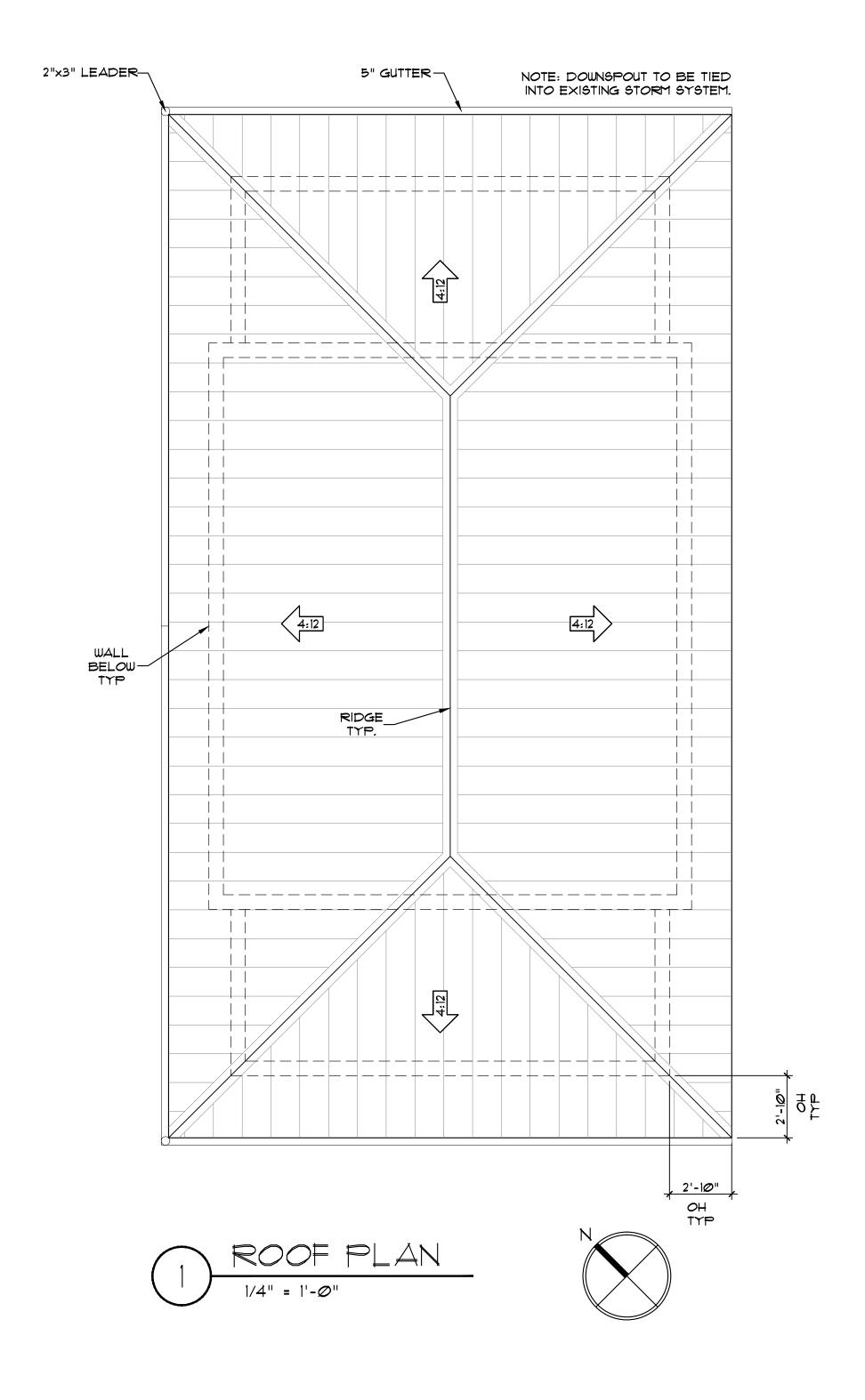
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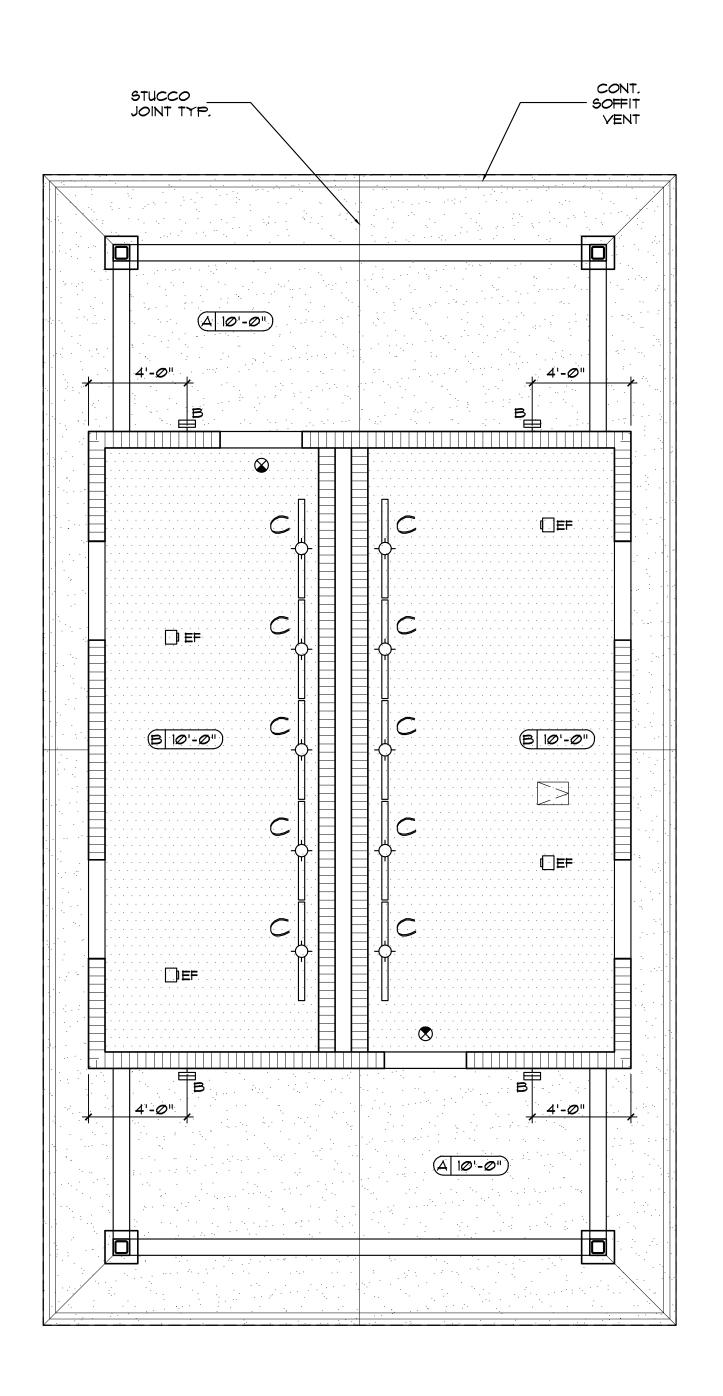
ROYAL PALM BEACH, FL 33411

DATE	08-30-16
SCALE	1/4"=1'-0"
DRAWN	MHA
CHECKED	MHA/REG
REG No.	15048
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OWNERSHIP AND USE OF SPECIFICATIONS AS INSTRU ARE AND SHALL REMAIN	

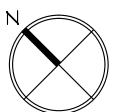
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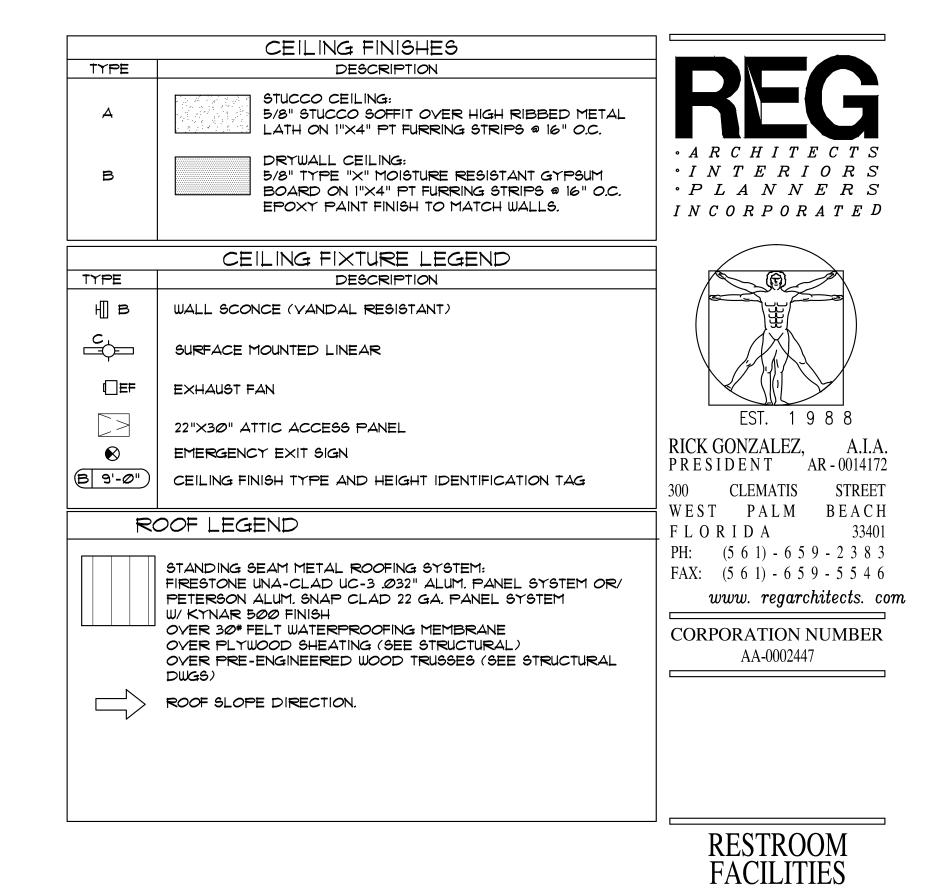
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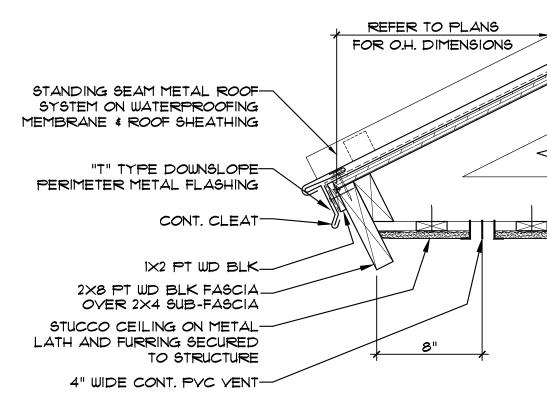




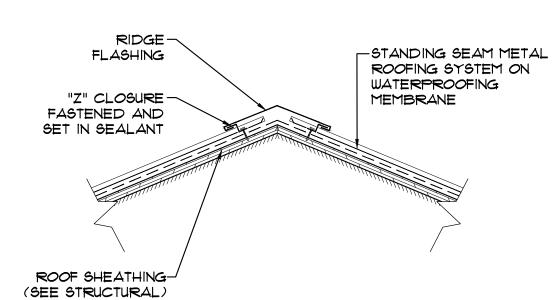




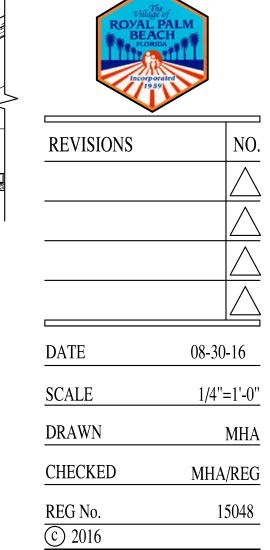












**COMMONS** 

PARK

11600 POINCIANA BLVD.

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ROOF PLAN & CEILING PLAN

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE

ARE AND SHALL REMAIN THE PROPERTY OF THE

ARCHITECT WHETHER THE PROJECT THEY ARE

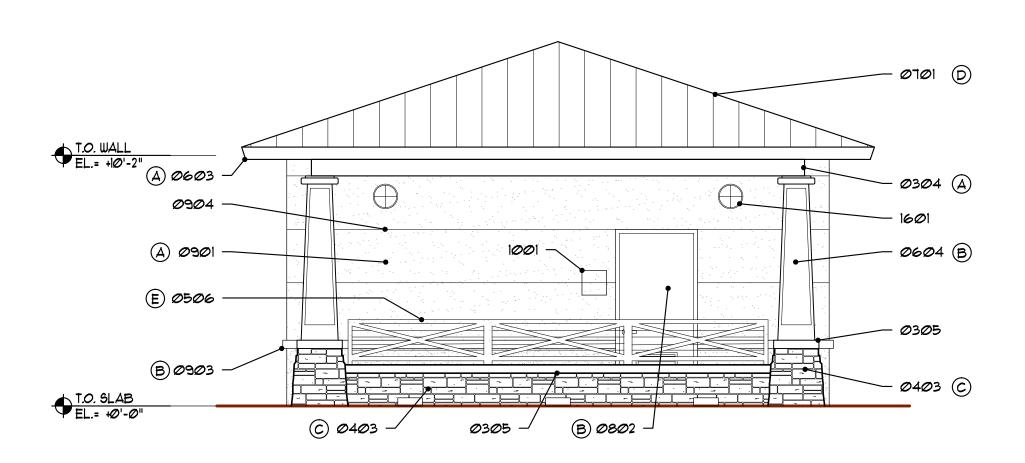
MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON

OTHER PROJECTS OR FOR ADDITIONS TO THIS

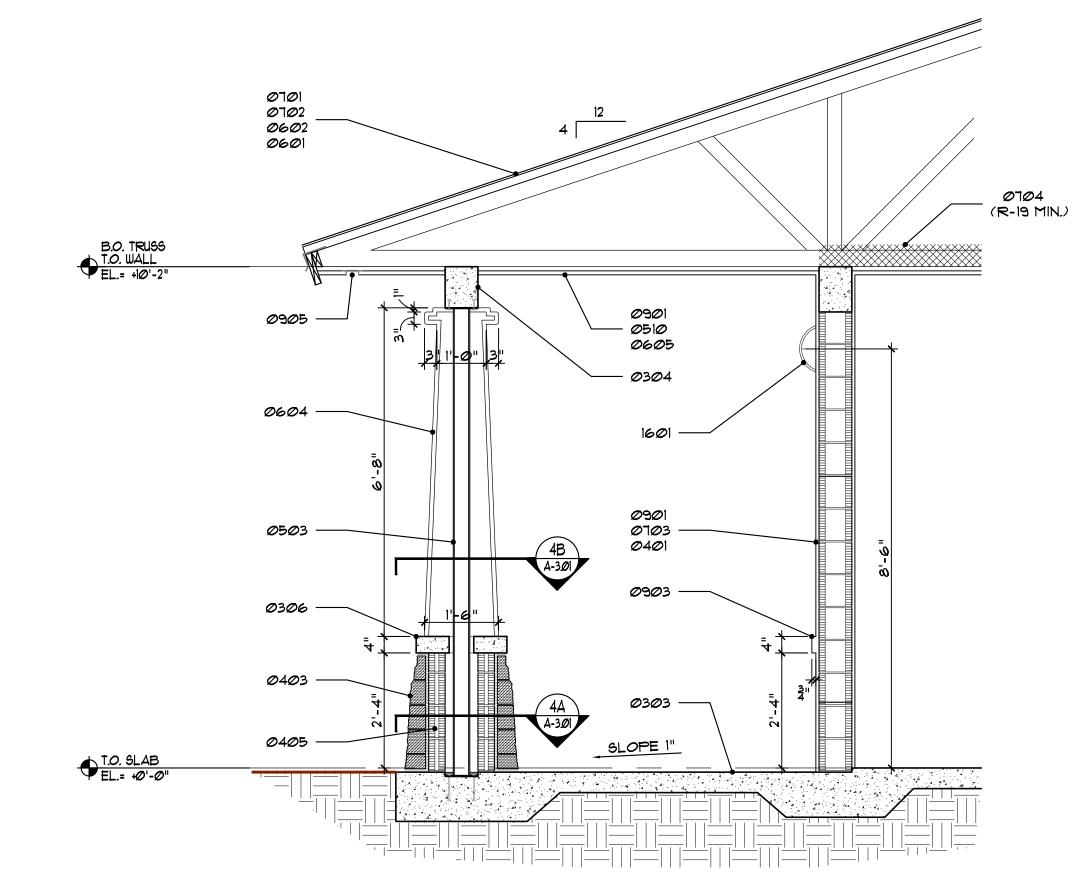
PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE

