

PROJECT SUMMARY

BUILDING AREA	221 GSF
OCCUPANCY TYPE	MIXED - CONSIDERED S-2 STORAGE, LOW HAZARD
CONSTRUCTION TYPE	TYPE V B (UNPROTECTED)
AUTOMATIC FIRE SPRINKLER SYSTEM	FULLY SPRINKLERED

APPLICABLE CODES

TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS ARE COMPLETE, AND COMPLY WITH FBC 2014

THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS. SHOULD THERE BE A CONFLICT BETWEEN ANY CODE REQUIREMENTS, COMPLY WITH THE REQUIREMENT THAT PROVIDES THE GREATEST DEGREE OF LIFE SAFETY.

A. FBC (FLORIDA BUILDING CODE), 2014
 1. FBC--MECHANICAL
 2. NEC (NATIONAL ELECTRICAL CODE) 2008; FBC CHAPTER 27
 3. FBC--ACCESSIBILITY
 4. FBC REFERENCES--CHAPTER 35

B. FLORIDA FIRE PREVENTION CODE 5th EDITION , INCLUDING
 1. NFPA 1-2012
 2. NFPA 101-2012

C. UL FIRE RESISTANCE DIRECTORY 2015

D. FEDERAL REQUIREMENTS INCLUDING:
 1. OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION, US DEPARTMENT OF LABOR, CFR 29 AS REVISED JULY 1995

E. CONSTRUCTION, ALTERATION AND DEMOLITION SHALL COMPLY WITH NFPA 241.

SHEET NUMBER	SHEET TITLE	DRAWING REVISION NUMBER	DRAWING REVISION DATE
ARCHITECTURAL			
	COVER & INDEX		
A-01	DEMOLITION FLOOR PLAN & PROPOSED FLOOR PLAN	1	09/27/2016
A-02	INTERIOR ELEVATIONS	1	09/27/2016
A-03	FURNISH & EQUIP. SCHEDULE, DETAILS	1	09/27/2016
A-04	CATWALK AND LADDER DETAILS	1	09/27/2016
A-05	CEILING LID FRAMING PLAN AND SECTIONS	1	09/27/2016
STRUCTURAL			
S-001	GENERAL NOTES		
S-002	FLOOR SLAB PLAN		
S-003	PLATFORM PLAN AND DETAILS		
MECHANICAL			
M-1	MECHANICAL PLAN	1	09/27/2016
PLUMBING			
P-1	PLUMBING PLAN		
P-2	PLUMBING SCHEDULE		
ELECTRICAL			
E-1	NOTES, DETAILS & RISER DIAGRAMS		
E-2	ELECTRICAL FLOOR PLAN & PANEL SCHEDULE		

ARCHITECT OF RECORD

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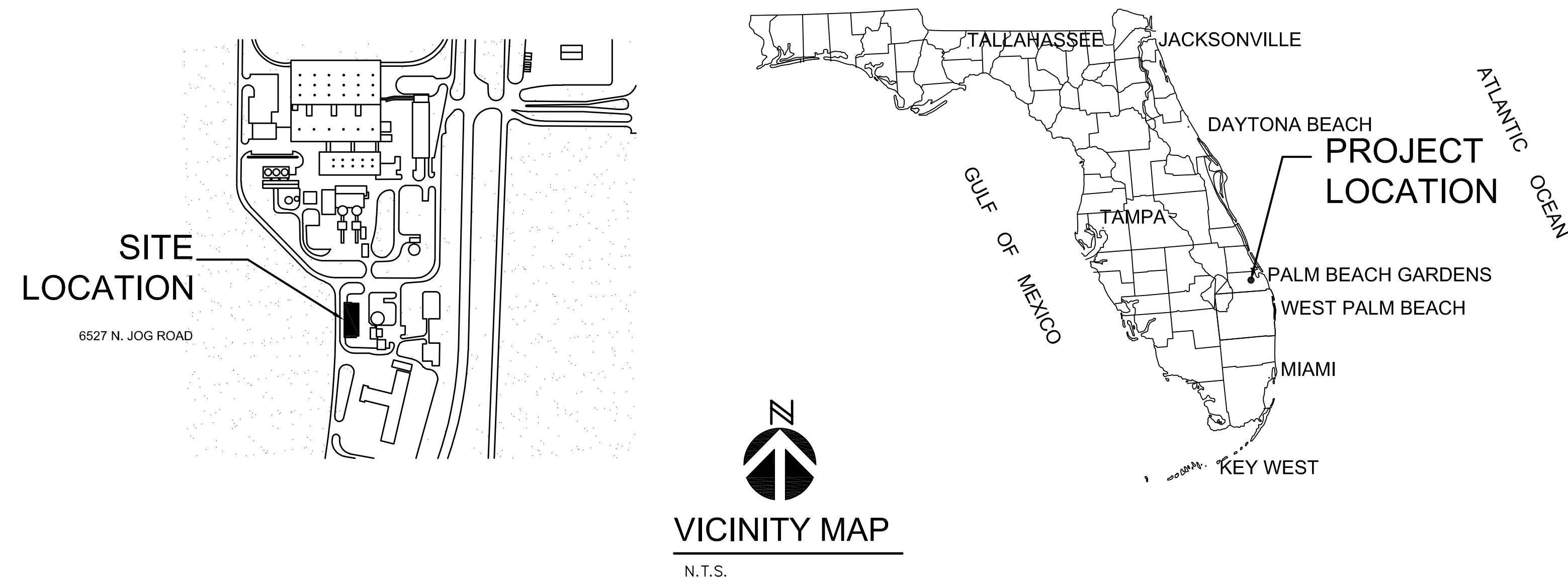
CONSULTING ENGINEERS

NAME

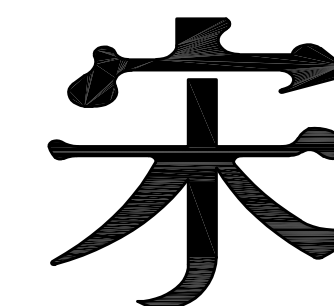
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SWA-PBC MAINTENANCE FACILITY LOCKER ROOM EXPANSION



6527 N. JOG ROAD
 WEST PALM BEACH, FL
 S + A Project No. 16003



Song + Associates

Architecture • Planning • Interior Design

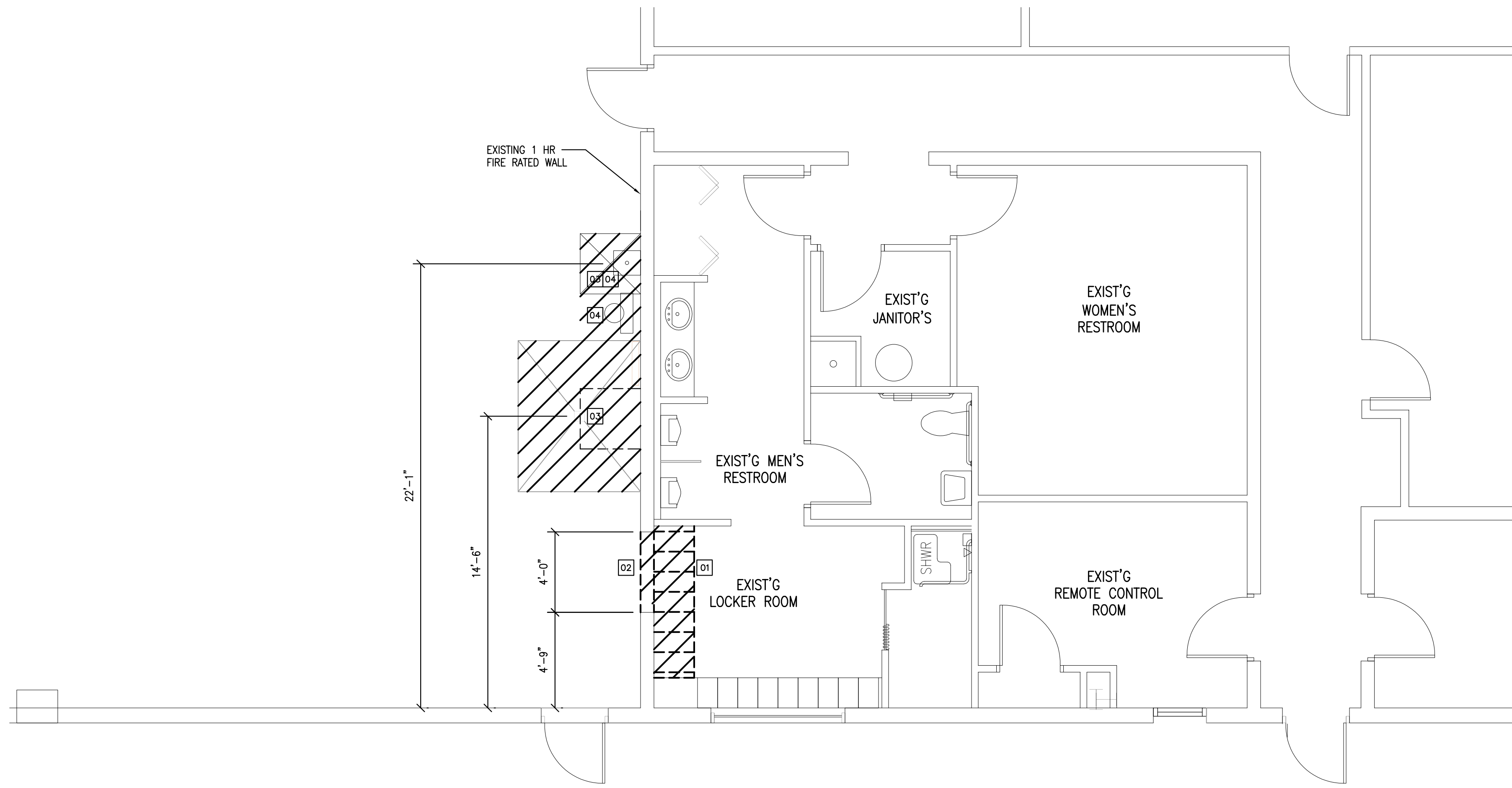
BID SET CONSTRUCTION DOCUMENTS

7/14/2016

TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLETE AND COMPLY WITH "THE FLORIDA BUILDING CODE 2014", THE "FLORIDA FIRE PREVENTION CODE; FIFTH ADDITION", AND OTHER APPLICABLE CODES AND REGULATIONS. AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH FBC CH. 105 AND 633 FLORIDA STATUTES.

Seal :

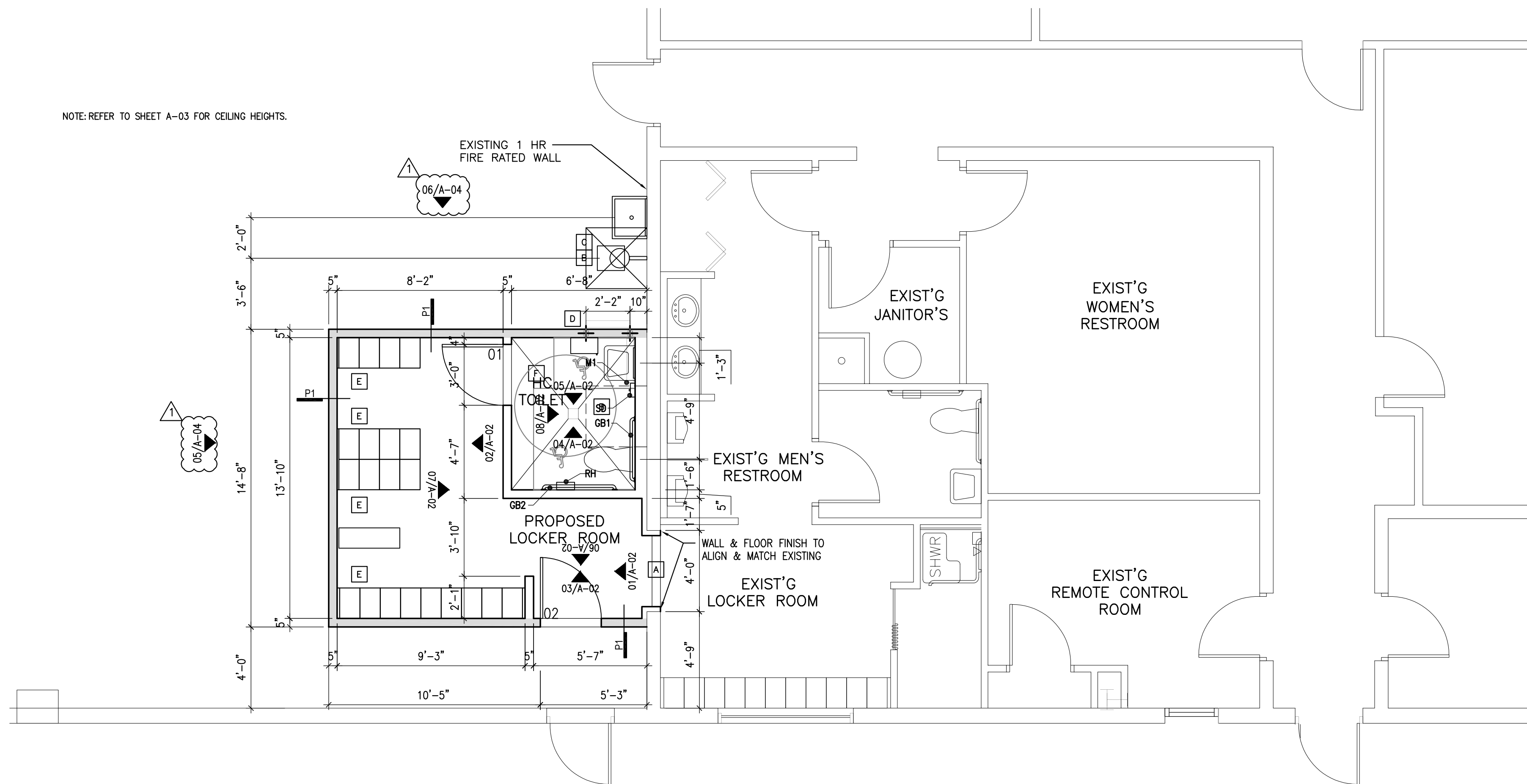
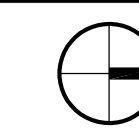
Name : PERRY DOUGLAS
 License # : 97112