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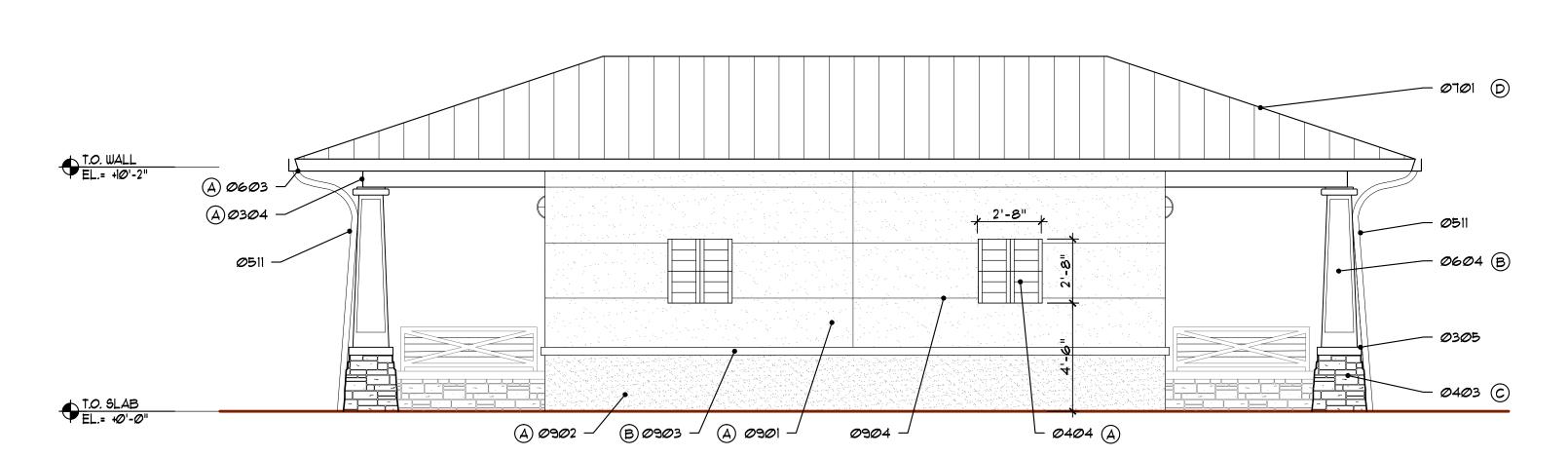
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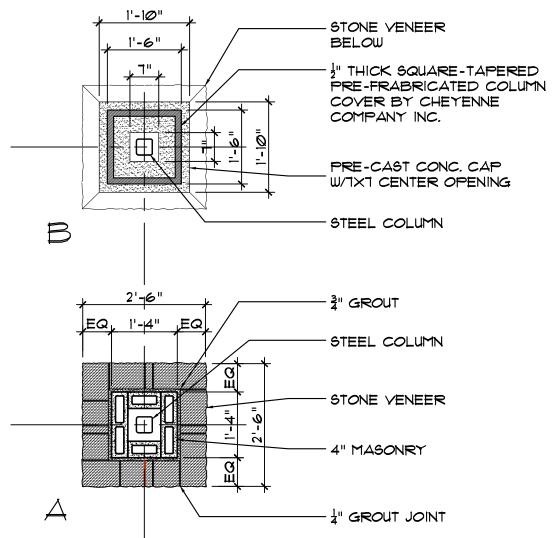




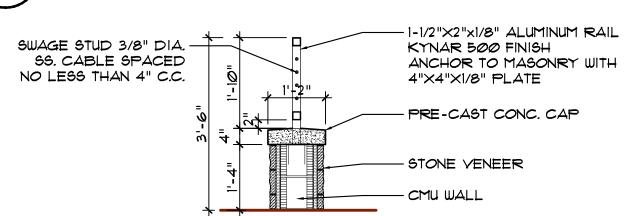
WALL SECTION (TYP)



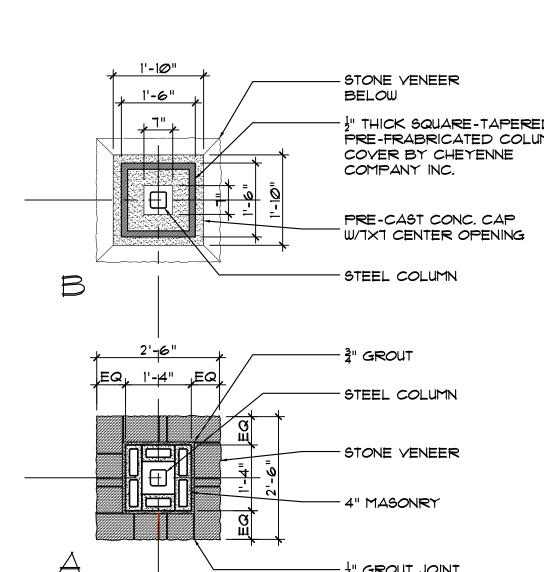


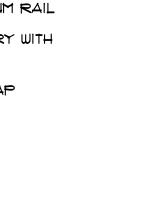


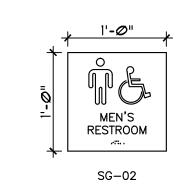




WALL/RAIL DETAIL







NOTES

KYNAR 500

KYNAR 500

RAISED LETTER, BRAILLE & SYMBOLS IN ACCORDANCE WITH ADA. WHITE BACKGROUND WITH CONTRASTING LETTERS (MATCH EXISTING) VINYL TAPE MOUNTING. HEIGHT TO BE 60" AFF. TO CENTER OF SIGN. LOCATION ADJACENT TO DOOR OPENING SIDE (SEE ELEVATIONS) SUBMIT SHOP DRAWINGS FOR ARCHITECT/OWNER APPROVAL.

ELEVATIONS/SECTIONS/DETAILS KEY NOTES

<u>DIVISION Ø1 - GENERAL NOTES</u>

0202 - CONCRETE SIDEWALK

0203 - CONCRETE PAVERS

0301 - CONCRETE FOOTING

0305 - PRE-CAST CONCRETE CAP

0404 - CONCRETE BLOCK LOUVERS

DIVISION 06 - WOOD AND PLASTICS

0605 - WOOD FURRING/BLOCKING

0602 - SHEATHING (REFER TO STRUCTURAL)

0702 - WATERPROOFING ROOF MEMBRANE

0705 - SPRAY APPLIED FOAM INSULATION

0801 - EXTERIOR IMPACT RESISTANT WINDOW 0802 - EXTERIOR IMPACT RESISTANT DOOR

0804 - PRE-FINISHED ALUMINUM FRAMED SCREEN

0803 - INTERIOR DOOR AND FRAME

0901 - 5/8" SMOOTH STUCCO, PAINTED 0902 - 5/8" TEXTURED STUCCO, PAINTED 0903 - STUCCO TRIM / MOLDING / BAND

0907 - METAL FRAME SCREEN ENCLOSURE 0908 - METAL LOUVER PRIVACY PANEL

0913 - FINISH CEILING (SEE CEILING PLAN)

0915 - MILLWORK (SEE INTERIOR ELEVATIONS)

1501 - AC UNIT (REFER TO MECHANICAL)

1502 - LOUYER (REFER TO MECHANICAL)

AND DO NOT REFLECT SPECIFICATIONS SECTIONS

SYMB. COLOR / MATERIAL | MANUFACTURER |

(E) BURGUNDY RAL #3004 UNA-CLAD OR

WOMEN'S

RESTROOM

SG-01

0914 - FLOOR FINISH (SEE FINISH PLAN)

0501 - STEEL JOIST (REFER TO STRUCTURAL)

0502 - STEEL BEAM (REFER TO STRUCTURAL) 0503 - STEEL COLUMN (REFER TO STRUCTURAL)

0504 - METAL DECKING (REFER TO STRUCTURAL)

0505 - METAL ANGLE ( REFER TO STRUCTURAL)

Ø4Ø5 - 4" CONCRETE BLOCK

Ø5Ø7 - 3 5/8" METAL STUDS

0508 - 1 1/2" METAL FURRING

0509 - 6" METAL STUDS

0704 - BATT INSULATION

<u> DIVISION Ø9 - FINISHES</u>

0904 - CONTROL JOINT

0909 - DRIP EDGE

0910 - WEEP SCREED

DIVISION 10 SPECIALTIES 1001 - IDENTITY SIGNAGE

DIVISION 15 - MECHANICAL

DIVISION 16 ELECTRICAL

A NAVAJO WHITE SW6126

© MOUNTAIN STRIP STONE S220

B ALABASTER SWIDOS

(D) CITYSCAPE

(F)

0905 - 4" WIDE SCREEN VENT

Ø51Ø - METAL LATH

Ø511 ALUMINUM GUTTER

0302 - CONCRETE COLUMN 0303 - CONCRETE SLAB

0304 - CONCRETE BEAM

<u>DIVISION Ø4 - MASONRY</u>

0403 - STONE VENEER

DIVISION 05 - METALS

DIVISION 02 - SITE CONSTRUCTION (REFER TO CIVIL)

DIVISION Ø3 - CONCRETE (REFER TO STRUCTURAL)

0306 - CAST-IN-PLACE CONCRETE STAIR (REFER TO STRUCTURAL)

0506 - PRE-FINISHED ALUMINUM RAILING/ GUARDRAIL (REFER TO DETAILS)

0601 - PRE-ENGINEERED WOOD ROOF TRUSSES (REFER TO STRUCTURAL)

0703 - CEMENTITIOUS WATERPROOFING MEMBRANE (THOROSEAL OR EQ.)

0603 - PAINTED CEDAR FASCIA (REFER TO ROOF DETAILS) 0604 - PRE-FABRICATED FIBERGLASS COLUMN "JACKET"

DIVISION Ø7 - THERMAL AND MOISTURE PROTECTION 0701 - STANDING SEAM METAL ROOFING SYSTEM

0706 - METAL FLASHING (REFER TO ROOF DETAILS)

0906 - PRE-FINISHED FAUX WOOD OUTLOOKER / BRACKET

0911 - 5/8" GYPSUM BOARD (REFER TO WALL TYPES SCHEDULE) 0912 - STUD PARTITION (REFER TO WALL TYPES SCHEDULE)

1601 - EXTERIOR WALL MOUNTED LIGHT FIXTURE. (REFER TO LIGHTING)

GENERAL NOTE: THE KEY NOTES SHOWN ARE FOR REFERENCE ONLY

COLOR / MATERIAL SCHEME

CORONADO

FIRESTONE

UNA-CLAD

PAC-CLAD

NOTES

SHERWIN WILLIAMS | FLAT FINISH

SHERWIN WILLIAMS FLAT FINISH

DIVISION 08 - DOORS AND WINDOWS (REFER TO SCHEDULE)

0401 - CONCRETE MASONRY WALL (REFER TO STRUCTURAL)

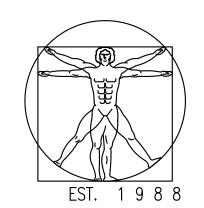
0402 - CONCRETE MASONRY COLUMN (REFER TO STRUCTURAL)

GENERAL NOTES ØI

0201 - GRADE

Ø1Ø2

 $\cdot$  I N T E R I O R S $\cdot$  P L A N N E R SI N C O R P O R A T E D



RICK GONZALEZ, A.I.A. PRESIDENT AR - 0014172 300 CLEMATIS STREET WEST PALM BEACH FLORIDA PH: (5 6 1) - 6 5 9 - 2 3 8 3 FAX: (5 6 1) - 6 5 9 - 5 5 4 6 www. regarchitects. com

CORPORATION NUMBER AA-0002447

**AMPHITHEATRE COMMONS** 

11600 POINCIANA BLVD.

ROYAL PALM BEACH, FL 33411 **REVISIONS** 

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> BUILDING **ELEVATIONS** & SECTIONS