DEMOLITION PLAN

01

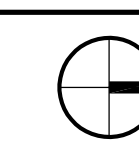
SCALE 1/4"=1'-0"



PROPOSED FLOOR PLAN

02

SCALE 1/4"=1'-0"



GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING CONDITIONS.
- THE DEMOLITION PLANS ARE DERIVED FROM EXISTING BUILDING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. ILLUSTRATIONS, DIMENSIONS AND INFORMATION IN THESE DRAWINGS ARE BASED, IN PART, ON EXISTING DRAWINGS FURNISHED BY THE OWNER. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN ON THE DRAWINGS. THE DEMOLITION KEY NOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
- REMOVE FROM SITE AS SOON AS PRACTICABLE DEMOLISHED MATERIALS, DEBRIS, NON-SALVAGEABLE EQUIPMENT AND RUBBISH. DO NOT ACCUMULATE DEBRIS ON THE FLOOR OR AT THE SITE. CONTRACTOR TO PROVIDE RUBBISH BIN TO COLLECT ALL ABOVE MENTIONED MATERIAL, DEMOLISHED, ETC.
- PATCH AND REPAIR ALL EXISTING CEILINGS, PARTITIONS, AND FLOORS DISTURBED FOR NEW WORK AND FINISH.
- PROVIDE A ZIP WALL AS DUST BARRIER ON ALL STRATEGIC AREAS OF CONSTRUCTION TO MINIMIZE DUST MIGRATION IN THE UNDISTURBED AREAS AS MUCH AS POSSIBLE.
- ALL CONSTRUCTION PERSONNEL SHALL USE APPOINTED CONSTRUCTION ACCESSSES ONLY AS PER OWNER'S DIRECTION.
- CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM, UNNECESSARY NOISE IS NOT PERMITTED.
- COORDINATE WITH OWNER THE DISPOSITION, MOVING OR RELOCATION OF ALL SIGNAGE, SALVAGEABLE EQUIPMENT AND RELATED APPURTENANCES, MORE SPECIFICALLY BUT NOT LIMITED TO LOCKERS, EMERGENCY EYE WASH EQUIPMENT, AND WASH SINK.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR ANY INCONSISTENCIES.
- UPON COMPLETION OF THE WORK, PROPERTY AND ADJACENT AREAS SHALL BE LEFT CLEAN AND SATISFACTORY TO THE OWNER AND THE ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING, PATCHING AND FITTING OF ALL WORK IN A NEAT WORKMANLIKE MANNER. PROTECT ALL ADJACENT SURFACES FROM DAMAGE. PATCH AND REPAIR ALL WORK DAMAGED DURING CONSTRUCTION TO ITS ORIGINAL OR BETTER CONDITION.
- DIMENSIONS SHOWN ARE FROM EXISTING FINISHES TO FACE OF NEW METAL STUDS.
- CONTRACTOR RESPONSIBLE TO DISPOSE OF ALL CONSTRUCTION DEBRIS. CONTRACTOR CAN DISPOSE OF DEBRIS AT SWA LANDFILL AT NO CHARGE, BUT MUST SUPPLY DEBRIS CONTAINER.

DEMOLITION KEYED NOTES

- 01** COMPLETELY REMOVE EXISTING LOCKERS ALONG WALL
- 02** SAW CUT THROUGH CMU FOR NEW OPENING
- 03** CORE DRILL FLOOR FOR NEW DRAIN
- 04** EXISTING EYEWASH STATION AND SINK PLUMBING TO BE MOVED TO NEW LOCATION.*

*NOTE: EQUIPMENT TO BE MOVED IS TO BE STORED IN A SAFE LOCATION AT THE OWNER'S DISCRETION

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING TO BE DEMOLISHED
- EXISTING AREAS WHERE NEW WORK IS TO BE DONE - SEE ELEVATIONS/NOTES FOR FULL DETAILS.

NEW WORK KEYED NOTES

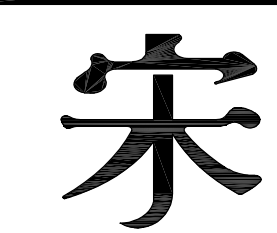
- A** NEW ENTRY INTO PROPOSED LOCKER ROOM
- B** NEW DRAIN LOCATION
- C** RELOCATED EMERGENCY EYE WASH STATION
- D** RELOCATED ROOF ACCESS LADDER
- E** NEW TUFTED LOCKERS TO MATCH EXISTING
- F** NEW ADA RESTROOM

RESTROOM ACCESSORY LEGEND

- GB1 1 1/2" DIAMETER GRAB BAR X 36" L
- GB2 1 1/2" DIAMETER GRAB BAR X 42" L
- GB3 1 1/2" DIAMETER GRAB BAR - TWO WALL 24" X 30" L

- M1 STAINLESS STEEL MIRROR 24"W X 36"H
- M2 MIRROR 36"W X 36"H
- M3 MIRROR 82"W X 36"H
- CH COAT HOOK W/ BUMPER
- EHD ELECTRIC HAND DRYER. BASIS OF DESIGN: DYSON AIRBLADE
- LAV LAVATORY
- WC WATER CLOSET

- SC SURFACE MOUNTED SEAT COVER DISPENSER
- RH SURFACE-MOUNTED TOILET TISSUE DISPENSER
- TD SURFACE-MOUNTED PAPER TOWEL DISPENSER
- SD SURFACE-MOUNTED SOAP DISPENSER: CONTRACTOR FURNISHED & INSTALLED



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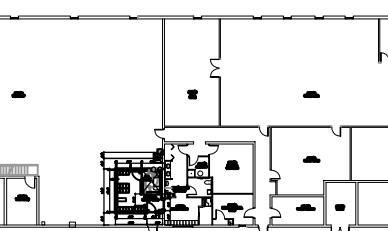
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**SWA-PBC
MAINTENANCE
FACILITY
LOCKER ROOM**



6527 N. Jog Road
West Palm Beach, FL 33412

Key Plan:



Revisions :

ADDENDUM 1 09/27/2016

Date : 07/14/2016

S+A Project No. : 16003

Owner Project No. : -

Drawn By : LE

Checked By : RC

Phase :

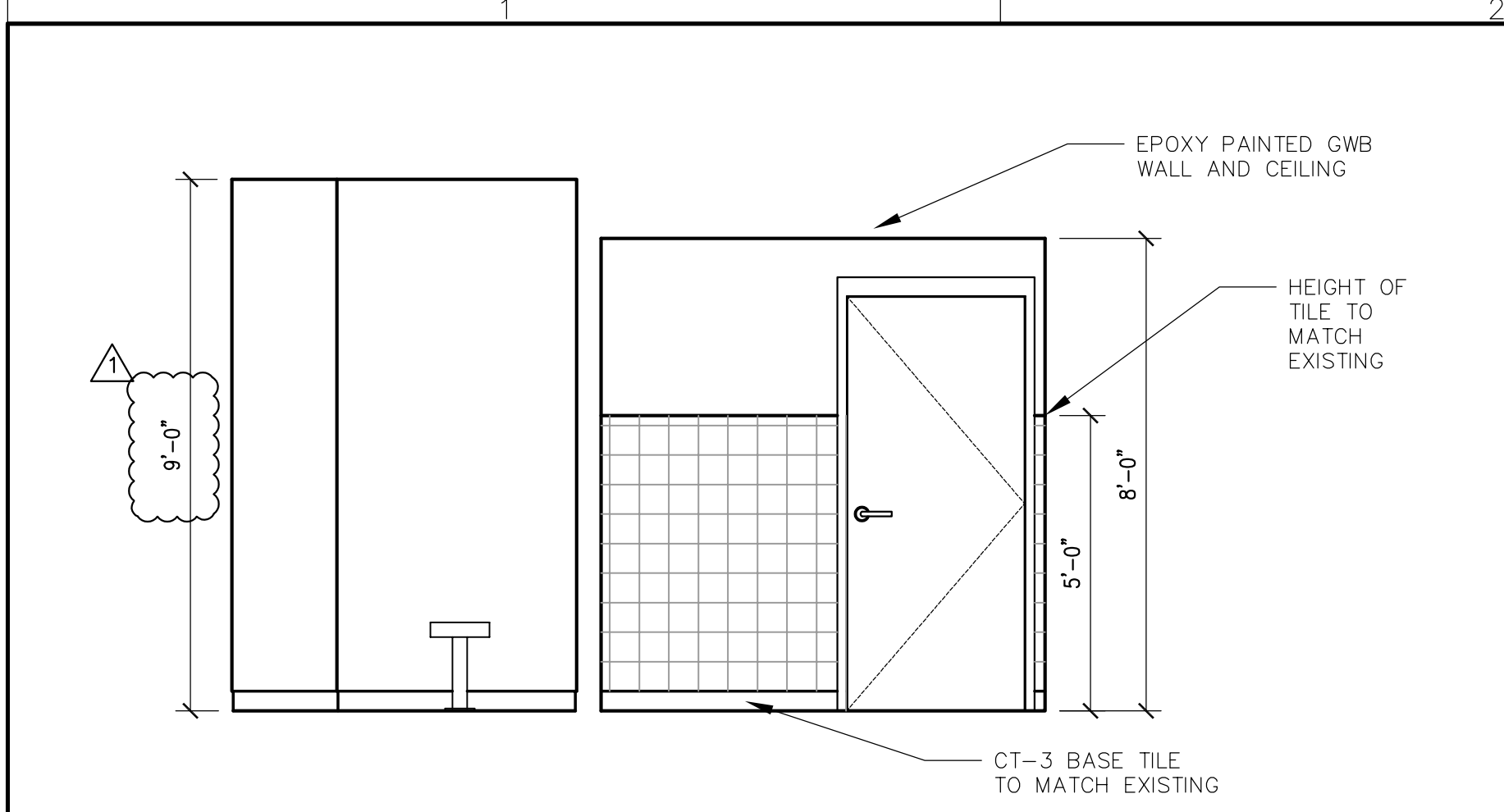
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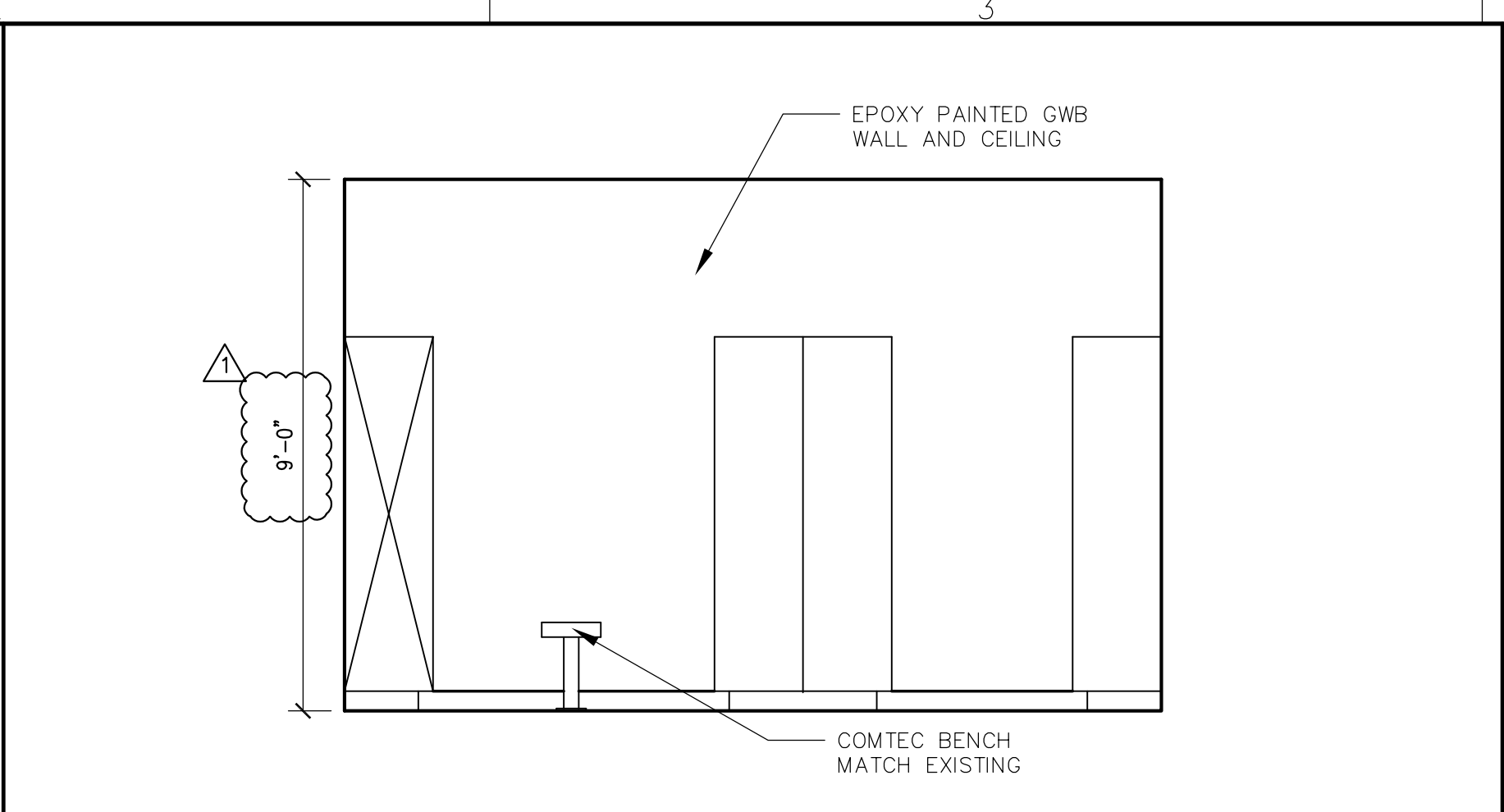
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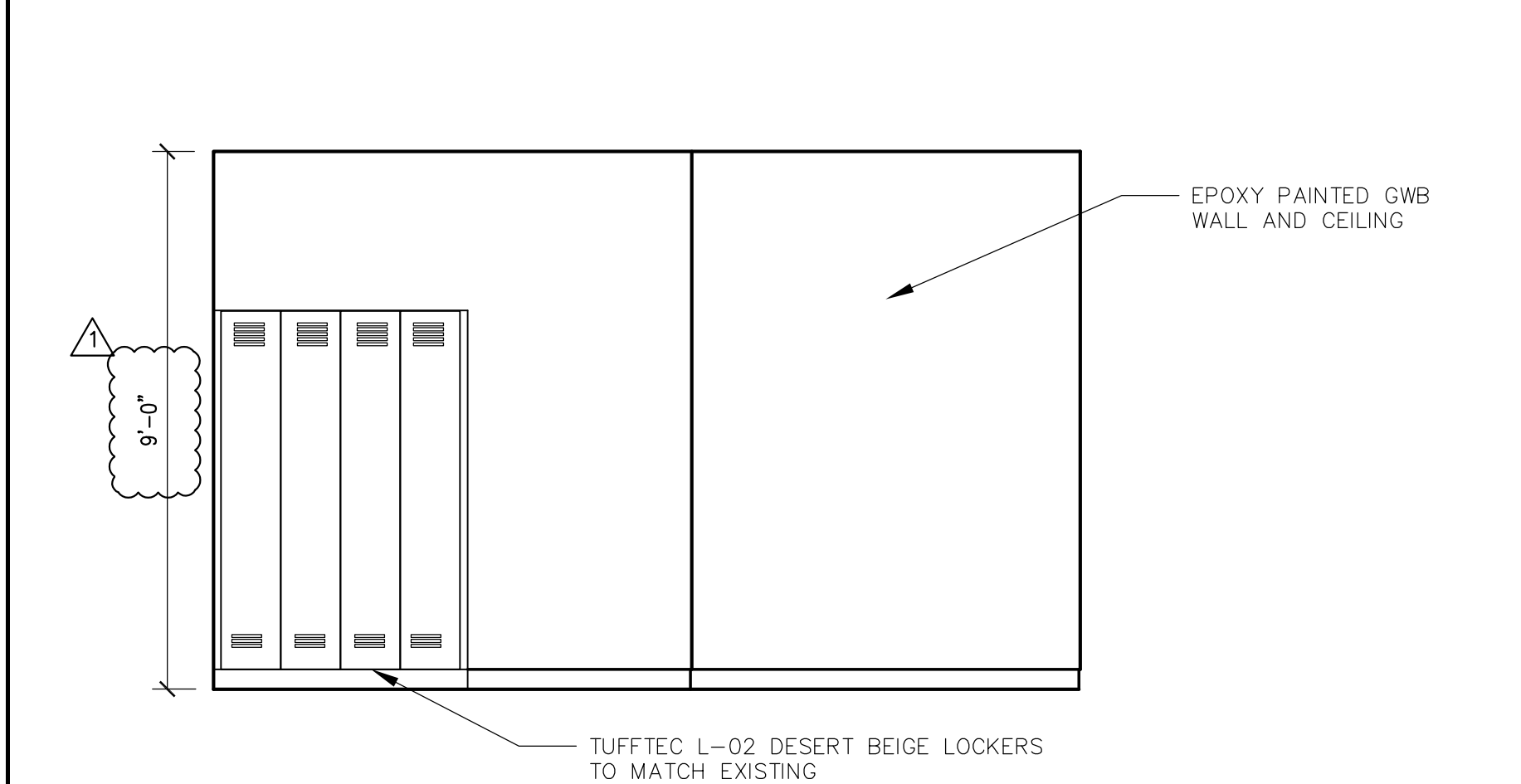
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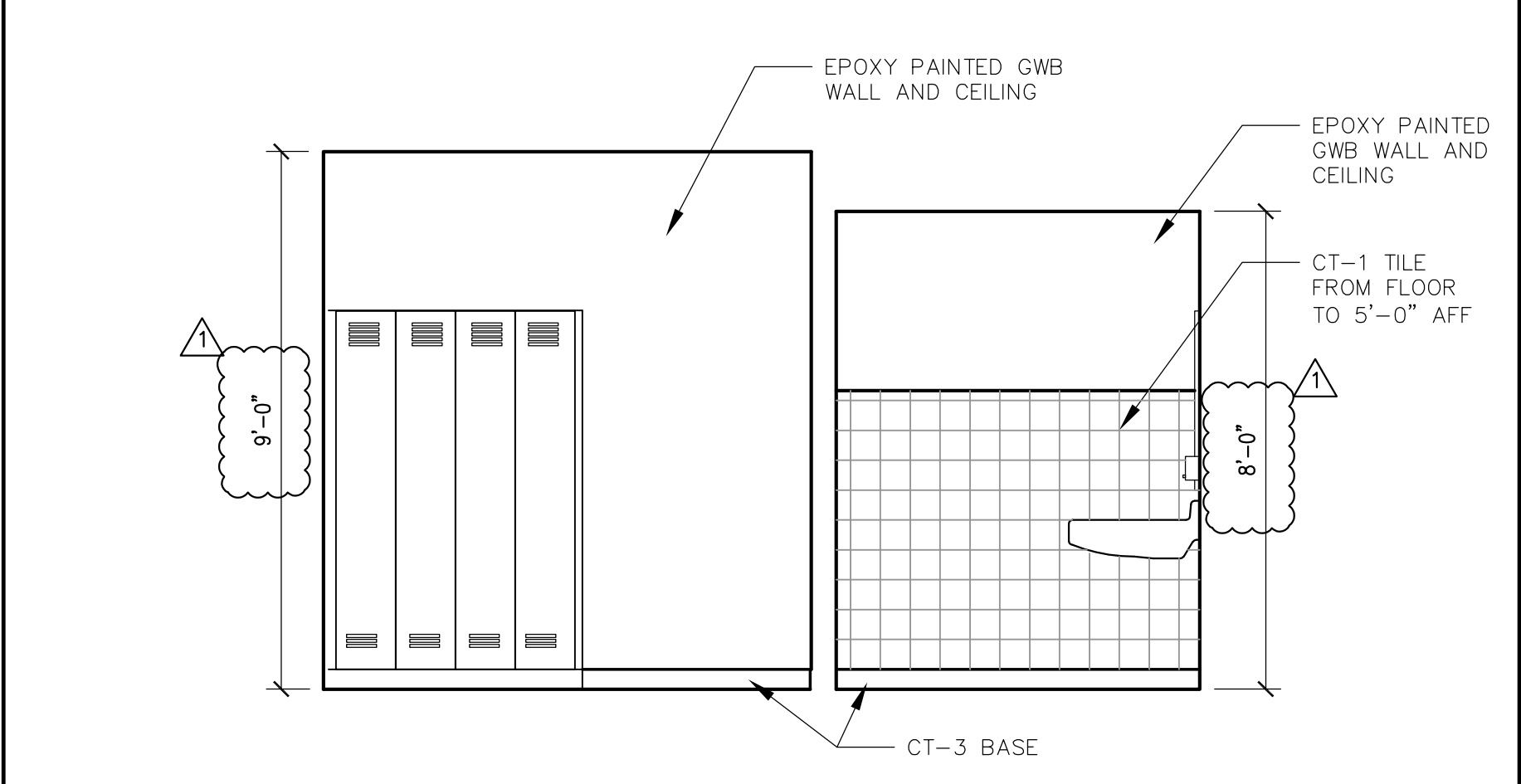