NOT FOR PERMIT

#### HVAC GENERAL NOTES

- 1. HVAC DRAWINGS ARE DIAGRAMMATICAL IN NATURE: DO NOT SCALE FOR EXACT LOCATIONS. THE AIR CONDITIONING CONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS, AND TRANSITIONS AS REQUIRED TO PROVIDE A COMPLETE AND FULLY OPERATIVE SYSTEM.
- 2. DUE TO DRAWINGS BEING DIAGRAMMATICAL IN NATURE, RISERS AND DROPS ARE NOT SHOWN - CONTRACTOR SHALL INCLUDE THESE IN THE BID. WHERE POSSIBLE ALL RISERS AND DROPS SHALL BE CONSTRUCTED USING 45 DEGREE OR LONG RADIUS ELBOWS.
- 3. PROVIDE AND INSTALL NECESSARY DUCTWORK TRANSITIONS AND PIPING INCREASERS/REDUCERS AS REQUIRED FOR EQUIPMENT CONNECTIONS. CONSULT MANUFACTURER'S DATA FOR ACTUAL DUCTWORK AND PIPING CONNECTIONS SIZES, INCLUDING, BUT NOT LIMITED TO THOSE SHOWN.
- 4. IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR FOR THE ADVANCED ORDERING OF LONG LEAD ITEMS SO THAT DELIVERY WILL NOT INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
- 5. IT SHALL BE THE RESPONSIBILITY OF THE AIR CONDITIONING CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK SHOWN AND/OR NOTED ON THE DRAWINGS.
- 6. ALL DIMENSIONS ARE IN PHYSICAL UNITS OF INCHES UNLESS OTHERWISE
- 7. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF DUCT SIZE CHANGES ARE REQUIRED BECAUSE OF EXISTING CONDITIONS.
- 8. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, TESTS, AND ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- 9. AFTER BID SELECTION AND PRIOR TO COMMENCEMENT OF WORK, THE AIR CONDITIONING CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DUCT WORK, EXHAUST FANS, AIR DEVICES, AND EQUIPMENT AS STATED ON SCHEDULES AND OR NOTES. AHRI CERTIFICATES FOR ALL EQUIPMENT SHALL BE INCLUDED IN THE SUBMITTAL PACKAGE. IF THE CONTRACTOR PROPOSES TO USE ANY ARTICLE, DEVICE, PRODUCT, OR MATERIAL WHICH IS NOT AS SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVE TO THE ENGINEER THAT THE PROPOSED SUBSTITUTION IS EQUAL AND WILL FIT ALLOCATED SPACE.
- 10. LOCATION OF AIR CONDITIONING DUCTS AND AIR DEVICES MAY CHANGE. VERIFY EXACT LOCATION WITH ARCHITECT/ENGINEER PRIOR TO INSTALLATION. DRAWINGS ARE DIAGRAMMATIC, DO NOT SCALE FOR THE EXACT LOCATION OF DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF AIR DEVICES.
- 11. PROVIDE MANUAL VOLUME DAMPERS AT ALL LOW PRESSURE BRANCH DUCTS TO INDIVIDUAL DIFFUSERS AND GRILLES AND TO ALL LOW PRESSURE BRANCH DUCTS TO REHEAT COILS. PROVIDE DAMPERS AS CLOSE AS POSSIBLE TO BRANCH CONNECTION TO MAIN. SEE DIFFUSER AND GRILLE SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 12. NO PIPING, DUCTWORK, OR CONDUIT SHALL BE INSTALLED UNTIL IT IS COORDINATED WITH ALL OTHER TRADES AFFECTED. PROVIDE ALL OFFSETS REQUIRED TO AVOID INTERFERENCE WITH OTHER TRADES; EXISTING CONDITIONS AND WITH THE STRUCTURE, INCLUDING, BUT NOT LIMITED TO, THOSE SHOWN.
- 13. DO NOT BLOCK TUBE PULL OR SERVICE SPACE ON EQUIPMENT WITH PIPING, DUCTWORK, ETC.. (FLANGED OR REMOVABLE SECTIONS MAY BE USED IN SOME INSTANCES WHERE TIGHT CLEARANCES EXISTS).
- 14. IF NO SIZE IS SHOWN FOR DUCT SERVING DIFFUSER OR GRILLES, USE SIZE SHOWN ON DIFFUSER AND GRILLE SCHEDULE.
- 15. DUCTWORK ROUTED PARALLEL TO A WALL, RATED OR CORRIDOR SHALL BE INSTALLED WITH MINIMUM 6" CLEARANCE TO ALLOW FOR INSPECTION OF WALL PENETRATIONS. CONTRACTOR SHALL PROVIDE 12" CLEARANCE WHERE POSSIBLE, COORDINATE.
- 16. REFER TO DETAIL SHEETS AND SPECIFICATIONS FOR ADDITIONAL INSTALLATION REQUIREMENTS.
- 17. PROVIDE TEMPORARY FILTERS ON ALL RETURN AIR GRILLES AND TRANSFER OPENINGS IN THE WORK AREA.
- 18. INSTALL AHU CONTROL PANELS TO PROVIDE FOR 3'-0" MIN. CLEARANCE IN FRONT OF PANEL.
- 19. UNLESS OTHERWISE NOTED ON PLANS, LOW RETURN AIR GRILLES AND LOW EXHAUST GRILLES SHALL BE 6" TO 8" A.F.F. TO BOTTOM OF GRILLE.
- 20. ALL DIFFUSERS IN SAME SPACE SHALL HAVE THE SAME FULL FACE SIZE USING LARGEST SIZE REQUIRED FROM DIFFUSER AND GRILLE SCHEDULE.
- 21. PROVIDE CLEAR ACCESS TO FIRE DAMPERS, SMOKE DAMPERS, AND

VALVES.

- 22. ALL WORK SHALL BE PERFORMED BY A LICENSED AIR CONDITIONING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES.
- 23. THE AIR CONDITIONING CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR TO ORIGINAL CONDITION ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS CAUSED BY THE CONTRACTOR DURING THE PERFORMANCE OF WORK.

- 24. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- 25. THE PLUMBING CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS PER PLUMBING SPECIFICATIONS. (SEE PLUMBING SHEETS)
- 26. COMBUSTIBLE PIPING IS NOT PERMITTED IN RETURN AIR PLENUMS OR CEILING SPACES USED FOR RETURN AIR.
- 27. THE AIR CONDITIONING CONTRACTOR SHALL USE RADIUS TURNS WITH A 1.5 CENTERLINE TO WIDTH RATIO (1.5 R/W), VANED ELBOWS, SPLITTER DAMPERS WHERE INDICATED, VOLUME CONTROLS IN ALL BRANCH LINES AND SUPPLY AND RETURN AIR DEVICES UNLESS (OTHERWISE NOTED IN AIR DEVICE SCHEDULE).
- 28. THE AIR CONDITIONING CONTRACTOR SHALL SEAL ALL DUCTS IN AN APPROVED MANNER TO INSURE AGAINST LEAKAGE.
- 29. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID ANY CONFLICTS IN LOCATIONS FOR DUCTS, DIFFUSERS, GRILLES, REGISTERS, PIPING, EQUIPMENT, ETC., IN ORDER TO NOT INTERFERE WITH THE PROGRESS OF CONSTRUCTION.
- 30. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE FLEXIBLE DUCT CONNECTIONS TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT, EXCEPT FOR EXHAUST HOODS.
- 31. UNLESS NOTED AS EXISTING TO BE REUSED (E) OR RELOCATED (RE), ALL EQUIPMENT, PIPING, DUCTS, REGISTERS, ETC., SHALL BE NEW.
- 32. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR UNDERWRITERS LABEL (UL) WHERE APPLICABLE.
- 33. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE ALL CONTRACTORS, STARTERS, RELAYS, AND THERMOSTATS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS, POWER WIRING AND CONTROL WIRING, UNLESS NOTED OTHERWISE.
- 34. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE 1" THICK MERV 8 (THROW-AWAY TYPE) FILTERS WITH EACH A/C UNIT (UON).
- 35. ALL PENETRATIONS OF FIRE-RATED WALLS, FLOORS OR CEILINGS SHALL BE FIREPROOFED BY A SEALING METHOD AND RATING AS SPECIFIED ON THE DRAWINGS OR AS REQUIRED BY THE LOCAL OR STATE CODES.
- 36. AIR HANDLING DEVICES IN EXCESS OF 2000 CFM WILL HAVE A DUCT SMOKE DETECTOR TO STOP THE FAN AND ACTIVATE A HORN AND STROBE LIGHT. ALL EQUIPMENT SHALL BE INTERLOCKED AS REQUIRED BY LOCAL CODES OR FIRE SAFETY OFFICIALS.
- 37. ALL WORK SHALL COMPLY WITH BASE BUILDING LIFE SAFETY/SMOKE CONTROL SYSTEM REQUIREMENTS. PROVIDE ALL NECESSARY WIRING, CONTRACTORS, RELAYS, ETC., AS REQUIRED FOR INTERFACE WITH BASE BUILDING SYSTEM.
- 38. THE AIR CONDITIONING CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED. FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- 39. THE AIR CONDITIONING CONTRACTOR SHALL PROVIDE A COMPLETE SET OF AS BUILT DRAWINGS TO THE ENGINEER UPON COMPLETION OF INSTALLATION. IF FIELD CHANGES ARE MADE WHICH DEVIATE FROM ENGINEERING DRAWINGS TO THE EXTENT THAT THE BUILDING DEPARTMENT REQUIRES THESE CHANGES BE INCORPORATED PRIOR TO INSPECTION, THE CONTRACTOR SHALL PROVIDE SKETCHES TO THE ENGINEER FOR INCORPORATION INTO THE BUILDING PLANS. ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THAT CONTRACTOR.
- 40. AIR CONDITIONING CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP TO BE FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF ACCEPTANCE, AND ALL GUARANTEES AND WARRANTIES SHALL BE DELIVERED TO THE OWNER. COMPRESSORS SHALL HAVE EXTENDED FIVE YEAR WARRANTIES.
- 41. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF ALL EQUIPMENT WITH THE OWNER'S REPRESENTATIVE AND THE ACTUAL EQUIPMENT BEING FURNISHED.
- 42. ALL ROOF MOUNTED EQUIPMENT SHALL BE HVHZ WIND-LOAD RATED WITH SIGNED AND SEALED DOCUMENTS / DRAWINGS FROM AN INDEPENDENT LICENSED FLORIDA PROFESSIONAL ENGINEER.
- 43. ALL ROOF MOUNTED EQUIPMENT SHALL BE MOUNTED ON CURBS OR STANDS. CURBS AND STANDS AND SHALL BE FLORIDA PRODUCT APPROVED OR MIAMI DADE PRODUCT APPROVED WITH CURRENT NOTICE OF ACCEPTANCE (NOA). CURBS AND STANDS SHALL BE ATTACHED TO THE ROOF STRUCTURE AND THE EQUIPMENT SHALL BE ATTACHED TO THE CURB OR STAND IN ACCORDANCE WITH THE NOA DOCUMENTS.
- 44.IF ANY CONFLICTS OR DISCREPANCIES APPEAR IN THESE DOCUMENTS, THE MORE STRINGENT OF THE REQUIREMENTS ARE TO BE TAKEN.

#### CONTRACTOR GENERAL CONDITIONS NOTES

- RFI'S: CONTRACTOR SHALL SUBMIT RFI'S WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
- SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- 4. LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS. PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
- DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.

SCOPE OF WORK

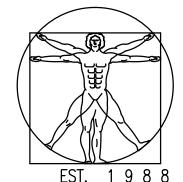
THIS PROJECT CONSISTS OF A NEW CONSTRUCTION PUBLIC RESTROOM.

MECHANICAL WORK INCLUDING BUT NOT LIMITED TO NEW VENTILATION.

- 6. SUBSTITUTIONS:
- A. CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION. INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
- B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
- C. PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME.
- D. PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT. IN THE CONTRACTOR'S OPTION. AFTER THOROUGH EVALUATION. THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
- E. CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR.
- AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
- INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

	MECHANICAL SHEET INDEX
SHEET#	DESCRIPTION
M0.1	MECHANICAL SCHEDULES, GENERAL NOTES & LEGENDS
M1.2	RESTROOM MECHANICAL PLAN
M5.1	MECHANICAL DETAILS AND SPECIFICATIONS





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www. regarchitects. com CORPORATION NUMBER

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REVISIONS	NO.
DATE	06-30-16
SCALE	AS NOTED

CHECKED DA/SR REG No. 16028 c) 2016

DRAWN

RB/FR/JS

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> RESTROOM MECHANICAL PLAN

FAN SCHEDULE

1 FAN 1	) FAN TO BE INTERLOCKED WITH TIMER, COORDINATE WITH ELECTRICAL														
TAG	MANUFACTURER	MODEL	LOCATION	CFM	E.S.P. (IN W.C.)	VOLTAGE (V/PH/Hz)	OPERATING POWER (W)	RPM	WHEEL SIZE	dBA	DRIVE TYPE	DUCT SIZE CONNECTION	REMARKS		
EF-1	GREENHECK	SP-A250	CEILING	250	0.25	115/1/60	67	1000	-	-	DIRECT W/ SPEED CONTROL	8"Φ	1		
EF-2	GREENHECK	SP-A250	CEILING	250	0.25	115/1/60	67	1000	-	-	DIRECT W/ SPEED CONTROL	8"Φ	1		
EF-3	GREENHECK	SP-A250	CEILING	250	0.25	115/1/60	67	1000	-	-	DIRECT W/ SPEED CONTROL	8" <b>ø</b>	1		
EF-4	GREENHECK	SP-A250	CEILING	250	0.25	115/1/60	67	1000	-	-	DIRECT W/ SPEED CONTROL	8"ø	1		

PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

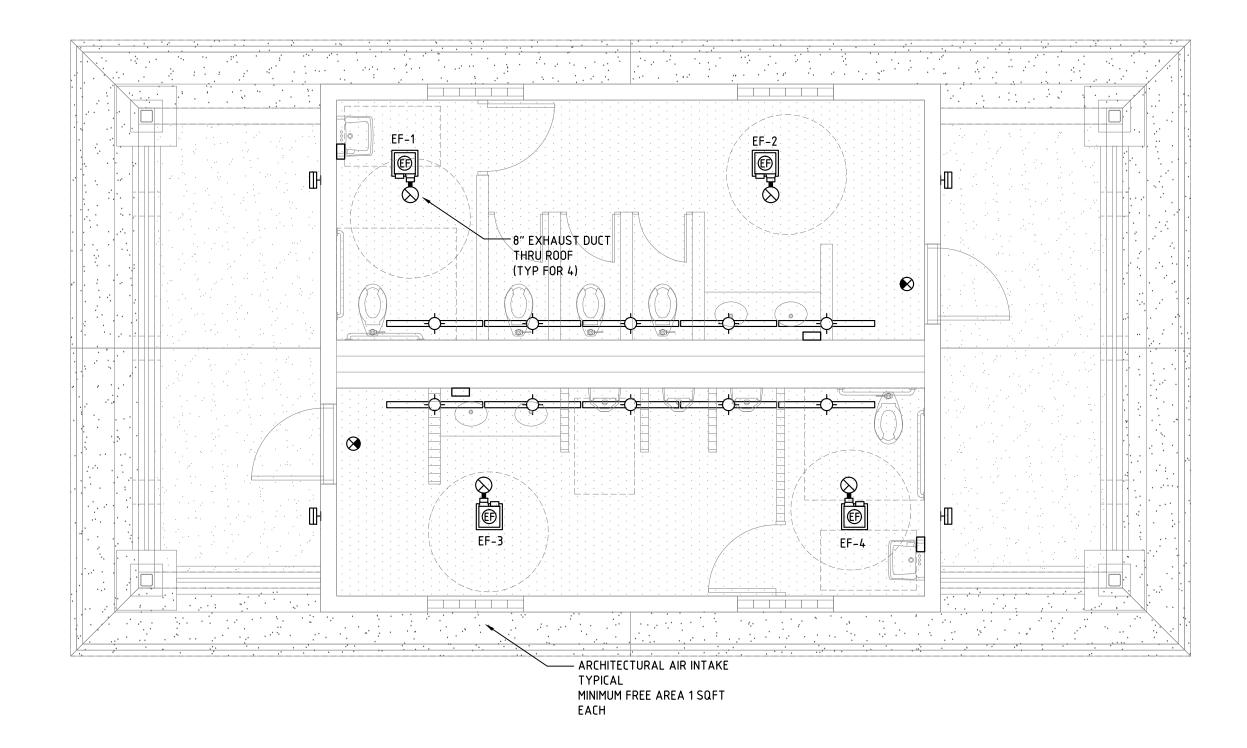
INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

700 WEST HILLSBORO BLVD. - BLDG. #1, SUITE 204 PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DEERFIELD BEACH, FLORIDA 33441 TEL: (561) 391-9292 FAX: (561) 391-9898 CERTIFICATE OF AUTHORIZATION NO. 28107 URSULA IAFRATE, P.E. LICENSE #73122 STEPHEN F. ROLLIN, P.E. LICENSE #36428 DONALD H. AUSTIN, JR., PE LICENSE #60651 JASON BARBER, P.E. LICENSE #73050 E-MAIL: INFO@FAECONSULTING.COM