SOUTH INTERIOR ELEVATION 01
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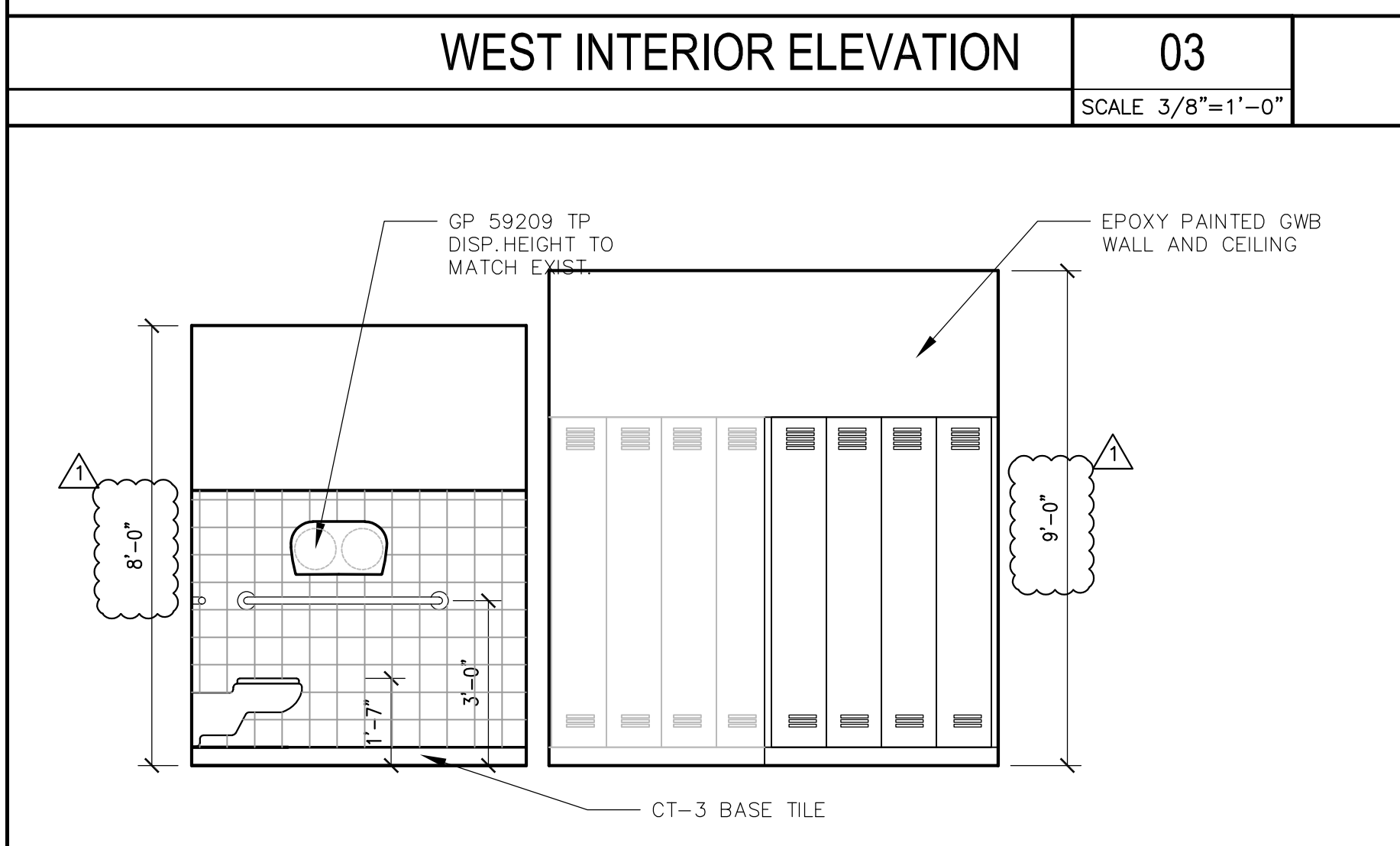
SOUTH INTERIOR ELEVATION 02
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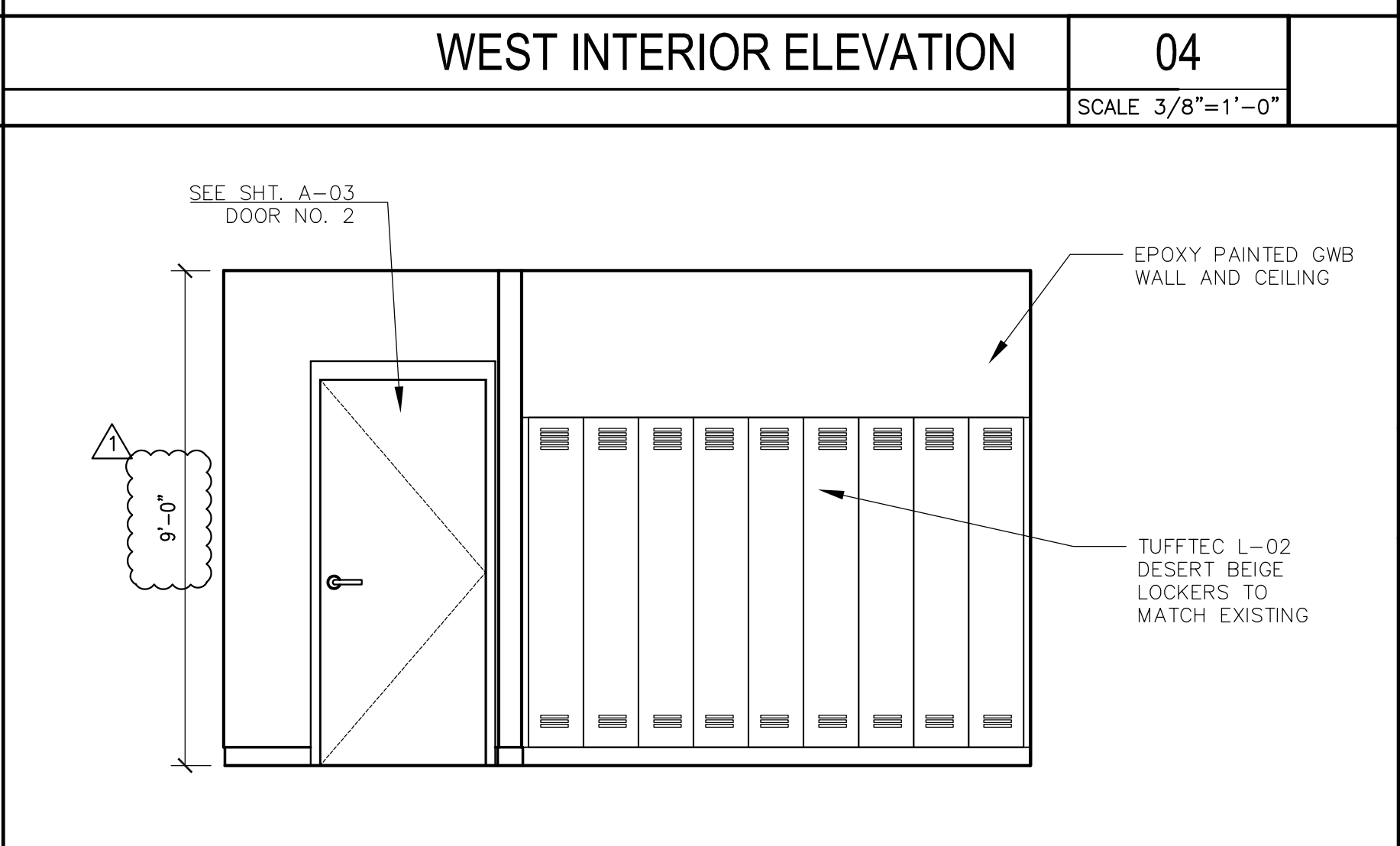
WEST INTERIOR ELEVATION 03
SCALE 3/8"=1'-0"