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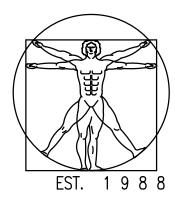
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RICK GONZALEZ, A.I.A. PRESIDENT AR - 0014172 300 CLEMATIS STREET WEST PALM BEACH FLORIDA PH: (5 6 1) - 6 5 9 - 2 3 8 3 FAX: (5 6 1) - 6 5 9 - 5 5 4 6

www. regarchitects. com CORPORATION NUMBER AA-0002447

> RESTROOM FACILITIES COMMONS PARK

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411

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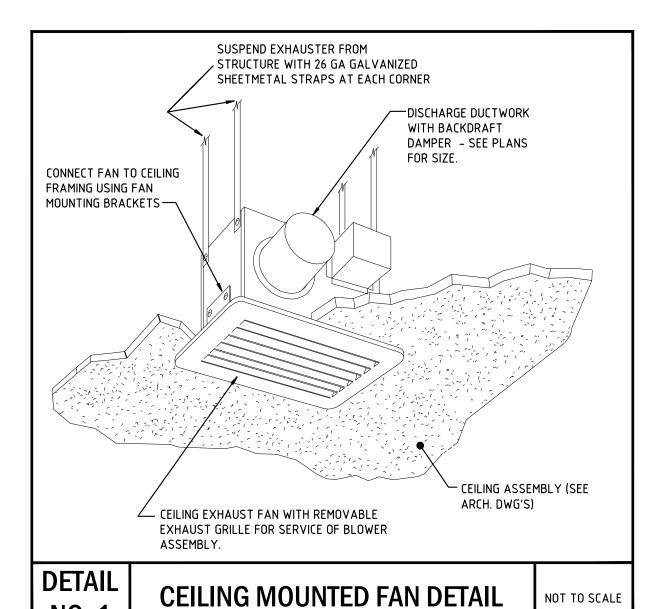
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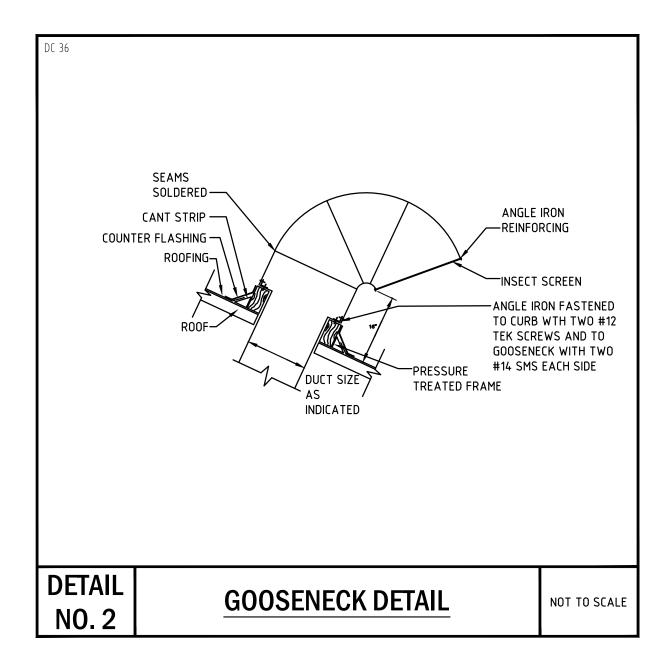
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OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON

OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE

COMPENSATION TO THE ARCHITECT.





15010 - BASIC MECHANICAL REQUIREMENTS
A. CODES & REFERENCES

1. FLORIDA BUILDING CODE 2014 (WITH AMENDMENTS)

2. SMACNA 3. NFPA 101

4. NFPA 90A 5. NFPA 99

#### B. SCOPE OF WORK

- 1. PROVIDE ALL REQUIRED PERMITS, LABOR, MATERIAL AND EQUIPMENT REQUIRED TO COMPLETE THE SCOPE OF THE PROJECT SHOWN ON THE DRAWINGS AND READY FOR OCCUPANCY AND USE BY OWNER. THE WORK SHALL INCLUDE BUT IS NOT LIMITED TO:
- a. REMOVAL, RELOCATION AND RE-INSTALLATION OF EXISTING
- EQUIPMENT AND SYSTEM

  b. CONNECTIONS TO EXISTING OR NEW EQUIPMENT AND SYSTEMS
- c. MODIFICATION OF EXISTING CHILLED OR HOT WATER SYSTEMS, STEAM SYSTEMS, CONDENSATE DRAINAGE, DUCTWORK, TEMPERATURE CONTROLS AND LIFE-SAFETY SYSTEMS
- d. CUTTING AND PATCHING TO REMOVE EXISTING OR INSTALL NEW WORK e. CLEANING AND TESTING
- f. INSTRUCTION TO OWNER'S PERSONNEL
- 2. ALL REMOVAL WORK AND DISRUPTIONS OF EXISTING SERVICES SHALL BE COORDINATED AND SCHEDULED IN ADVANCE WITH OWNER'S REPRESENTATIVES.
- 3. PROVIDE ALL BUILDING PENETRATIONS REQUIRED TO COMPLETE PROJECT.
  ALL PENETRATIONS TO BE PATCHED AND SEALED TO BE WATERTIGHT.
  MAINTAIN FIRE RATINGS OF EXISTING STRUCTURE.
- 4. PROVIDE ALL NECESSARY DUCT, EQUIPMENT AND PIPE SUPPORTS AND MATERIALS REQUIRED FOR INSTALLATION. PER THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL CODES.
- 5. NOT ALL COMPONENTS REQUIRED ARE INDICATED ON THESE DRAWINGS.
  REFER TO MANUFACTURERS INSTRUCTIONS FOR ADDITIONAL REQUIREMENTS
  INCLUDING CONNECTION LOCATIONS, TYPES AND SIZES. PROVIDE ISOLATING
  VALVES AND UNIONS AT ALL EQUIPMENT CONNECTIONS.

#### C. REQUIRED SHOP DRAWINGS:

INSULATION
 AIR DEVICES

3. VALVES
4. DUCTWORK COORDINATION DRAWINGS

5. CONTROLS

6. AIR HANDLING EQUIPMENT7. THERMOSTATS

8. PUMPS

9. FANS 10.TERMINAL BOXES

11. FILTERS

12.FIRE AND SMOKE DAMPERS

#### D. MAINTENANCE MANUALS

- 1. PROVIDE MAINTENANCE MANUALS TO OWNER(S) FOR ALL NEW EQUIPMENT CONTAINING ALL OPERATING AND MAINTENANCE DATA, SUBMITTALS, WARRANTEES, DIAGRAMS, AHRI CERTIFICATES, INSPECTION REPORTS AND VALVE LISTS IN A 3 RING BINDER WITH POCKETS FOR DRAWINGS. PROVIDE OWNER WITH 2 COPIES.
- 2. PROVIDE AN INDEX INSIDE THE BINDER COVER WITH A LIST OF EACH EQUIPMENT ITEM. EACH ITEM SHALL BE INDIVIDUALLY TABBED.

  3. PROVIDE A LIST OF ALL REQUIRED REGULAR MAINTENANCE ACTIONS.
- 4. MAINTENANCE LIST SHALL REFERENCE TABULATED ITEM AND SHALL INCLUDE THE TITLE OR PUBLICATION NUMBER FOR THE OPERATION AND MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF PRODUCT.

#### E. AS-BUILT DRAWINGS

- THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF ALL CHANGES MADE TO THE CONTRACT DOCUMENTS (AS-BUILT).
   THE CONTRACTOR SHALL PROVIDE THE ENGINEER 2 SETS OF COMPLETED
- AS-BUILT DRAWINGS.

  3. THE PROJECT WILL NOT BE CONSIDERED COMPLETE UNTIL ACCURATE AS-BUILTS ARE DELIVERED.

#### F. SUBSTITUTIONS

- 1. EQUIPMENT AND DESIGN OF SYSTEMS INDICATED ON THE DESIGN DRAWINGS AND WITHIN THESE SPECIFICATIONS SHALL BE CONSIDERED AS "SPECIFIED STANDARD" OF QUALITY. NO SUBSTITUTIONS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER 10 DAYS PRIOR TO BID DATE.

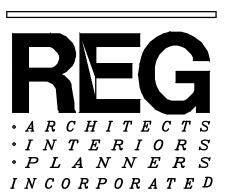
  2. ANY DEVIATION FROM SPECIFIED EQUIPMENT THAT AFFECTS THE
- ELECTRICAL REQUIREMENTS SHALL BE COORDINATED BY THE MECHANICAL CONTRACTOR AND EQUIPMENT VENDOR WITH THE ELECTRICAL CONTRACTOR PRIOR TO SUBMITTING BIDS.

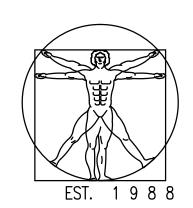
#### G. WIND LOADS

 ALL EQUIPMENT TO BE MOUNTED OUTSIDE SHALL BE FURNISHED WITH A NOA (NOTICE OF ACCEPTANCE) FOR WINDSTORM OR BE FURNISHED WITH AN ENGINEERED DETAIL GOOD FOR THE LOCAL WIND RATE.

#### 15890 - SHEETMETAL DUCTWORK

- A. ALL DUCT TO BE INSTALLED ACCORDING TO LATEST SMACNA STANDARDS
  B. ALL DUCT EXCEPT THAT SPECIFICALLY SHOWN IS TO BE GALVANIZED.
  RETURN, EXHAUST AND DUCT DOWNSTREAM OF CV BOXES TO BE 0-2"
  PRESSURE CLASS. SUPPLY DUCT FROM FAN TO CV OR VAV BOX TO BE 4"
  CLASS
- CLASS
  C. ALL SYSTEMS TO BE LEAKAGE TESTED





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IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

M5.1

#### **CONTRACTOR GENERAL CONDITIONS NOTES**

- 1. RFI'S: CONTRACTOR SHALL SUBMIT RFI'S WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
- 2. SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- 3. SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- 4. LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS. PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA
- -COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
- 5. DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.
- A. CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
- B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
- C. PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT
- D. PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPINION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
- E. CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY

THE CONTRACTOR.

- 7. AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE
- 8. INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

	ELECTRICAL SY	MBOL LEGI	END
ф	110V RECEPTACLE	ЦШ	FUSE DISCONNECT
#	QUAD-PLEX RECEPTACLE		ELECTRICAL CIRCUIT BREAKER
₩P	WATER PROOF WITH WR TYPE RECEPTACLE	$\boxtimes$	FACTORY INSTALLED DISCONNEC
∯ GFI	GROUND FAULT CIRCUIT INTERRUPTER		ELECTRICAL PANEL
Д	RECEPTACLE MOUNTED ABOVE COUNTER VERIFY MOUNTING HEIGHT WITH		ELECTRICAL METER
₩ (************************************	OWNER/ARCHITECT PRIOR TO ROUGH IN		LIGHTING CONTROL TIME CLOCK/PANEL
	SPECIAL PURPOSE OUTLET (VERIFY)		THE CLOCKY AND
Ф	FLOOR RECEPTACLE WITH COVER PLATE, FLUSH WITH FLOOR		TELEPHONE BOARD
<b>(</b>		\$	SWITCH
) <del>W</del>	CEILING RECEPTACLE	<b>G</b> -	3-WAY SWITCH
	FLOOR RECEPTACLE/TELE/FAX/DATA	\$3	3-WAT SWIICH
<u> </u>	WITH COVER PLATE, FLUSH WITH FLOOR	\$4	4-WAY SWITCH
	FLOOR TELE/FAX/DATA PORT WITH COVER PLATE, FLUSH WITH FLOOR	\$d	DIMMER SWITCH
lack	TELE/FAX/DATA PORT **	\$m	MANUAL MOTOR STARTER

CEILING TELE/FAX/DATA PORT \*\* SENSOR DOOR OPENER/CARD READER \*\* TELEVISION JACK \*\* BY OTHERS

ALARM BY OTHERS \*\*

ISOLATED GROUND

CEILING MOUNTED

ABOVE COUNTER

UNDER COUNTER

VERIFY IN FIELD

ABOVE FINISHED FLOOF

TELEPHONE GROUND BAR

ABOVE SHOW WINDOW

RECESSED JUNCTION BOX FOR SYSTEM FURNITURE POWER

T/D RECESSED JUNCTION BOX FOR SYSTEM FURNITURE TELEPHONE/DATA THERMOSTAT REMOTE ALARM TEST STATION

SMOKE DUCT DETECTOR T STEP DOWN TRANSFORMER CCP CENTRAL CONTROL PANEL

SECTIONS, AND STANDARDS.

RESPONSIBILITIES.

FBC FOR LIGHTING AND HVAC SYSTEMS.

POWER POLE

EXISTING - COORDINATE REPLACING COVER PLATES W/ OWNER/ARCH RELOCATED EXISTING - COORDINAT REPLACING COVER PLATES W/ OWNER/ARCH

\* NOTE: ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT \* Provide 1"C with pull wire unless otherwise noted. Stub up 6" above ceiling.

RECEPTACLES ARE TO BE MOUNTED AT 18" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED. SWITCHES ARE TO BE MOUNTED AT 48" ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.

#### SPECIAL PURPOSE OUTLET NOTES

CONTRACTOR IS CAUTIONED TO OBTAIN COMPLETE EQUIPMENT PRODUCT DATA FROM ARCHITECT, PRIOR TO BIDDING AND ROUGH-IN. . CONTRACTOR SHALL PROVIDE NEMA OUTLET TO MEET PROJECT AND EQUIPMENT REQUIREMENTS. B. CONTRACTOR TO PROVIDE MATCHING NEMA CAP/CORD AS REQUIRED.

#### **UL LISTING AND NRTL CERTIFICATIONS NOTE**

CONTRACTOR/MANUFACTURER SHALL PROVIDE COMPLETE DOCUMENTATION AND CERTIFICATIONS FOR ANY EQUIPMENT THAT HE PROPOSES WITH A NRTL (NATIONALLY RECOGNIZED TESTING LAB) LISTING AND LABELING EQUIVALENT TO THE BASIS OF DESIGN UL LISTING. T IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ACCEPTABILITY BY THE LOCAL AHJ AND AGENCIES FOR THE NRTL LISTING AND CERTIFICATION FOR THE PRODUCTS HE PROPOSES AND DEMONSTRATE SUCH AS PART OF THE PRODUCT DATA SUBMISSION AND INSTALLATION.

FLORIDA BUILDING CODE 2014 CONFORMANCE

CONTRACTOR TO PROVIDE ALL LABOR AND MATERIAL TO CONFORM TO FBC 2014 ENERGY COMPLIANCE, RELATED

OWNER SHALL PROVIDE SERVICES OF AN INDEPENDENT COMMISSIONING AGENT(CxA) TO PREPARE FUNCTIONAL

TEST PROCEDURES (DOCUMENT SYSTEMS PERFORMANCE, WITNESS CONTRACTOR TESTING), AS REQUIRED BY

CONTRACTOR TO PROVIDE COMPLETE CERTIFICATIONS AND CHECKLISTS AS REQUIRED BY FBC FOR HIS WORK

CONTRACTOR SHALL PROVIDE SERVICES TO TEST, BALANCE AND COMMISSION THE SYSTEM VIA AN

INDEPENDENT AGENT FOR THE MECHANICAL SYSTEMS ENERGY PERFORMANCE.

DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFIRM WITH OWNERS REPRESENTATIVES. CONTRACTOR SHALL REFER TO THE ENTIRE SET OF CONTRACT DOCUMENTS FOR PROJECT COORDINATION.

**GENERAL ELECTRICAL NOTES** 

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EDITIONS CURRENTLY ADOPTED BY THE LOCAL AUTHORITIES HAVING JURISDICTION OF THE FOLLOWING: THE NATIONAL ELECTRICAL CODE (NFPA 70). NFPA 72, NFPA 75, THE FIRE PREVENTION CODE INCLUDING NFPA 1 & NFPA 101, NFPA 110, AND THE FBC,
- UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THHN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THWN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THWN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
- THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL BE PROVIDED TO MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
- ALL MATERIALS SHALL BE NEW AND SHALL BEAR U.L. LABELS WHERE APPLICABLE.
- . ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR.
- 10. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY, TELEPHONE COMPANY, AND BROADBAND PROVIDER.
- II. CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS, BALANCE LOADS ON EACH PHASE.
- 12. SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.

MUST COMPLY WITH ARTICLE 310 OF THE N.E.C.

- 13. FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY
- 14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- 5. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED.
- 6. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF
- PROPERTY DAMAGE FOR THE DURATION OF THE WORK. CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS
- 18. ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF
- 19. ALL SYSTEMS AND ROUGH-IN SHALL BE CONCEALED IN FINISHED AREAS. COORDINATE WITH ARCHITECT.
- 20. THE ELECTRICAL PORTION OF THE CONTRACT DOCUMENTS ARE COORDINATED WITH THE BASIS OF DESIGN EQUIPMENT SPECIFIED BY DIVISION 16 AND OTHER DIVISIONS. WHERE THE CONTRACTOR ELECTS TO SUBSTITUTE A PRODUCT IN LIFU OF PROVIDING THE DESIGN BASIS. AND SAID SUBSTITUTION IS ACCEPTED BY THE A/E AND OWNER, THE CONTRACTOR SHALL MAKE ALL CORRECTIONS TO THE ELECTRICAL SYSTEM NECESSARY IN ORDER TO ENSURE A COMPLETE AND OPERATIONAL INSTALLATION OF THE EQUIPMENT AT NO ADDITIONAL COSTS. WHERE THE CONTRACTOR'S DECISION TO SUBSTITUTE PRODUCTS OR MODIFY DESIGN REQUIRING A/E SERVICES, THE A/E RESERVES THE RIGHT TO REQUEST COMPENSATION FROM THE CONTRACTOR FOR SAID SERVICES.
- I. CONTRACTOR SHALL PROVIDE A CONTROLS TRADE SUBCONTRACTOR TO DESIGN AND INSTALL ALL CONTROLS TO MEET THE PROJECT REQUIREMENTS.

#### AIR CONDITIONING EQUIPMENT AND CONTROLS SPECIFICATION

- ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONTROL RACEWAY (CONDUIT), WIRE INSTALLATION, CONNECTIONS ETC. IN ACCORDANCE WITH WIRING DIAGRAMS ON AIR EQUIPMENT. A/C / FLECTRICAL PLANS OR DIAGRAMS FURNISHED BY MANUEACTURER OF THE FOUIPMENT
- CONNECTED UNDER THIS SECTION OF THE SPECIFICATION. MECHANICAL CONTRACTOR SHALL PROVIDE MOTOR STARTERS FOR ALL AIR CONDITIONING EQUIPMENT. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONNECTIONS TO AIR CONDITIONING EQUIPMENT PER MANUFACTURERS SPECIFICATIONS

ALL POWER WIRING FOR THE AIR CONDITIONING EQUIPMENT SHALL BE FURNISHED, INSTALLED AND

AIR CONDITIONING EQUIPMENT INCLUDES CONDENSER, COMPRESSOR AND FAN, FAN COIL UNITS, ELECTRICAL STRIP HEATER, THERMOSTAT, ETC.

#### **GENERAL DEMOLITION NOTES**

- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN RELOCATING WIRING DEVICES, EQUIPMENT AND LIGHTING FIXTURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT OTHER WIRING DEVICES, EQUIPMENT, AND LIGHTING FIXTURES THAT MAY BE CONNECTED ON THE SAME CIRCUIT REMAIN OPERATIONAL AND ACTIVE.
- INFORMATION SHOWN ON THESE DOCUMENTS ARE DIAGRAMMATIC IN NATURE. CONTRACTOR TO FIELD VERIFY ELECTRICAL CIRCUIT HOME RUNS TO ALL ELECTRICAL ITEMS SCHEDULED FOR DEMOLITION AND PERFORM THE WORK AS INTENDED AND DEPICTED ON THE DRAWINGS.
- UPDATE ALL ELECTRICAL PANEL BOARD DIRECTORIES THAT ARE AFFECTED BY THE DEMOLITION AND/OR RENOVATIONS. DIRECTORIES SHALL BE TYPED.
- STORE ITEMS INDICATED TO BE RETURNED TO THE OWNER IN A DRY, CLEAN, AND PROTECTED AREA. NOTIFY OWNER WHEN ITEMS ARE READY TO BE REMOVED.
- COORDINATE ANY ALTERATION AND CHANGES TO THE ELECTRICAL SERVICE WITH THE LOCAL UTILITY
- PRE SCHEDULE ALL POWER INTERRUPTIONS WITH OWNER. GIVE OWNER 48 HOURS NOTICE PRIOR TO DISCONNECTING POWER TO ANY PORTION OF THE BUILDING AND MAKE ARRANGEMENTS TO MAINTAIN POWER TO ALL CRITICAL EQUIPMENT AS NEEDED AND REQUESTED BY OWNER.
- CONTRACTOR IS RESPONSIBLE OF BECOMING FULLY INFORMED AS TO EXISTING CONDITIONS AT THE SITE. NEITHER THE OWNER NOR THE A/E MAKES ANY REPRESENTATION WARRANTY AS TO SITE CONDITIONS.
- CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE NATURE AND EXTENT OF THE WORK TO BE PERFORMED AND LOCAL CONDITIONS THAT MAY AFFECT THE WORK.
- DUE TO REMOVAL OR CORRECTION TO ANY WALLS OR OTHER CONSTRUCTION NECESSITATING CAPPING OF EXISTING ELECTRICAL WIRING DEVICES OR ANY OTHER ELECTRICAL EQUIPMENT INCLUDING RECONNECT OF SUCH EXISTING ITEMS IS CONSIDERED TO BE PART OF THE WORK UNDER THIS CONTRACT. ALL EXISTING OUTLETS SHOWN TO REMAIN WILL REMAIN ACTIVE. THE REWIRING SHALL BE INCLUDED UNDER THIS CONTRACT WITHOUT ADDITIONAL COST TO OWNER.
- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES: NATIONAL ELECTRICAL CODE (NEC) NATIONAL FIRE PROTECTION AGENCY (NFPA)

FLORIDA BUILDING CODE

- WHERE CONDUIT IS INACCESSIBLE, REMOVE CONDUCTORS AND CUT BACK CONDUIT FLUSH WITH SLAB OR WALL. PATCH OPENING TO MATCH EXISTING FINISH. WHERE EXISTING WIRING EXTENDS OUTSIDE OF THE AREA BY NATURE OF THE ORIGINAL INSTALLATION, CONTRACTOR SHALL MODIFY EXISTING WIRING AS REQUIRED TO MAINTAIN CONTINUITY OF EXISTING CIRCUITRY SUCH THAT NO EQUIPMENT TO REMAIN IS
- THE CONTRACTOR IS TO GIVE THE OWNER AN OPPORTUNITY TO ACCEPT ANY ELECTRICAL ITEMS THAT WERE REMOVED FOR THEIR USE. SALVAGED MATERIALS, AND EQUIPMENT THE OWNER DOES NOT WISH TO KEEP SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTING WHERE REQUIRED DURING DEMOLITION AND CONSTRUCTION SCOPE OF WORK.
- THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE TAKEN FROM ORIGINAL DRAWINGS PROVIDED BY THE OWNER AND FIELD INVESTIGATION. THE ACTUAL CONDITIONS MAY VARY, ALL EXISTING CONDITIONS MUST BE VERIFIED PRIOR TO BID. THE CONDITIONS SHOWN ARE INTENDED TO SHOW THE LOCATIONS OF THE EXISTING EQUIPMENT, AND IN NO WAY RELIEVES THE CONTRACTOR FROM PROVIDING ANY AND ALL COORDINATION REQUIRED TO COMPLETE THE NEW WORK. FIELD CONDITIONS
- THE DEMOLITION PLAN IS NOT INCLUSIVE OF ALL ELECTRICAL DEVICES WITHIN THE PROJECT AREA. IT IS INTENDED TO PROVIDE THE CONTRACTOR WITH A GENERAL KNOWLEDGE OF THE EXISTING CONDITIONS WITHIN THE PROJECT AREA. ANY DISCREPANCIES OR CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED DEMOLITION WHETHER SHOWN ON THE PLANS OR NOT.
- ALL CONDUITS SERVING OTHER SPACES OR FLOORS, THAT RUN THROUGH THE PROJECT AREA SHALL REMAIN ACTIVE DURING CONSTRUCTION, SO AS NOT TO CAUSE ANY DISRUPTION TO THESE OTHER SPACES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONDUITS, NEW OR EXISTING WITHIN THE PROJECT AREA ARE PROPERLY SUPPORTED AND PROVIDED WITH BONDING BUSHINGS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
- THE CONTRACTOR SHALL PHASE DEMOLITION WORK AS REQUIRED OR DIRECTED BY THE OWNER.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR PATCHING ANY DAMAGE WHICH MAY OCCUR DURING DEMOLITION ACTIVITIES. REPAIRS TO BE DONE TO LOGICAL EDGES OF SURFACES AFFECTED, AND SHALL MATCH IMMEDIATE ADJACENT AREAS IN CONSTRUCTION, MATERIAL, FIRE RATING. FINISH AND COLOR.

**VOLTAGE DROP NOTE** 

HE CONTRACTOR, AS PART OF HIS PRICING AND BIDDING, SHALL INCLUDE ALL LABOR, MATERIAL, EQUIPMENT AND TERMINATIONS, INCLUDING FPL AND UTILITY REQUIREMENTS AND APPROVALS FOR ALL CONDUCTORING AND TERMINATIONS, TO SATISFY THE PROJECT REQUIREMENTS. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO

LENGTHS AND ROUTING BASED ON HIS PROPOSED INSTALLATION MEANS AND METHODS. WIRING LENGTHS, SHOWN AS THE BASIS OF DESIGN LENGTHS. ARE MERELY AN APPROXIMATION BY THE CONSULTANT, THE CONTRACTOR

SHALL USE THOSE BASIS OF DESIGN CONDUCTOR LENGTHS AND WIRING SIZES AS THE, MINIMUM, NOT LIMITED TO,

VERIFY AND INCLUDE ALL HIS BRANCH CIRCUIT, FEEDER, AND SERVICE CONDUCTOR CONDUITING AND WIRING

REQUIREMENTS FOR THE PROJECT BIDDING. THE CONTRACTOR, PRIOR TO BIDDING, SHALL CONFIRM ALL HIS

PROPOSED LENGTHS, MAKE ANY AND ALL ADJUSTMENTS AS MAY IMPACT THE ELECTRICAL SYSTEMS AND

EQUIPMENT FOR CODE COMPLIANCE AND CONSTRUCTABILITY, AND DOCUMENT ALL PROPOSED CHANGES AND

ADJUSTMENTS TO THE ARCHITECT AS PART OF HIS BID RESPONSE. THE CONTRACTOR SHALL SUBMIT COMPLETE

SCALED PROPOSED ROUTINGS FOR SERVICES AND FEEDERS, QUANTITIES AND CONDUCTORING, SECTIONS THRU BUILDING FOR RACKING, DUCTBANK CROSS SECTIONS FOR CLEARANCES AND COORDINATED AS FREE OF ALL

INTERFERENCES, ETC. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION TO THE ARCHITECT FOR REVIEW NO

LATER THAN 3 WEEKS AFTER NOTICE TO PROCEED.

19. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND SHALL BE COORDINATED WITH OTHER TRADES.

## ELECTRICAL SHEET INDEX DESCRIPTION ELECTRICAL SPECS, LEGEND & INDEX ELECTRICAL SITE PLAN ELECTRICAL PLAN

#### FBC NOTE

RISER DIAGRAM AND PANEL SCHEDULES

1. CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.1). PROVIDE OWNER WITH A RECORD SET DRAWING OF COMPLETE

2. CONTRACTOR SHALL COMPLY WITH FBC (C408.2.5.2). PROVIDE OWNER WITH OPERATIONAL MANUALS AND MAINTENANCE MANUALS.

#### **LOW VOLTAGE NOTES**

PROVIDE A STRUCTURED CABLING SYSTEM (SCS) FOR THE TV/CABLE/TELEPHONE DROPS, COORDINATE DESIGN, TYPE OF CABLE, AND FINAL LOCATIONS WITH OWNER/ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR TO DESIGN/BUILD AND COMPLY WITH NEC AND EIA/TIA STANDARDS

#### FIRE RATING NOTE

ALL DEVICES PENETRATING FIRE RATED WALLS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLIES. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS)

#### **COORDINATION NOTES**

CONTRACTOR TO COORDINATE ALL FINAL LOCATIONS, ANY TYPES OF ALL DEVICES, AND EQUIPMENT WITH ARCHITECT PRIOR TO BID AND ROUGH-IN.

CONTRACTOR TO COORDINATE VARIOUS TRADES TO AVOID ABOVE CEILING CONFLICTS.

#### LIGHTING NOTES

1. ELECTRICAL CONTRACTOR TO VERIFY IF ANY LIGHTING FIXTURES REQUIRE STEP-DOWN TRANSFORMERS. QUANTITY AND LOCATION OF THE TRANSFORMERS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONSULT ARCHITECT FOR LOCATIONS PRIOR TO BIDDING. PROVIDE ALL TRANSFORMERS AND INCLUDE IN BID.

2. ALL LIGHTING FIXTURES AND FANS TO BE SELECTED & LOCATED BY OWNER /ARCHITECT/INTERIOR DESIGNER, UNLESS OTHERWISE NOTED.

3. ARCHITECT TO SET MOUNTING HEIGHTS FOR ALL FIXTURES WHERE APPLICABLE, UNLESS OTHERWISE NOTED. 4. CONTRACTOR TO PROVIDE LUMINAIRES TO CONFORM TO ENERGY CODE, THERMAL ENVELOPE RATINGS.

#### **EQUIPMENT/FEEDER REMOVAL NOTES**

SALVAGED MATERIALS, EQUIPMENT, AND FEEDERS SHALL BE DELIVERED TO THE OWNER AT HIS PROPERTY AND STORED WITHIN THE BUILDING WHERE DIRECTED. ANY REMOVED MATERIALS OR EQUIPMENT WHICH THE OWNER DOES NOT WISH TO KEEP SHALL BE DISPOSED OF BY THE CONTRACTOR, WITHOUT ADDITIONAL COST TO THE OWNER.