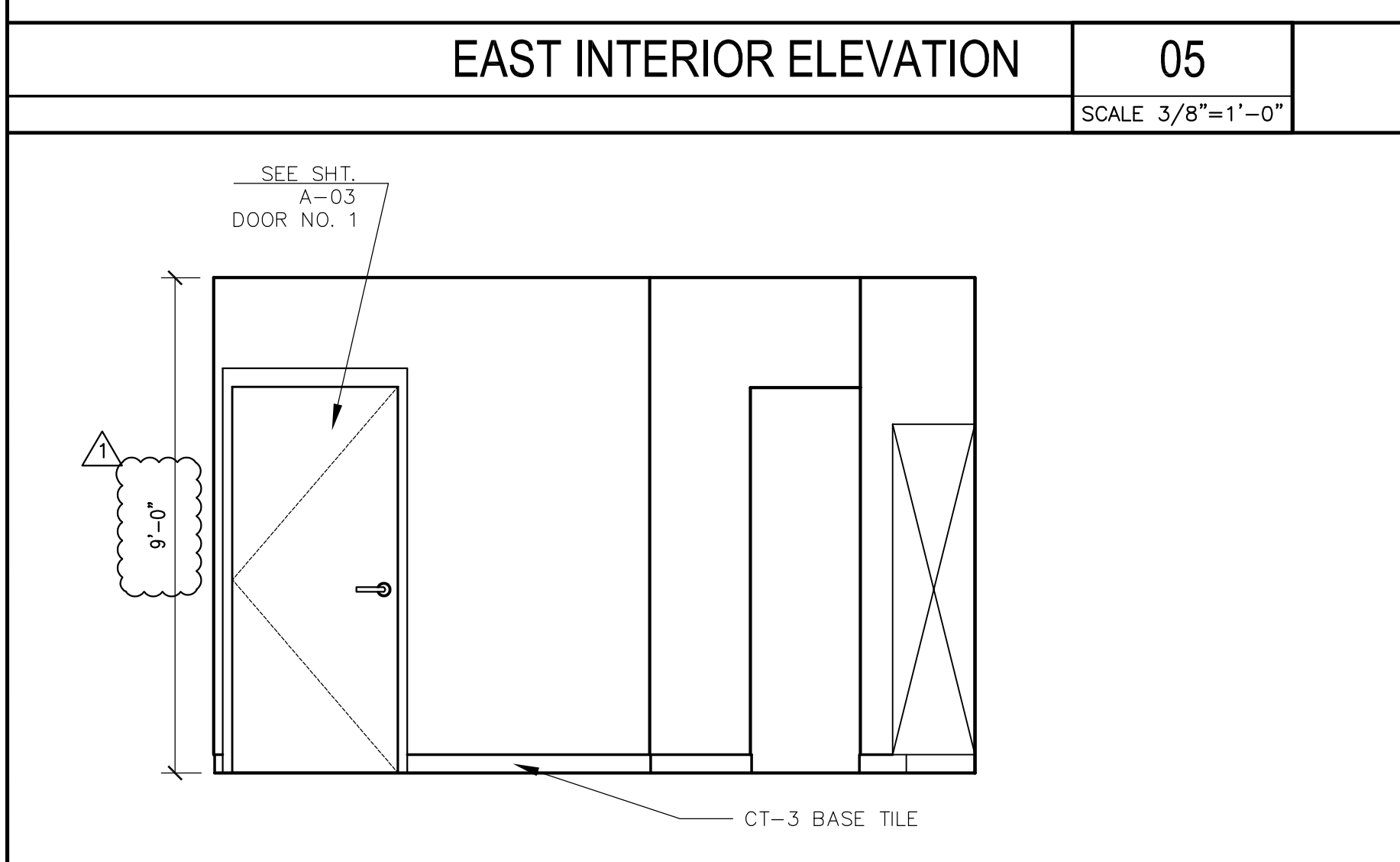
WEST INTERIOR ELEVATION 04
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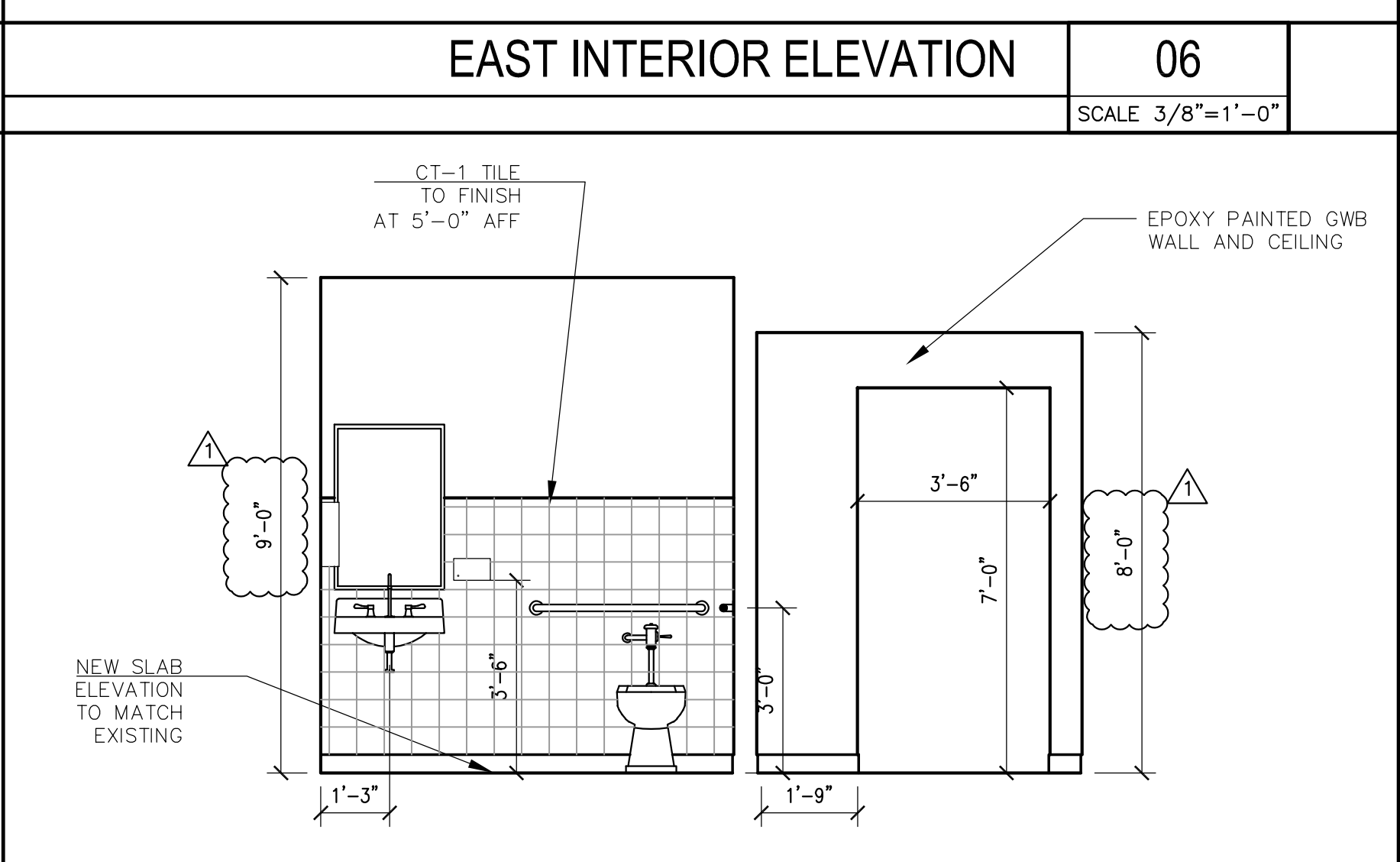
EAST INTERIOR ELEVATION 05
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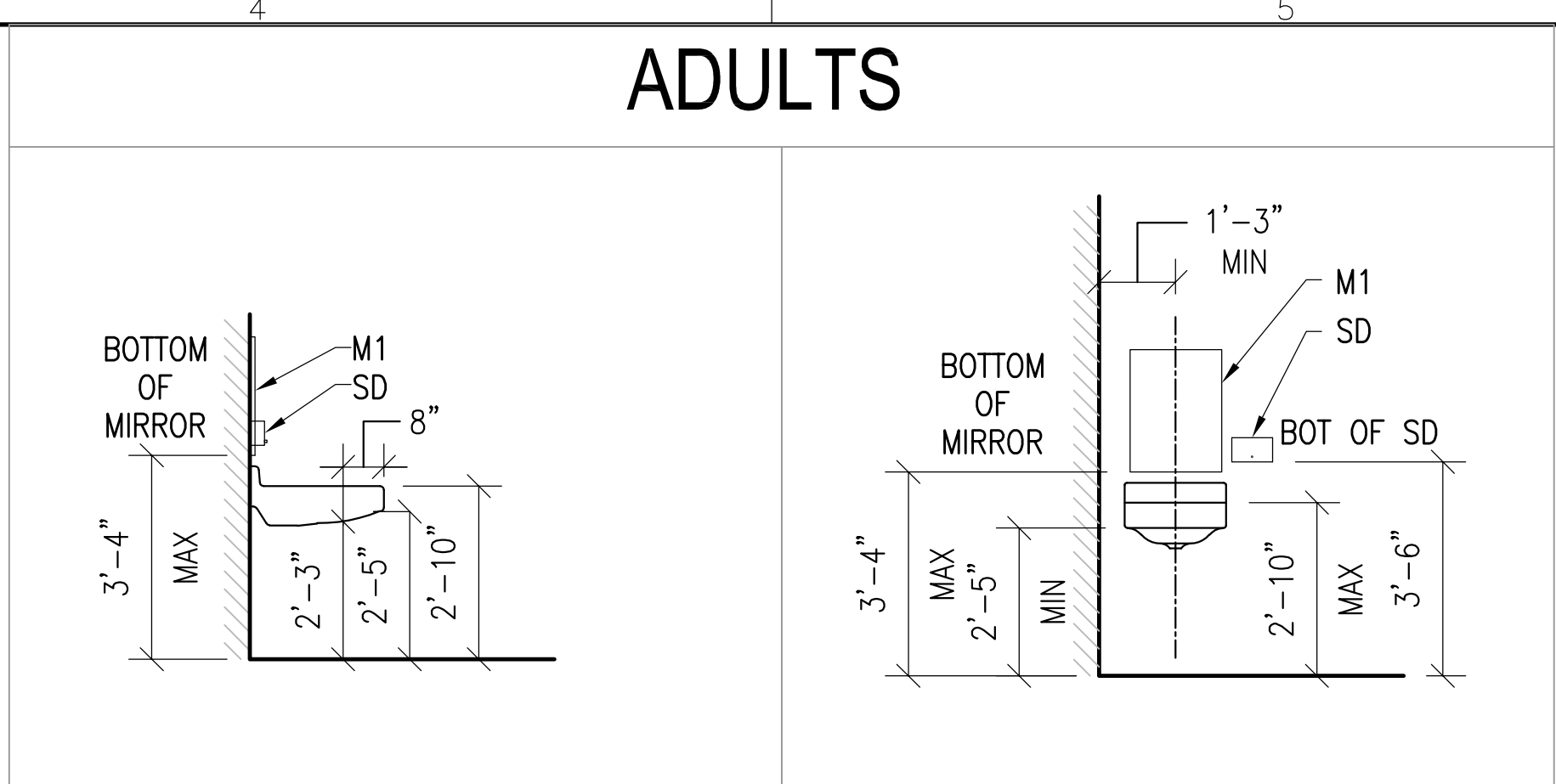
EAST INTERIOR ELEVATION 06
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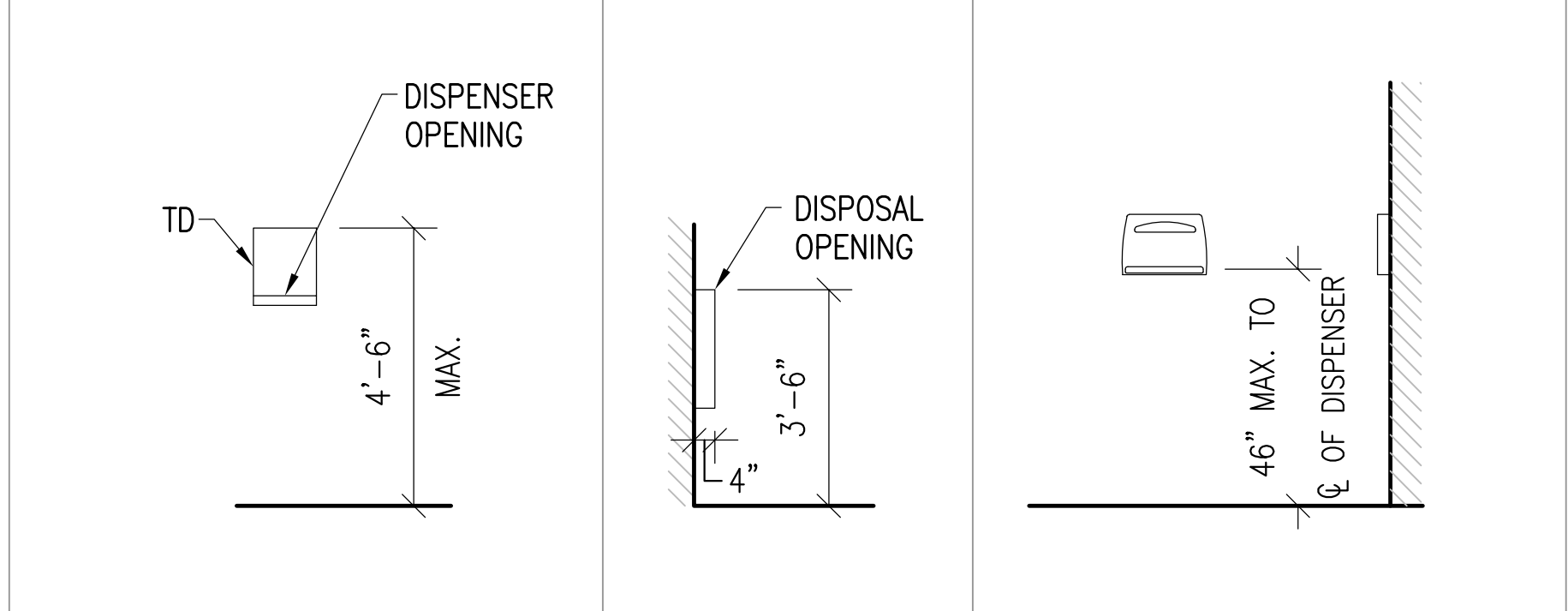
NORTH INTERIOR ELEVATION 07
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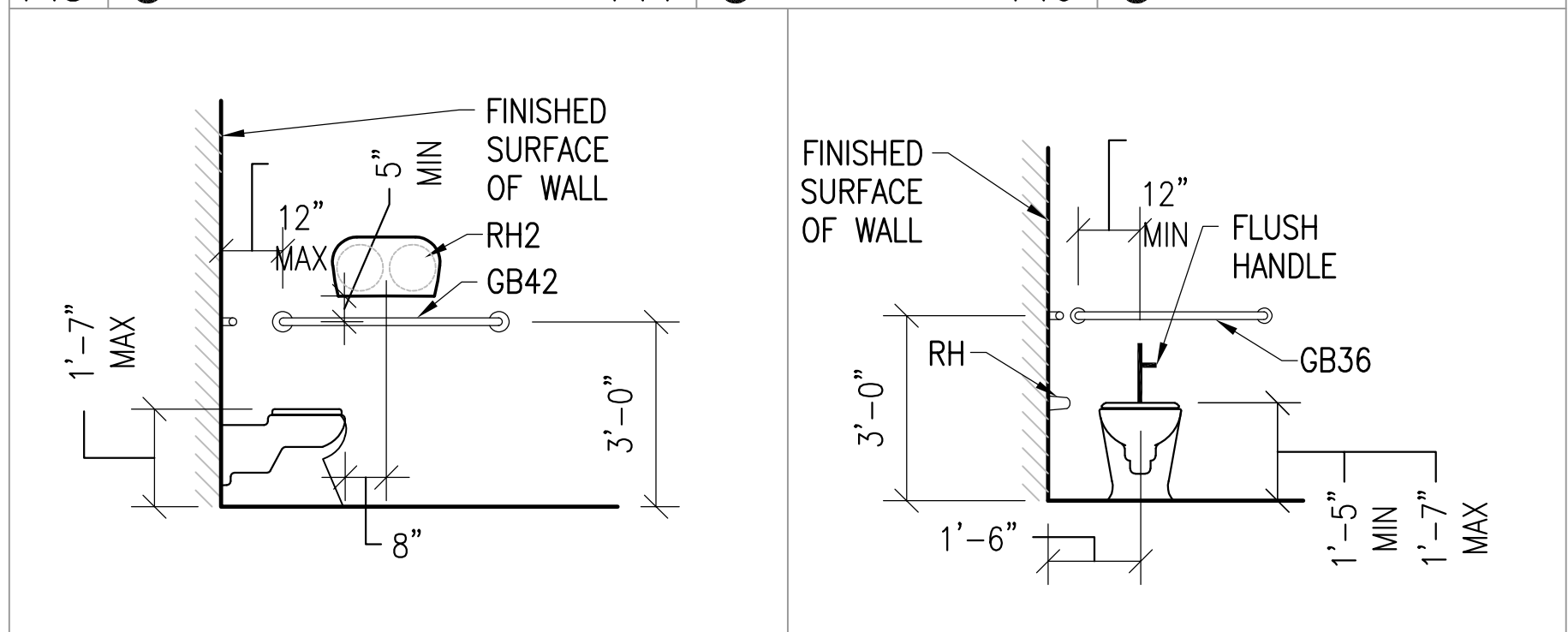
NORTH INTERIOR ELEVATION 08
SCALE 3/8"=1'-0"