SCOPE OF WORK

THE PROJECT CONSISTS OF A PROVIDING POWER TO NEW LIGHTING FIXTURES AND EXHAUST FANS IN RESTROOM BUILDINGS.

 $\circ$  P L A N N E R S

INCORPORATED

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**REVISIONS** DATE 06-30-16 **SCALE** AS NOTED RB/FR/JS DRAWN CHECKED DA/SR

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COMPENSATION TO THE ARCHITECT

REG No.

PROGRESS SET: 08/22/16

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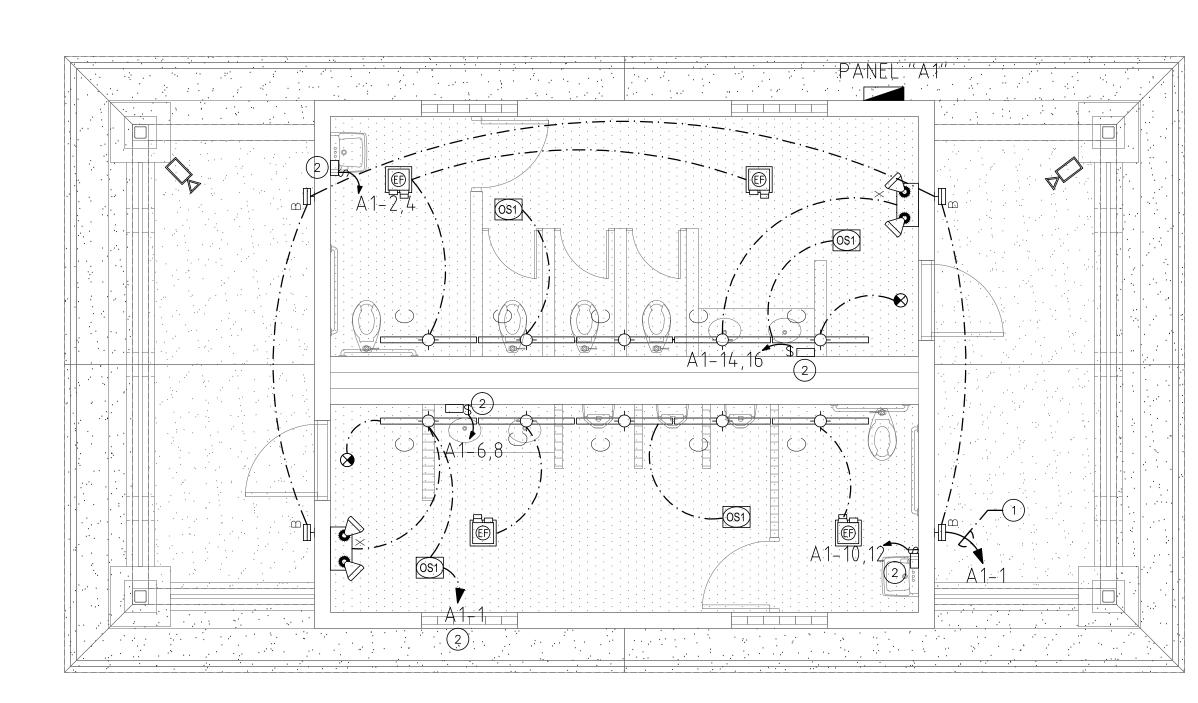
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INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND

	LIGHTING CONTROL SYMBOL LEGEND
	7-DAY FULL YEAR LIGHTING CONTROL WITH ASTRONOMICAL TIME CLOCK LC&D BLUE BOX
\$os	WALL MOUNTED OCCUPANCY SENSOR <u>SENSOR</u> SWITCH WSD-PDT
\$2P \$0S	WALL MOUNTED OCCUPANCY SENSOR 2-POLE MODEL - <u>SENSOR</u> SWITCH WSD-PDT-2P CAPABLE OF SWITCHING SEPARATE VOLTAGES ON EACH POLE
\$	SWITCH
\$3	3-WAY SWITCH
\$4	4-WAY SWITCH
\$p	DIMMER SWITCH
\$ov	LC&D OVERRIDE SWITCH WITH PILOT LIGHT; 4 HOUR MAX TIME DELAY MODEL: CH-# (OF BUTTONS)
OS1	CEILING MOUNTED OCCUPANCY SENSOR SWITCH CMR PDT 9 LINE VOLTAGE
OS2	CEILING MOUNTED OCCUPANCY SENSOR SWITCH CMR PDT 10 LINE VOLTAGE
(EF)	EXHAUST FAN
NOTE:	

ALL SYMBOLS MAY NOT BE USED FOR THIS PROJECT.



# RESTROOM (TYPICAL OF 2) ELECTRICAL PLAN



TYPF	TYPE DESCRIPTION MFG CATALOG NUMBER VOLTS LAMPS WATTS MOUNTING												
(B)	WALL MOUNTED FIXTURE		LUMINAIRE LED	NRV13 SERIES	120	(1) 25W LED	25	WALL					
(1)	WALL MOUNTED FIXTURE		EATON	FCC SERIES	120	(1) 45.2W LED	45.2	WALL					
(X)	EMERGENCY UNIT	WITH MINIMUM 90 MINUTE BATTERY		TO BE SPECIFIED BY OWNER, FURNISHED AND AND INSTALLED BY CONTRACTOR	120	LED							

MINIMUM FLUORESCENT LAMP COLOR TEMPERATURE SHALL BE 3500K.

VERIFY ALL FIXTURE SELECTIONS PRIOR TO PURCHASE WITH OWNER/ARCHITECT.

BALLASTS FOR SPECIFIC FIXTURES INDICATED WITH DIMMER CONTROL.

VERIFY BALLAST REQUIREMENTS FOR ALL FLUORESCENT FIXTURES. PROVIDE ELECTRONIC DIMMING

#### LIGHTING NOTES

1. ALL EXIT, EMERGENCY, AND BATTERY PACKS IN FLUORESCENT FIXTURES TO BE WIRED AHEAD OF CONTROL SWITCH

2. ALL WALL MOUNTED EMERGENCY LIGHT FIXTURES SHALL BE MOUNTED AT HEIGHTS INDICATED ON THE

3. ALL DIMMER SWITCHES SHALL HAVE A PRESET MINIMUM RATING OF 1.0 KW.

4. ALL FIXTURE COUNTS, SELECTIONS, AND EXACT LOCATIONS MUST BE VERIFIED WITH OWNER/ARCHITECT PRIOR TO PURCHASE.

ORDERING AND INSTALLATION.

5. CONTRACTOR TO VERIFY IF ANY LOW VOLTAGE LIGHT FIXTURES REQUIRE STEP-DOWN TRANSFORMERS, QUANTITY AND LOCATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. PROVIDE ALL TRANSFORMERS

CONFIRM ALL LIGHT FIXTURE MODEL NUMBERS, FINISH COLORS AND ELECTRICAL REQUIREMENTS BEFORE

AND INCLUDE IN BID.

6. ALL FIXTURES TO HAVE U.L. CERTIFICATION.

7. ALL EXISTING AND NEW LUMINARIES SHALL COMPLY WITH SECTION <u>410.130(G) DISCONNECTING MEANS</u> OF THE NEC.

 ${\tt 8.~CONTRACTOR~TO~PROVIDE~LUMINAIRES~TO~CONFORM~TO~ENERGY~CODE,~THERMAL~ENVELOPE~RATINGS}.\\$ 

#### **ENERGY COMPLIANCE NOTE**

1. AN AUTOMATIC TIME CLOCK SHALL BE THE MEANS OF LIGHTING SHUTOFF PER FBC ENERGY CONSERVATION SECTION FOR ALL AREAS WHERE OCCUPANCY SENSORS ARE NOT USED, AND IT SHALL CONTAIN AN ASTRONOMICAL TIMECLOCK TO SHUT THE TENANT SPACE DOWN AT A SCHEDULED TIME OF

2. ALL LIGHT CIRCUITS THAT ARE NOT WIRED THROUGH THE ASTRONOMICAL TIME CLOCK SHALL BE CONTROLLED BY OCCUPANCY SENSORS WHICH MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE.

3. RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER AS SPECIFIED IN FLORIDA BUILDING CODE ENERGY CONSERVATION SECTION.

#### **ENERGY COMPLIANCE NOTE**

1. AN AUTOMATIC TIME CLOCK SHALL BE THE MEANS OF LIGHTING SHUTOFF PER FBC ENERGY CONSERVATION SECTION FOR ALL AREAS WHERE OCCUPANCY SENSORS ARE NOT USED, AND IT SHALL CONTAIN AN ASTRONOMICAL TIMECLOCK TO SHUT THE TENANT SPACE DOWN AT A SCHEDULED TIME OF DAY.

2. ALL LIGHT CIRCUITS THAT ARE NOT WIRED THROUGH THE ASTRONOMICAL TIME CLOCK SHALL BE CONTROLLED BY OCCUPANCY SENSORS WHICH MUST TURN LIGHTS OFF WITHIN 30 MINUTES AFTER AN OCCUPANT LEAVES THE SPACE AND SHALL EITHER BE MANUAL ON OR TURN ON AUTOMATICALLY TO NOT MORE THAN 50% OF FULL POWER.

3. RECORD DRAWINGS OF INSTALLATION AND OPERATION MANUALS ARE TO BE PROVIDED TO THE OWNER AS SPECIFIED IN FLORIDA BUILDING CODE ENERGY CONSERVATION SECTION.

#### KEY NOTES

(1) CIRCUIT CONTROLLED THROUGH AN ASTRONOMICAL TIME CLOCK, FOR COMPLIANCE WITH FBC FBC ENERGY CONSERVATION SECTION. TIME CLOCK MOUNTED AT EXISTING AMPHITHEATRE.

2 PROVIDE DISCONNECT SWITCH FOR INSTAHOT. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH SUPPLIER AND OWNER PRIOR



KEY PLAN

PROGRESS SET: 08/22/16

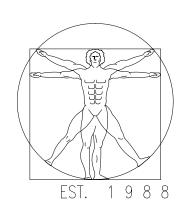
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· I N T E R I O R S
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RESTROOM ELECTRICAL PLAN

E1.1



1. ALL ELECTRICAL SERVICE EQUIPMENT SHALL HAVE MIN A.I.C. RATING OF 22,000 AMPS. ALL EQUIPMENT LOCATED ON EXTERIOR OF BUILDING SHALL BE NEMA-3R RATED.

2. ALL ELECTRICAL EQUIPMENT AND WIRE SHALL BE RATED @ 75°C CONTINUOUS DUTY.

3. PRIOR TO CONSTRUCTION, THE ELECTRICAL CONTRACTOR SHALL:

a) VERIFY ALL EXISTING CONDITIONS IN FIELD
 b) COORDINATE THE ELECTRICAL SERVICE WITH FP&L REPRESENTATIVE
 c) NOTIFY THE ENGINEER OF ANY CHANGES REQUIRED TO COMPLETE NEW CONSTRUCTION.

4. ALL ELECTRICAL EQUIPMENT SHALL BE FIELD MARKED TO WARN OF POTENTIAL ELECTRICAL ARC FLASH

HAZARDS. THE MARKING SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE BEFORE ANY EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE OF THE EQUIPMENT.

5. EACH DISCONNECT SHALL BE LEGIBLY MARKED TO INDICATE THE UNIT IT IS FEEDING. THE MARKING SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.

#### ALUMINUM NOTES(OWNER/CONTRACTOR BID OPTION)

1. ALL EQUIPMENT USED WITH ALUMINUM CONDUCTORS MUST BE LISTED FOR THE PURPOSE.

2. ALL ALUMINUM CONDUCTORS SHALL BE TERMINATED WITH HARDWARE AND COMPRESSION LUGS APPROVED FOR THE PURPOSE.

3. ALL COMPRESSION LUGS SHALL BE CHECKED 3, 6, & 11 MONTHS AFTER C.O. AND EVERY THREE YEARS THEREAFTER. BUILDING OWNER SHALL HAVE A MAINTENANCE CONTRACT WITH ELECTRICAL CONTRACTOR OF CHOICE. CONTRACTOR SHALL DOCUMENT ALL MEASUREMENTS AND VERIFICATION IN TABULAR FORM.

4. THE ELECTRICAL CONTRACTOR MUST TORQUE ALL ALUMINUM TERMINATIONS IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S RECOMMENDATIONS.

PROVIDE CORRECTIVE RECOMMENDATIONS, ACTIONS TAKEN, AND TESTING EQUIPMENT UTILIZED.

5. PRIOR TO TERMINATING ALUMINUM CONDUCTORS, THE CONTRACTOR MUST CLEAN WIRE THOROUGHLY WITH WIRE BRUSH AND APPLY AN ANTI-OXIDANT COMPOUND.

6. ALL BRANCH CIRCUITS FROM PANELS MUST BE COPPER.

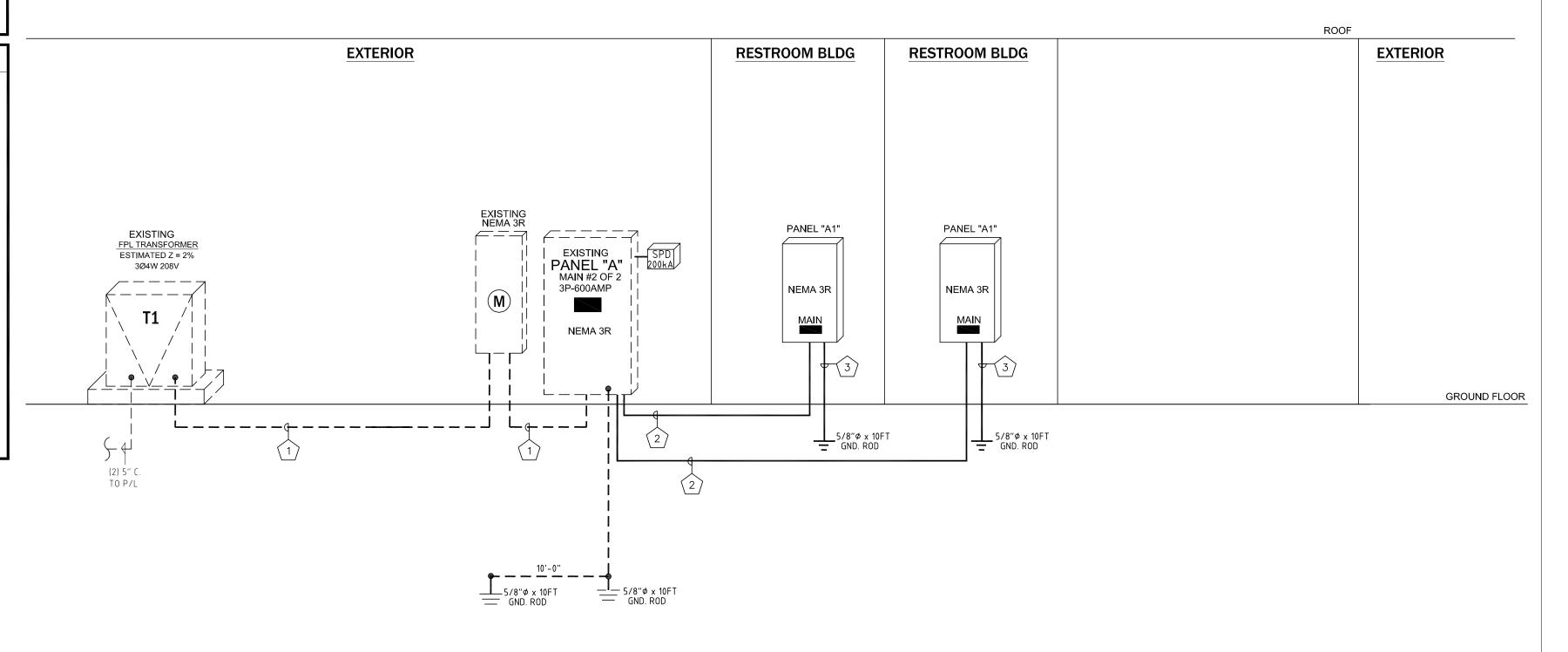
7. ALL GROUNDING SHALL BE COPPER.

8. UL LISTED LUGS SHALL BE RATED FOR 90°C WHERE ALUMINUM WIRE IS USED.

9. THE ELECTRICAL CONTRACTOR SHALL PERFORM MEGGER TEST ON ALL ALUMINUM FEEDERS AND PROVIDE RESULTS TO ENGINEER.

10. PIN CONNECTORS ARE NOT ACCEPTABLE FOR USE.

11. ALL ALUMINUM FEEDERS SHALL BE: ALUMA FLEX COMPACT STRANDED THWN-2.



RISER NO.1 PROPOSED ELECTRICAL RISER DIAGRAM SCALE

	BUS KVA    B	MFG. SQUARE	'D' OR EQUAL				_	ГҮРЕ	NQ		(1)(2)				PANEL RATING	100	AMP	<u>'S</u>
B   C   LOAD   COND. SIZE   GND   AMPS   CKT.   BUS   CKT.   AMPS   GND   SIZE   COND.   LOAD   A   B   C	B C LIGHTING - RESTROOM 1/2" #12 #12 0 1	VOLTS 120/208	V 3Ø4W				<u> </u>	PANEL	"A1"			_						
- SPACE 3 4 2 1.8 1.8   - SPACE 5 6 6 25 #10 #10 3/4" INSTAHOT 1.8   - SPACE 7 8 2	SPACE		LOAD	COND.		GND	AMPS	CKT.	BUS	СКТ.	AMPS	GND		COND.	LOAD			
-   SPACE   -   -   -   5   6   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   7   8   2   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   9   10   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   11   12   2   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   15   16   2   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   15   16   2   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   15   16   2   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   15   16   2   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   15   16   2   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   15   16   2   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   -   -   -   13   14   25   #10   #10   3/4" INSTAHOT   1.8    -   SPACE   -   -   -   -   -   -   -   -   -	- SPACE 5 6 25 #10 #10 3/4" INSTAHOT 18   18   18   18   18   18   18   18	0.5		1/2"	#12	#12	20	1		2	25	#10	#10	3/4"	INSTAHOT	1.8		
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FEEDER SIZE KEY NOTES

1 EXISTING 600AMP FEEDER
2 4#3/0 & 1#6 GND THWN CU IN 2-1/2"C
(BASED ON 550 FEET AND Vd = 2% MAX)
3 1#6 CU

PROGRESS SET: 08/22/16

FAE

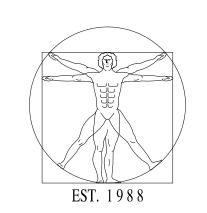
PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

PROGRESS OR CHECK SETS, BY THEIR NATURE, MAY BE INCOMPLETE AND ARE NOT TO BE USED FOR BIDDING OR CONSTRUCTION. CONTRACTOR RECOGNIZES HIS SOLE RESPONSIBILITY TO INCLUDE ALL CONTINGENCIES FOR

DESIGN AND INSTALLATION TO MEET THE PROJECT REQUIREMENTS IN ANY PRICING EXERCISE.

700 WEST HILLSBORD BLVD. - BLDG. #1, SUITE 204
DEERFIELD BEACH, FLORIDA 33441
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URSULA IAFRATE, P.E. LICENSE #73122
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DONALD H. AUSTIN, JR., PE LICENSE #60651
JASON BARBER, P.E. LICENSE #73050
E-MAIL: INFO@FAECONSULTING.COM
DESIGNED BY: RB/FR/JS PM: BJ P/N 16028

· ARCHITECTS
· INTERIORS
· PLANNERS
INCORPORATED



RICK GONZALEZ, A.I.A. PRESIDENT AR-0014172

300 CLEMATIS STREET WEST PALM BEACH FLORIDA 33401
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www. regarchitects. com

CORPORATION NUMBER

RESTROOM FACILITIES at COMMONS PARK

11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 33411

REVISIONS

NO.

DATE

DATE

06-30-16

SCALE

DRAWN

RB/FR/JS

CHECKED

DA/SR

REG No.

16028

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OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE

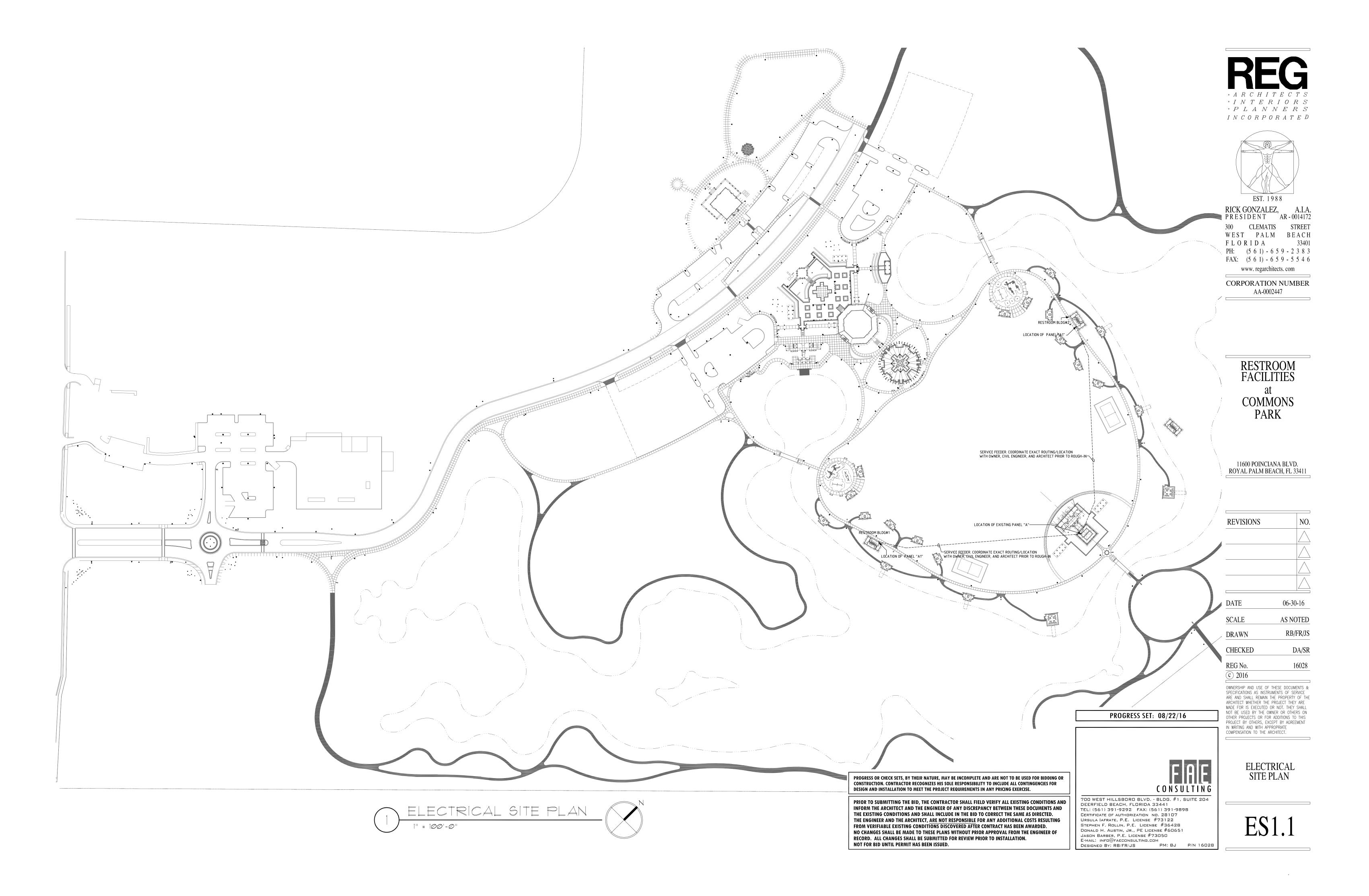
ELECTRICAL RISER, PANEL SCHEDULES

ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON

OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT

IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

E3.1



#### CONTRACTOR GENERAL CONDITIONS NOTES

- RFI'S: CONTRACTOR SHALL SUBMIT RFI'S WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
- SUBMITTALS AND PRODUCT DATA: CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- SHOP DRAWINGS: CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
- LAYOUT AND COORDINATION DRAWINGS: CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS. PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
- DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.

#### SUBSTITUTIONS:

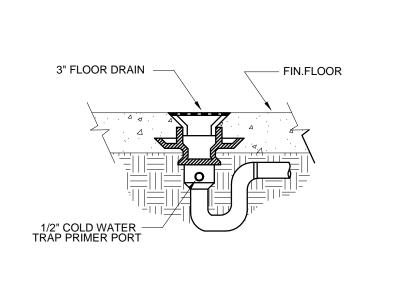
- A.CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
- B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
- C.PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE IN COMPARISON TO THE SCHEDULE WITHOUT APPROVAL OF THE PROPOSED SUBSTITUTION, INCLUDE INFORMATION REGARDING THE EFFECT OF THE PROPOSED SUBSTITUTION ON THE CONTRACT TIME.
- D.PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPTION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
- E. CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR
- AS-BUILT DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS-BUILTS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL ISSUE SKETCHES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
- INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, AND MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

#### SCOPE OF WORK

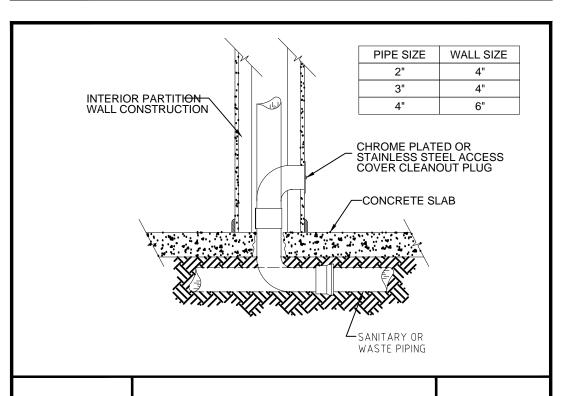
THIS PROJECT IS NEW CONSTRUCTION OF A RESTROOM. PLUMBING WORK INCLUDES SANITARY AND WATER DESIGN OF NEW BATHROOMS.