A1 & LAV, M1, SD **A2 & LAV, M1, SD**

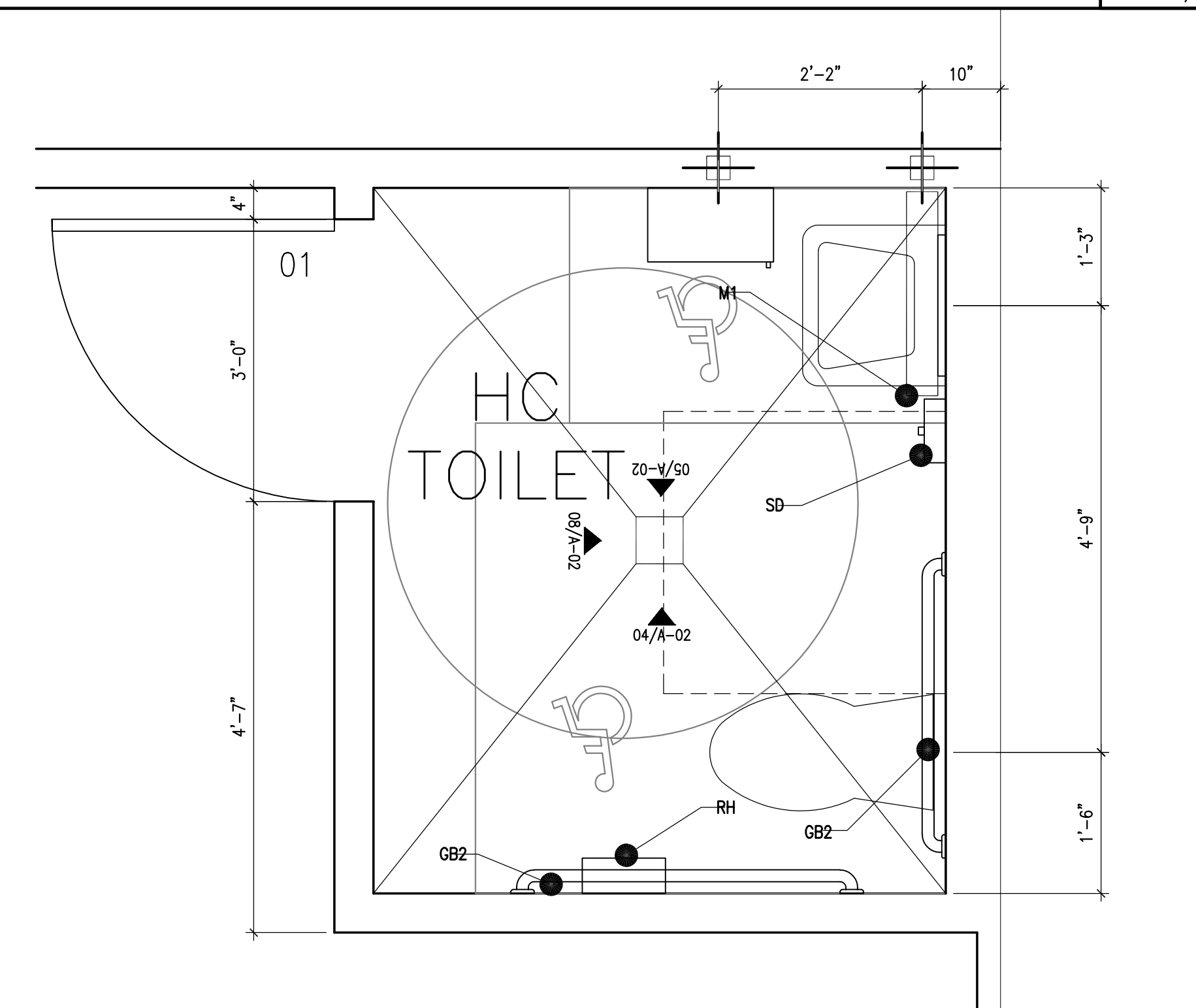


A3 & TOWEL DISPENSER **A4 & WR** **A6 & SC**



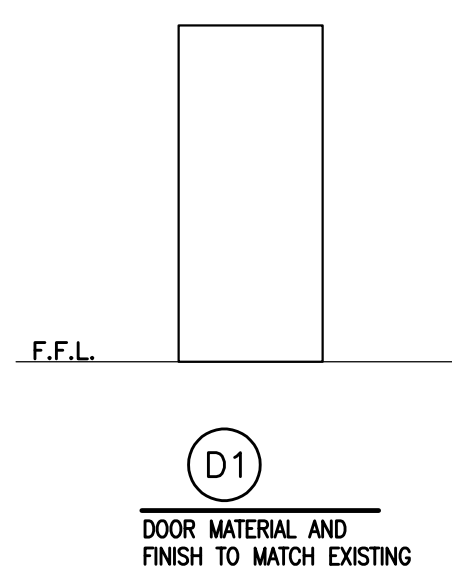
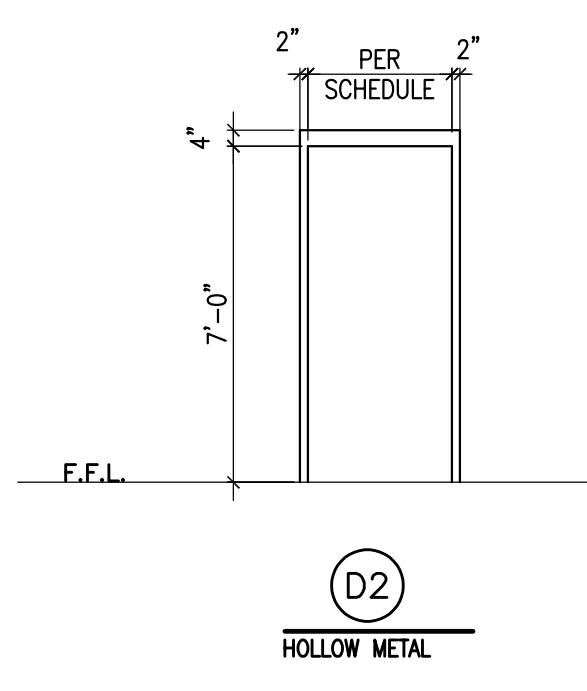
A7 & WC, RH, RH2, GB42 **A8 & WC, RH, GB36**

TYPICAL MOUNTING HEIGHTS 09
SCALE 3/8"=1'-0"



ADA RESTROOM 10
SCALE 3/4"=1'-0"

DOOR SCHEDULE														
DOOR NO.	DOORS			FRAMES			DETAILS			FIRE RATING	HWDR GROUP	GLAZING	SWING	REMARKS
	SIZE	MAT	TYPE	SIZE	MAT	TYPE	HEAD	JAMB	SILL					
01	3070	HM 18G	D1	1-3/4	M16	-	01A-212	02A-212	-	-	01	-	LH	ALL HM DOORS TO BE WELDED
02	3070	HM 18G	D1	1-3/4	M16	-	01A-212	02A-212	-	45 MIN.	02	-	LH	

DOOR TYPE		DOOR FRAME TYPE	
	D1 DOOR MATERIAL AND FINISH TO MATCH EXISTING		D2 HOLLOW METAL

NOTES: DOORS SHALL COMPLY WITH NFPA 101-2012 EDITION CHAPTER 7, SECTION 7.2.1

FINISH SCHEDULE															
ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS								CEILING	REMARKS		
				NORTH		EAST		WEST		SOUTH					
01	MEN'S LOCKER ROOM ADA RESTROOM	CT-2 CT-3	CT-3 CT-3	GWB CT-1	PNT & 14/A-04 PNT & 14/A-04	GWB CT-1	PNT & 14/A-04 PNT & 14/A-04	GWB CT-1	PNT & 14/A-04 PNT & 14/A-04	GWB CT-1	PNT & 14/A-04 PNT & 14/A-04	GWB CT-1	PNT & 14/A-04 PNT & 14/A-04	GWB GWB	SEE DTL 5

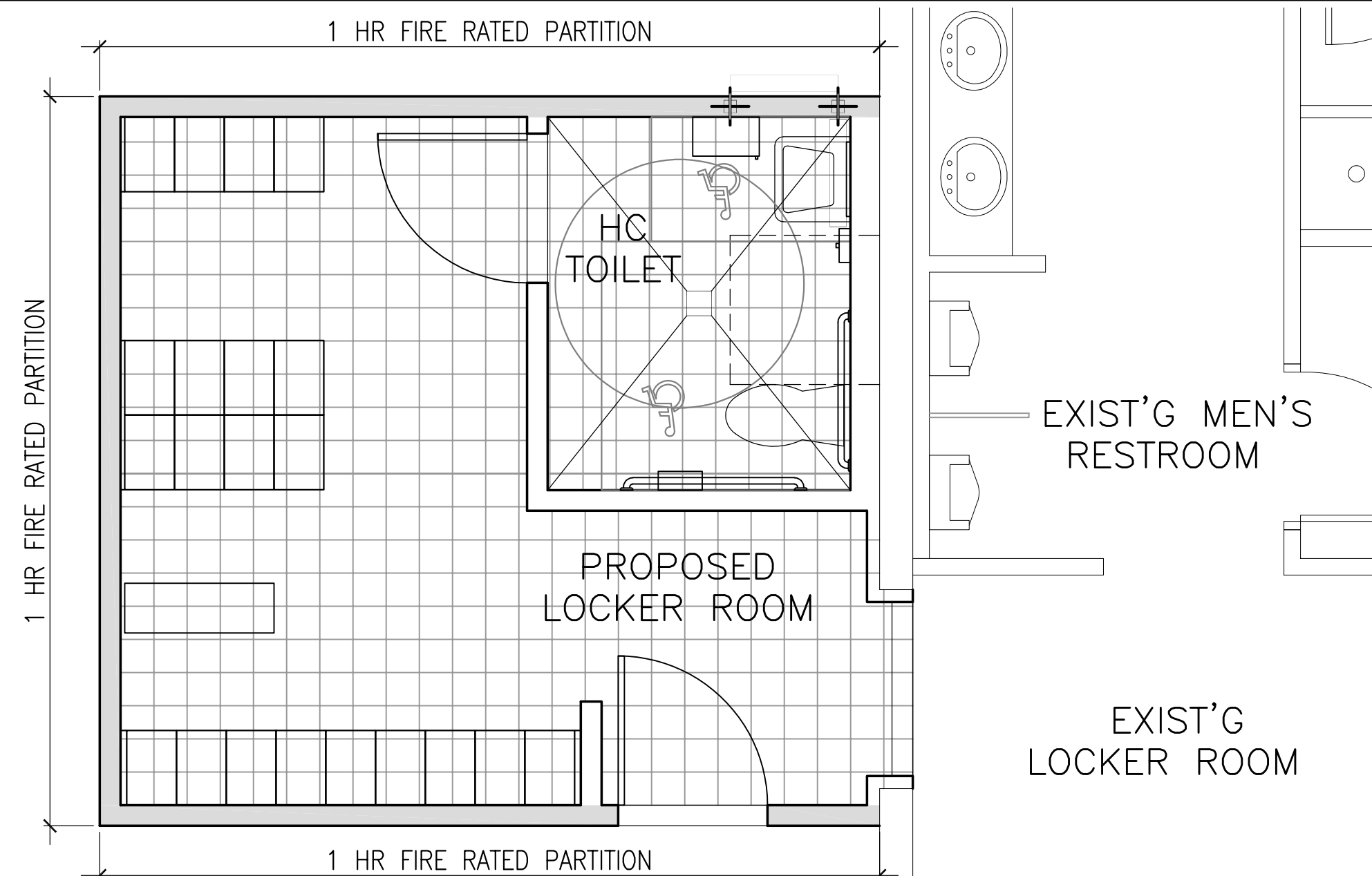
FINISH LEGEND AND SPECIFICATIONS	
LEGEND	SPECIFICATIONS
TILE	CT-1: MANUFACTURER: DAL TILE COLLECTION: SEMI-GLOSS COLOR: ALMOND 0135 SIZE: 6"x6" STACKED PATTERN
FLOOR	CT-2: MANUFACTURER: DAL TILE COLLECTION: GRANITI SERIES COLOR: DUINA DI SABBIA CD98 SIZE: 6"x6" STACKED PATTERN
GROUT	CT-1: LATICRETE #85 - ALMOND CT-2&3: LATICRETE #17 - MARBLE BEIGE
BASE	CT-3: MANUFACTURER: DAL TILE COLLECTION: GRANITI SERIES COLOR: DUINA DI SABBIA CD98 SIZE: 4"x12"
INTERIOR PAINT	WALL AND CEILINGS - SHERWIN WILLIAMS WASHABLE, EGGSHELL FINISH, CONTRACTOR TO MATCH EXISTING PAINT COLOR INTERIOR DOORS AND TRIM - SHERWIN WILLIAMS IN LOW LUSTER LATEX ENAMEL, CONTRACTOR TO MATCH EXISTING PAINT COLOR (AND FINISH)

MATERIAL ABBREVIATION:

GWB: GYPSUM WALL BOARD, MOISTURE RESISTANT, ON ALL WALLS AND CEILINGS, UNLESS NOTED OTHERWISE.
FCB: FIBER CEMENT BOARD, ON ALL SHOWER & WET WALLS

FLOORING NOTES:

- TILE LAYOUT IS DIAGRAMMATIC IN NATURE
- TILE SHOULD RUN CONTINUOUS FROM EXISTING LOCKER ROOM, TO NEW
- CONTRACTOR TO REPLACE TILE DAMAGED DURING DEMO IN EXISTING MEN'S LOCKER ROOM, MATCH GROUT LINES TO EXISTING



CT-2 FINISH LOCATION

03

3/8" = 1'-0"

HARDWARE NOTES

PROVIDE EACH DOOR UP TO 7'-0" WITH (3) HINGES EACH

HARDWARE GROUP 1

SCHLAGE ND40S ANSI F76
BATH/BEDROOM PRIVACY LOCK

PUSH-BUTTON LOCKING CAN BE OPENED FROM OUTSIDE WITH SMALL SCREWDRIVER, TURNING INSIDE LEVER, OR CLOSING DOOR RELEASES BUTTON. INSIDE LEVER IS ALWAYS FREE FOR IMMEDIATE EGRESS.