#### PLUMBING SPECIFICATIONS

- ALL WORK TO BE DONE IN ACCORDANCE WITH THE DISTRICT MASTER SPECIFICATIONS (DMS) AND THE FLORIDA BUILDING CODE 2014, FIFTH EDITION OF THE PLUMBING SECTION AND TO COMPLY WITH ALL LOCAL RULES AND ORDINANCES.
- ALL WORKMANSHIP & MATERIALS TO BE IN STRICT ACCORDANCE WITH APPLICABLE NATIONAL, STATE, LOCAL CODES, RULES & ORDINANCES.
- 2. CONTRACTOR SHALL VISIT THE JOB SITE & THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- 3. ALL MATERIALS TO BE NEW.
- 4. ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST-CLASS WORK MAN LIKE MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE.
- 5. ALL EXCAVATION & BACK FILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS
- REQUIRED INSURANCE SHALL BE PROVIDED BY THIS CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS & TEST. SUBSTITUTIONS BY THE CONTRACTOR SHALL HAVE PRIOR APPROVAL. ANY CHANGES MADE WITHOUT APPROVAL WILL BE PAID BY THE CONTRACTOR TO RETURN TO THE ORIGINAL DESIGN.
- 8. EXISTING PIPE SIZES TO BE VERIFIED BY THE PLUMBER AND UPGRADED IF NOT LARGE ENOUGH TO ACCOMMODATE
- 9. ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
- 10. THE CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR REVIEW OF THE GENERAL NOTES, SPECIFICATIONS, AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS WHICH MAY NOT BE SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS.
- 11. DRAWINGS FOR PLUMBING WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWINGS SHALL NOT BE SCALED FOR EXACT MEASUREMENT. FIELD VERIFY FINAL LOCATIONS FOR EQUIPMENT. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DIMENSIONS AND EXACT LOCATION OF PLUMBING FIXTURES. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS.
- 12. DRAWINGS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
- 13. VERIFY LOCATION, SIZE, TRAPS, INVERTS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES. ANY COST RESULTING FROM DISCREPANCIES NOT REPORTED AT THIS TIME SHALL BE PAID BY THE CONTRACTOR.
- 14. INSTALL SIOUX CHIEF 650 SERIES WATER HAMMER ARRESTORS IN PIPING TO QUICK-CLOSING VALVES AS DEFINED IN FLORIDA PLUMBING CODE.
- 15. PROVIDE SHUT-OFF VALVES IN THE SUPPLY PIPING TO EVERY FIXTURE.
- 16. ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS.
- 17. CAP ALL PIPING OPENINGS DURING CONSTRUCTION UNTIL FINAL CONNECTIONS TO EQUIPMENT AND ACCESSORIES
- 18. SANITARY PIPE 2 1/2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT. SANITARY PIPE 3" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. CONDENSATE PIPING SHALL BE SLOPED AT A MINIMUM OF 1/4" PER FOOT.
- 19. WHERE SOIL CONDITIONS REQUIRE THE USE OF PIER OR PILING SUPPORTED GRADE BEAM CONSTRUCTION OR IN FILLED GROUND WHERE THE SOIL COMPACTION IS LESS THAT 95% THE SANITARY PIPING TO BE INSTALLED BY TRENCHING INTO THE FILL, AND THEN PUTTING HANGERS WITH SUPPORT RODS ON THE PIPES AS THEY ARE INSTALLED. THE HANGER RODS EXTENDING UPWARD TO BE EMBEDDED IN AND ANCHORED IN THE CONCRETE PER ASTM F2536-06B AND UNDERGROUND PIPE TO CONFORM TO ASTM STANDARD D2665.
- 20. DO NOT ROUTE ANY WET PIPING OVER ELECTRICAL EQUIPMENT
- 21. WATER PIPING TO BE TYPE "L" COPPER ABOVE AND TYPE "K" COPPER BELOW GRADE.
- 22. SOIL, WASTE, VENT AND STORM PIPING TO BE PVC SCHEDULE #40 DWV CONFORMING TO ASTM D2665 FOR UNDERGROUND AND AS PER FLORIDA BUILDING CODE PLUMBING 2014 TABLE 70.2 & 702.3. CAST IRON SHALL BE USED IN COMMON PLENUM AREAS.
- 23. RAINWATER/STORMWATER TO BE SCHEDULE #40 DWV, INSULATE WITH ARMAFLEX INSULATION WHEN IN COMMON
- 24. HOT WATER, TEMPERED WATER AND HOT WATER RETURN PIPES TO BE INSULATED WITH ARMAFLEX INSULATION FROM THE WATER HEATER TO THE FURTHEST FIXTURE PER 2014 FBC PLUMBING 607.2.1.
- 25. THE DISCHARGE WATER TEMPERATURE FROM LAVATORIES, BIDETS & GROUP WASH FIXTURES LOCATED IN PUBLIC TOILET FACILITIES PROVIDED FOR CUSTOMERS, PATRONS AND VISITORS SHALL BE LIMITED TO A MAXIMUM TEMPERATURE OF 110°F (43°C) BY A WATER TEMPERATURE LIMITING DEVISE CONFORMING TO ASSE 1070 OR CSA
- 26. WHERE DISSIMILAR METALS ARE TO BE JOINED, APPROVED INSULATING UNIONS SHALL BE USED.
- 27. ALL PLUMBING PIPES PENETRATING FIRE RATED WALLS, CEILINGS AND/ OR FLOORS SHALL BE PROVIDED WITH U.L. APPROVED FIRE RATED ASSEMBLY. (EQUAL TO WALL FIRE RATING - SEE ARCHITECTURAL DRAWINGS).
- 28. HOT WATER EXPANSION LOOPS SHALL BE INSTALLED AS REQUIRED TO PARTLY ABSORB TENSION OR COMPRESSION PRODUCED DURING ANTICIPATED CHANGE IN TEMPERATURE. INSTALL EXPANSION JOINTS OF SIZES OF PIPING IN WHICH THEY ARE INSTALLED. INSTALL ALIGNMENT GUIDES TO GUIDE EXPANSION AND TO AVOID LOADING STRESS.
- 29. NO PVC PIPING TO BE USED IN COMMON PLENUM AREAS.
- 30. WHERE CEILING SPACE IS A COMMON PLENUM NO COMBUSTIBLE MATERIALS ALLOWED.
- 31. CONDENSATE LINES TO BE COPPER/PVC DEPENDING ON PROJECT REQUIREMENTS. INSULATE WITH ARMAFLEX
- 32. FLUSH OUT EXISTING WATER PIPING, STERILIZE THE NEW WATER PIPING LINES BY INTRODUCING IN THEM A SOLUTION OF CALCIUM HYPOCHOLORITE OR CHLORIDE OF LIME. OPEN AND CLOSE ALL NEW VALVES WHILE SYSTEM IS BEING CHLORINATED. AFTER THE STERILIZING AGENT HAS BEEN APPLIED FOR 24 HOURS, TEST FOR RESIDUAL CHLORINE AT THE ENDS OF LINES. IF LESS THAN 10 PARTS PER MILLION IS INDICATED, REPEAT THE PROCESS. WHEN TESTS SHOW AT LEAST 10 PARTS PER MILLION OF RESIDUAL CHLORINE, FLUSH OUT THE SYSTEM UNTIL ALL TRACES OF THE CHEMICAL USED ARE REMOVED. MAKE NECESSARY CONNECTIONS TO STERILIZE PIPING.
- 33. AFTER STERILIZATION HAS BEEN ACCOMPLISHED INITIATE A BACTERIOLOGICAL TEST PERFORMED BY AN APPROVED TESTING LABORATORY. WATER SHALL BE DRAWN FROM THE SYSTEM AT A POINT FURTHEST FROM THE WATER ENTRANCE TO THE BUILDING. A CERTIFIED TEST REPORT OF THESE TESTS RESULTS INDICATING SATISFACTORY COLIFORM COUNT, COLOR AND CHLORINE RESIDUAL SHALL BE PRESENTED TO THE ARCHITECT AND OWNER WHEN THE WATER SUPPLY PIPING SYSTEM IS SUBSTANTIALLY COMPLETED DURING CONSTRUCTION. ANOTHER SIMILAR TEST SHALL BE PERFORMED AT THE TIME OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY WITH ANOTHER CERTIFIED TEST REPORT PRESENTED TO THE ARCHITECT AND OWNER AT THAT TIME.
- 34. FEDERAL LAW MANDATES AS OF JANUARY 4, 2014 THE WETTED SURFACE OF EVERY PIPE, FIXTURE AND FITTING INSTALLED IN POTABLE WATER APPLICATIONS SHALL NOT CONTAIN MORE THAN 0.25% LEAD BY WEIGHT. SOLDER AND FLUX SHALL NOT CONTAIN MORE THAN 0.2% LEAD. NON-COMPLIANCE MAY RESULT IN FINES, INSTALLED PRODUCT REMOVAL COSTS, LAWSUITS BY PRIVATE PARTIES OR GOVERNMENT AGENCY.
- 35. CONTRACTOR SHALL GUARANTEE ALL MATERIALS & WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- 36. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BID AND INSTALLATION. INFORM THE ENGINEER OF RECORD OF ANY DISCREPANCY BETWEEN THE DOCUMENTS AND THESE CONDITIONS AND HE SHALL INCLUDE IN HIS BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER THE CONTRACT HAS BEEN AWARDED.
- 77. CONTRACTOR SHALL KEEP AS-BUILTS AND SUBMIT TO THE ENGINEER OF RECORD FOR REVIEW. ALL CHANGES SHALL BE FORWARDED A MINIMUM OF (2) WEEKS PRIOR TO FINAL INSPECTION. ANY EXPENSES, SUCH AS REVISIONS OR AS-BUILTS, NECESSARY FOR FINAL C.O. SHALL BE AT THE EXPENSE OF THE OWNER.

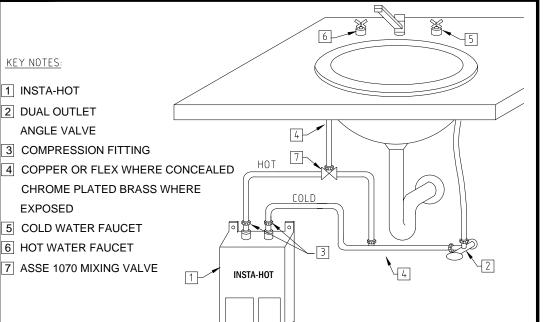


**DETAIL** FLOOR DRAIN WITH NOT TO SCALE TRAP PRIMER



WALL CLEAN-OUT

NOT TO SCALE



DETAIL NO. 3

**INSTA-HOT** 

NOT TO SCALE

PLUMBING SHEET INDEX				
SHEET#	DESCRIPTION			
P0.1	PLUMBING NOTES, DETAILS, & SPECS.			
P1.2	RESTROOM PLUMBING PLAN & RISER DIAGRAMS			

## PLUMBING FIXTURE UNIT CALCULATION

SANITARY SIZING FIXTURE TYPE	NO.	F.U./EACH	TOTAL	MIN. TRAP SIZE
WATER CLOSET	5	4.0	20	3"
LAVATORY	6	1.0	6	1 1/4"
FLOOR DRAIN	2	2.0	4	2"
URNIAL	3	4.0	12	
TOTAL	33		42	-

TOTAL SANITARY FIXTURE UNITS=.....42... MINIMUM SIZE SANITARY LINE @ 1/8" SLOPE......4"

HOT & COLD WATER SIZING PER TABLE E103.3(2) F.B.C. 2014 (PLUMBING)

HOT & COLD WATER SIZING FER TABLE E 103.3(2) F.B.C. 2014 (FLOMBING)									
FIVELINE TYPE	NO	0 14/ 5 11 /5 4		PER FIXTURE		<u>ED</u>			
FIXTURE TYPE	NO.	C.W.F.U./EA.	H.W.F.U./EA.	TOTAL	TOTAL	-			
WATER CLOSET	5	10.0	-	10.0	50				
LAVATORY	6	1.5	1.5	2.0	12				
URINAL	3	5.0	5.0	5.0	15	]			
TOTAL	14				77				

PLUMBING FIXTURE SPECIFICATIONS

WATER CLOSET (HANDICAP) AMERICAN STANDARD "MADERA" FLO WISE WITH FLUSHOEMTER SLOAN CHROME MODEL#111-1.28 HET

AMERICAN STANDARD WASHBROOK WALL HUNG URNIAL WHITE MODEL #6590.001 W/ SLOAN

AMERICAN STANDARD ONIO OVAL COUNTER TOP LAVATORY MODEL #0439.004US. COLOR WHITE. ELECTRONIC FAUCET SET SLOAN ETF880-4-B-ADM. MCGUIRE OFFSET GRID STRAINER WITH TAIL PIECE MODEL #155WC. MCGUIRE 17 GAUGE CAST BRASS P-TRAP MODEL #8872. MCGUIRE WATER SUPPLY/STOP MODEL #1701 K

AMERICAN STANDARD LUCERNE WALL HUNG LAVATORY WHITE MODEL #0356.015 W/ ELECTRONIC FAUCET SET SLOAN ETF880-4-B-ADM MODEL#6053.205

FLUSHOEMTER CHROME MODEL#111-1.28 HET

TOTAL C.W.F.U. = ..77 / 61 GPM MINIMUM SIZE WATER SERVICE.....2"......

URINAL (HANDICAP)

LAVATORY (HANDICAP)

LAVATORY (HANDICAP)

OR APPROVED EQUAL TO BE SELECTED BY OWNER

PROVIDE CUT SHEETS FOR REVIEW PRIOR TO PURCHASE.

3. PLUMBING FIXTURES TO COMPLY WITH TABLE 604.4 F.B.C

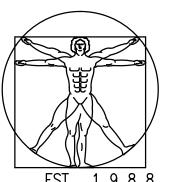
. MOUNTING HEIGHT PER ADA STANDARD. INSULATE WATER AND DRAIN LINE.

PLUMBING CONTRACTOR TO PROVIDE AND INSTALL ALL PLUMBING FIXTURES COMPLETELY.

4. ALL WALL HUNG PLUMBING FIXTURES SHALL COMPLY WITH F.B.C. 2517.5.1.1 , 2517.5.1.2

5. ALL EXPOSED PIPING AND SURFACES UNDER LAVATORIES SHALL COMPLY WITH FBC.

# $\cdot$ P L A N N E R SI N C O R P O R A T E D



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11600 POINCIANA BLVD. ROYAL PALM BEACH, FL 3341

REVISIONS 06-30-16 AS NOTED RB/FR/JS DRAWN CHECKED DA/SR 16028 REG No.

SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE

COMPENSATION TO THE ARCHITECT.

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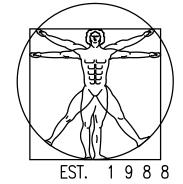
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PROGRESS SET: 08/22/16

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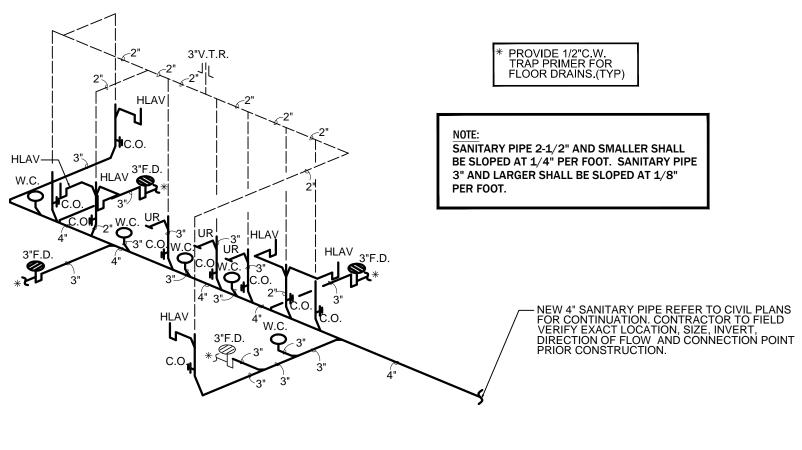


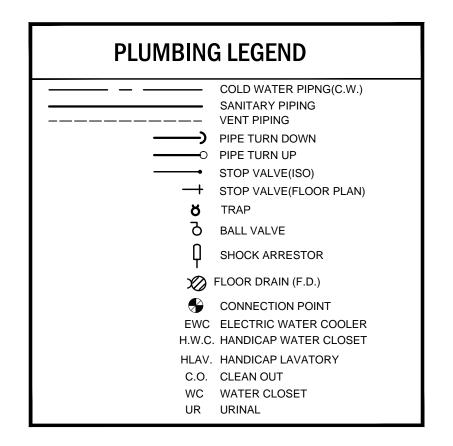


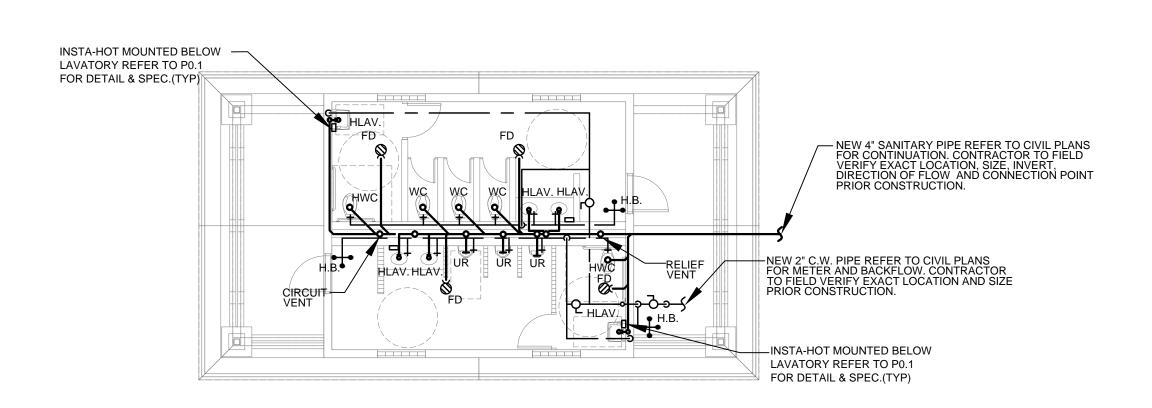
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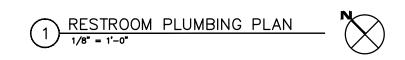
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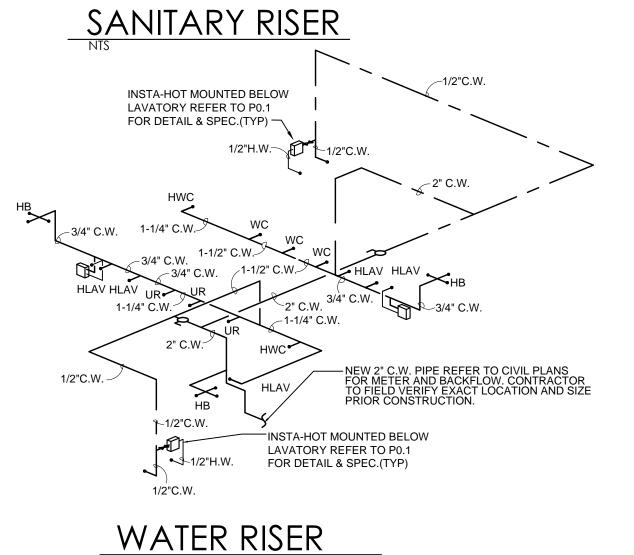
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RESTROOM FACILITIES COMMONS PARK

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PROGRESS SET: 08/22/16

RESTROOM PLUMBING PLAN & RISER DIAGRAMS

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