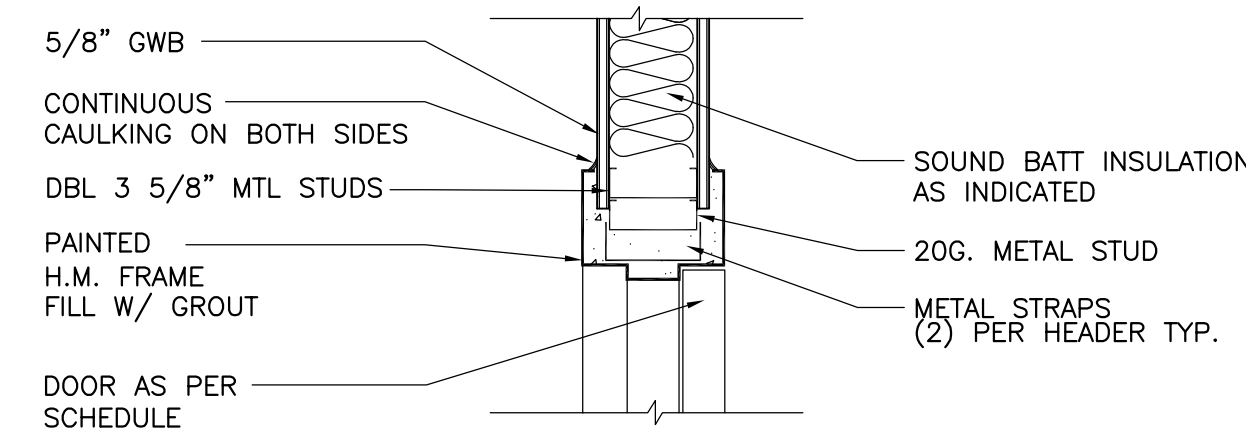
DOOR LEVEL TO BE R40, FINISH TO MATCH EXISTING

HARDWARE GROUP 2

SCHLAGE ND53PD ANSI F109
ENTRANCE LOCK

TURN/PUSH-BUTTON LOCKING. PUSHING AND TURNING BUTTON LOCKS OUTSIDE LEVER, REQUIRING USE OF KEY UNTIL BUTTON IS MANUALLY UNLOCKED. PUSH-BUTTON LOCKING. PUSHING BUTTON LOCKS OUTSIDE LEVER UNTIL UNLOCKED BY KEY OR BY TURNING INSIDE LEVER. INSIDE LEVER IS ALWAYS FREE FOR IMMEDIATE EGRESS.

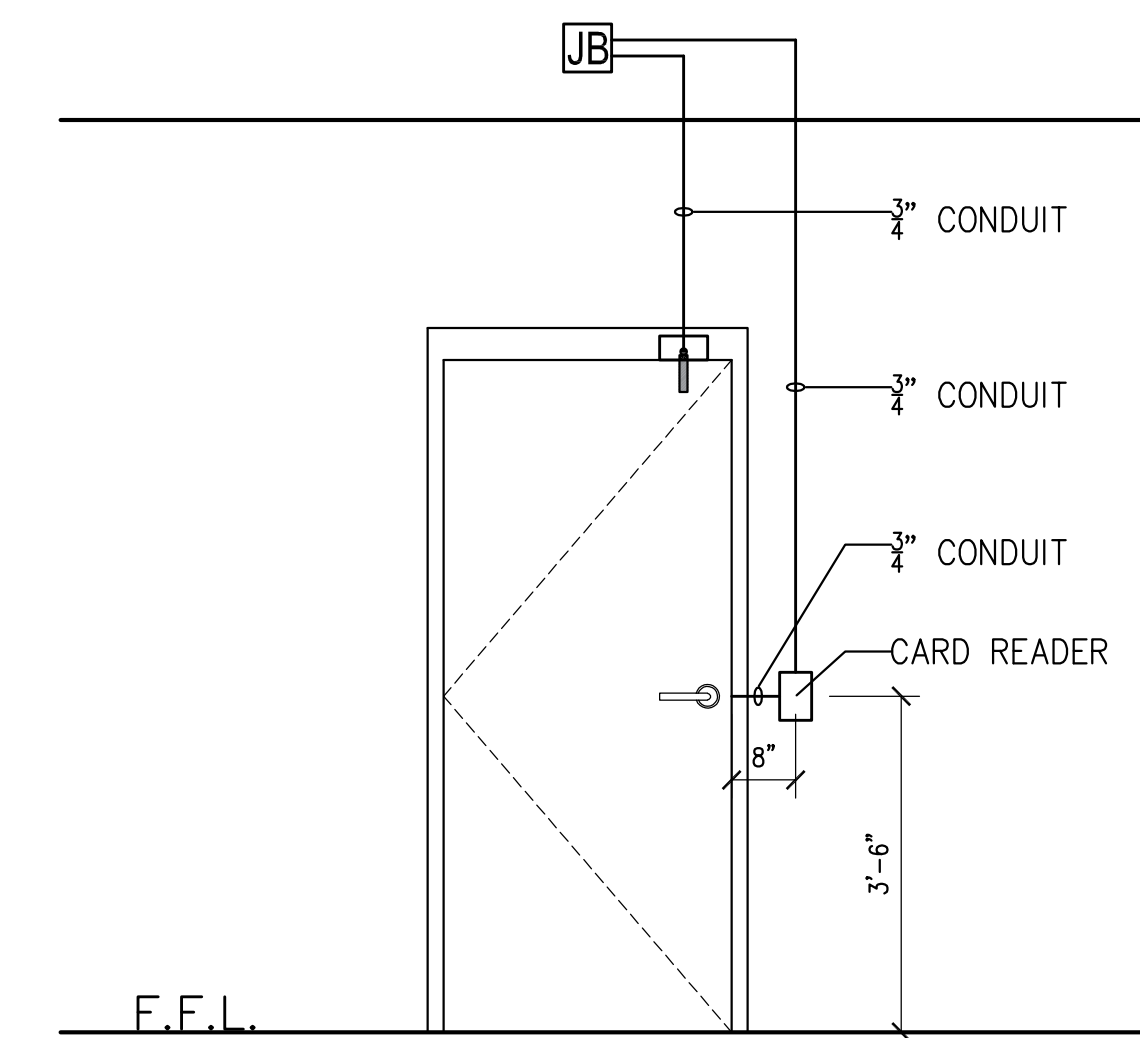
DOOR LEVEL TO BE R40, FINISH TO MATCH EXISTING



HEADER DETAIL

04

N.T.S.



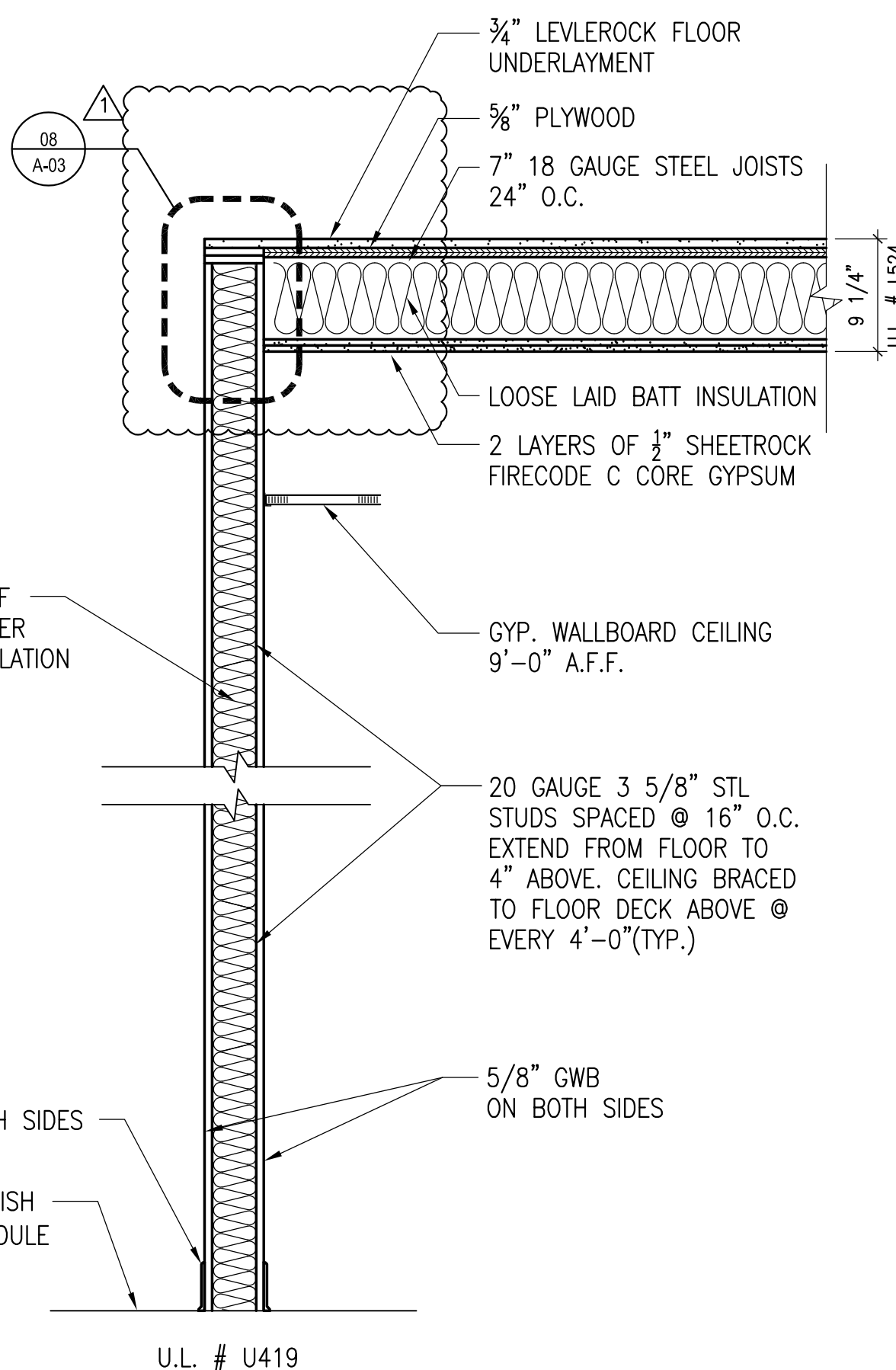
NOTES:

- PROVIDE 3/4" CONDUIT FROM DOOR DEVICES TO BACKBOX (CARD READER)
- PROVIDE 4 1/2" SQ. BACKBOX, WITH PROPER EXTENSION AND PLATE ON SIDE OF DOOR.
- PROVIDE 2 1/2" DEEP SINGLE GANG MASONRY BOX FLUSH MOUNTED 42" AFF AND 6-12" AWAY FROM DOOR FRAME ON UNSECURED SIDE

CONDUIT AND WIRING LAYOUT

05

CARD READER: EXT. DOOR 2 1/2"=1'-0"



WALL TO CEILING ASSEMBLY DETAIL

07

3"=1'-0"

WALL NOTES:

- THESE PARTITION TYPES ARE DIAGRAMMATIC IN NATURE, REFER TO FINISH SCHEDULE
- WALL TAG DESIGNATION IS INTENDED TO INDICATE WALL TYPE ALONG AN ENTIRE WALL PLANE AND/OR SURFACE ALONG THE FULL LENGTH OF A SPACE OR CORRIDOR INCLUDING ASSOCIATED ALCOVES AND NICHES, UNLESS INDICATED OTHERWISE.
- MAXIMUM STUD SPACING & MIN. STUD GAUGE SHALL PROVIDE A MAXIMUM DEFLECTION OF L/240 UNDER A MINIMUM 5 PSF LATERAL LOAD, UNLESS OTHERWISE INDICATED. PROVIDE FRAMING W/ 20 GA. STUDS @ 16" O.C.
- SET FLOOR TRACKS IN TWO CONTINUOUS BEADS OF ACOUSTICAL (NON-HARDENING). IN ADDITION, PROVIDE A CONTINUOUS BEAD OF ACOUSTICAL CAULK BETWEEN THE BOTTOM OF DRYWALL AND CONCRETE SLAB
- ALL GWB SHALL CONTAIN MOLD/MILDEW RESISTIVE PROPERTIES, UNLESS OTHERWISE SPECIFIED.
- INTERIOR STUD DOOR HEAD & JAMB FRAMING TO BE DOUBLE 20 GAUGE STUDS, TYP. PROVIDE 20 GAUGE STUDS AT INTERIOR WALLS RECEIVING TILE FINISH.

1HR FIRE RATED PARTITION DETAIL

06

1"=1'-0"

宋

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Consultants:

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LOCKER ROOM



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Key Plan:

Revisions:

ADDENDUM 1 09/27/2016

Date: 07/14/2016

S+A Project No.: 16003

Owner Project No.:

Drawn By: LE

Checked By: RC

Phase:

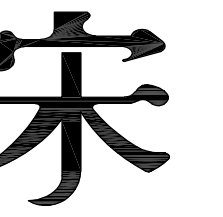
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Sheet Title:

DETAILS
AND
SCHEDULES

Sheet #:

A-03



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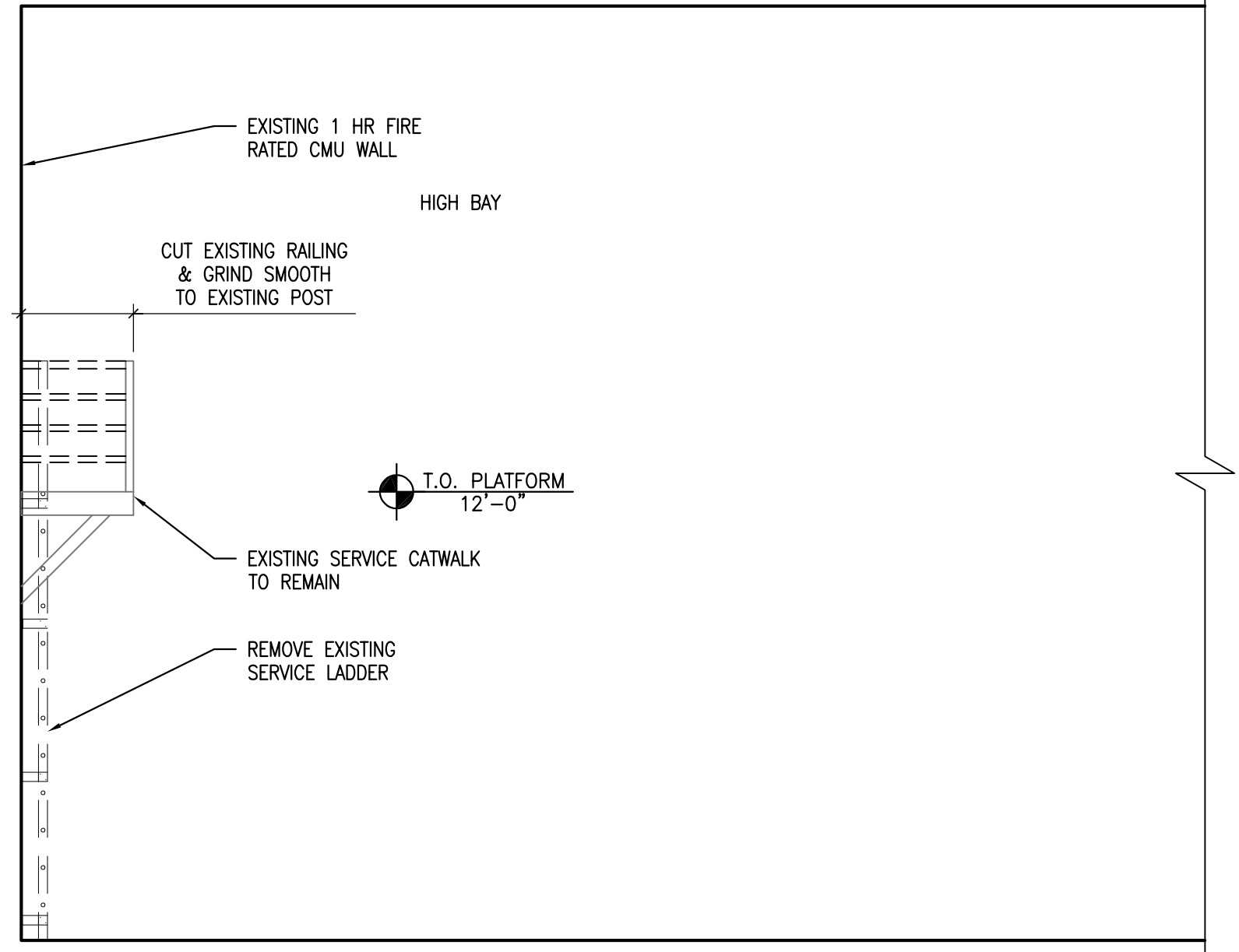
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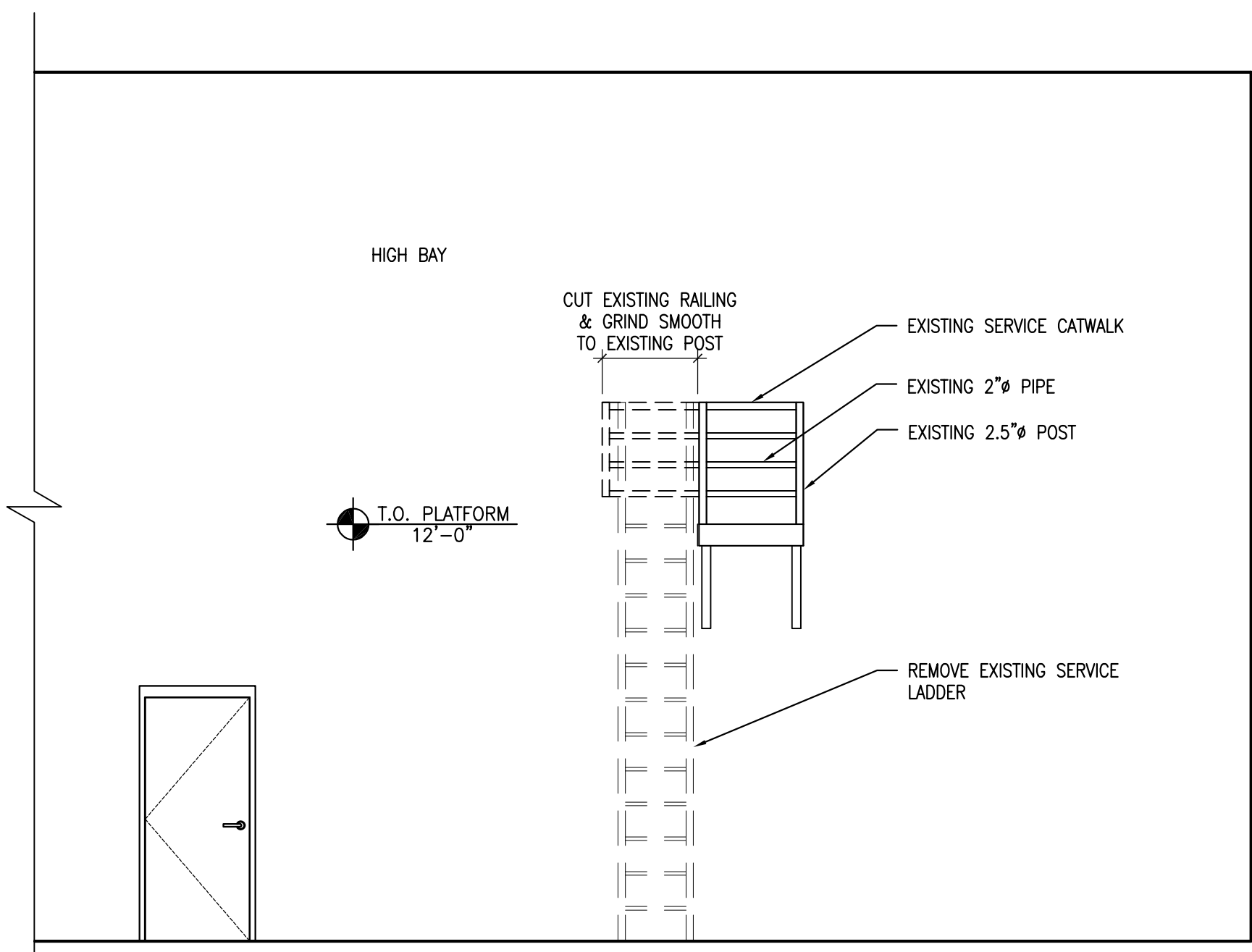
SERVICE
CATWALK AND
LADDER
DETAILS

Sheet # :

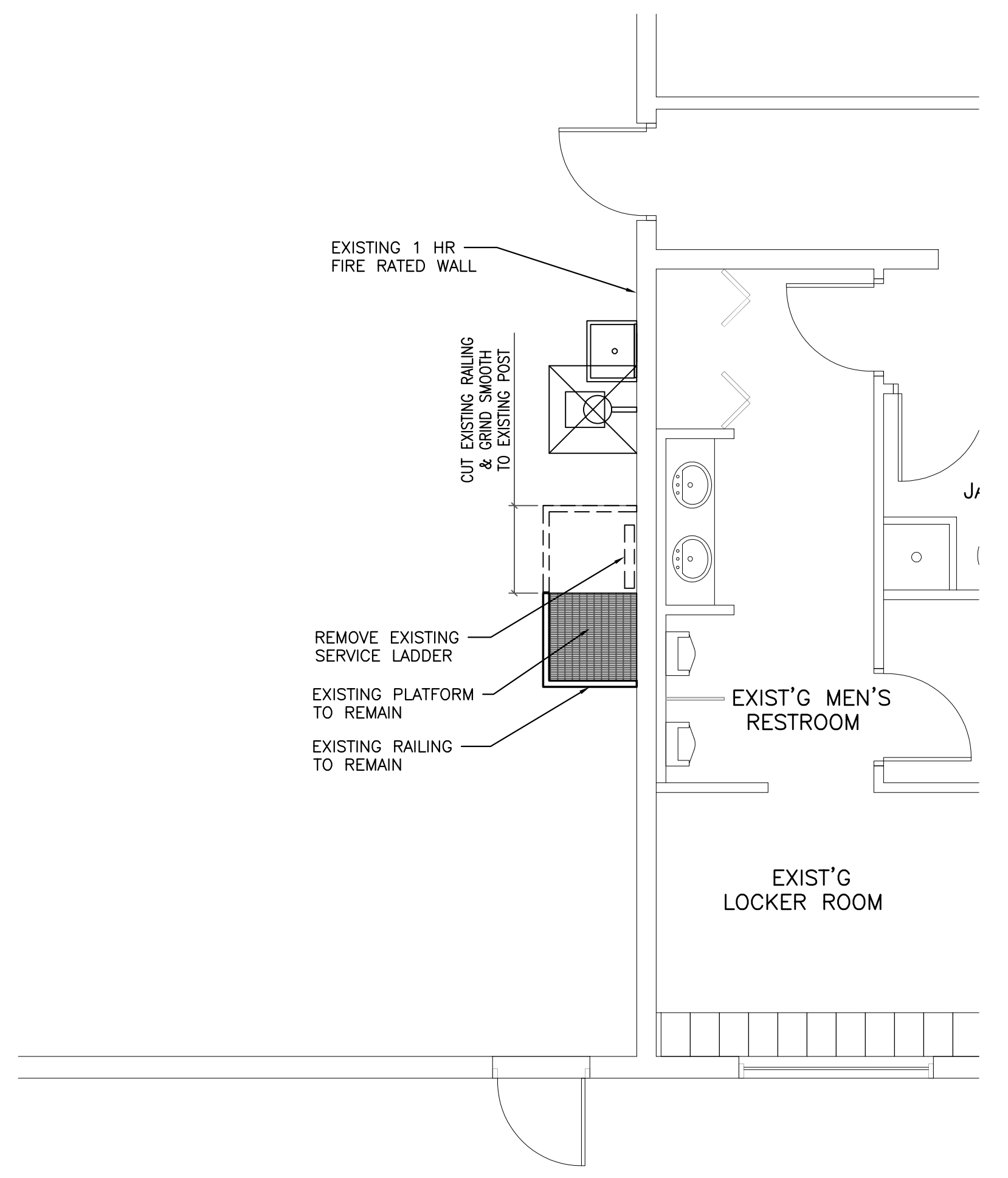
A-04



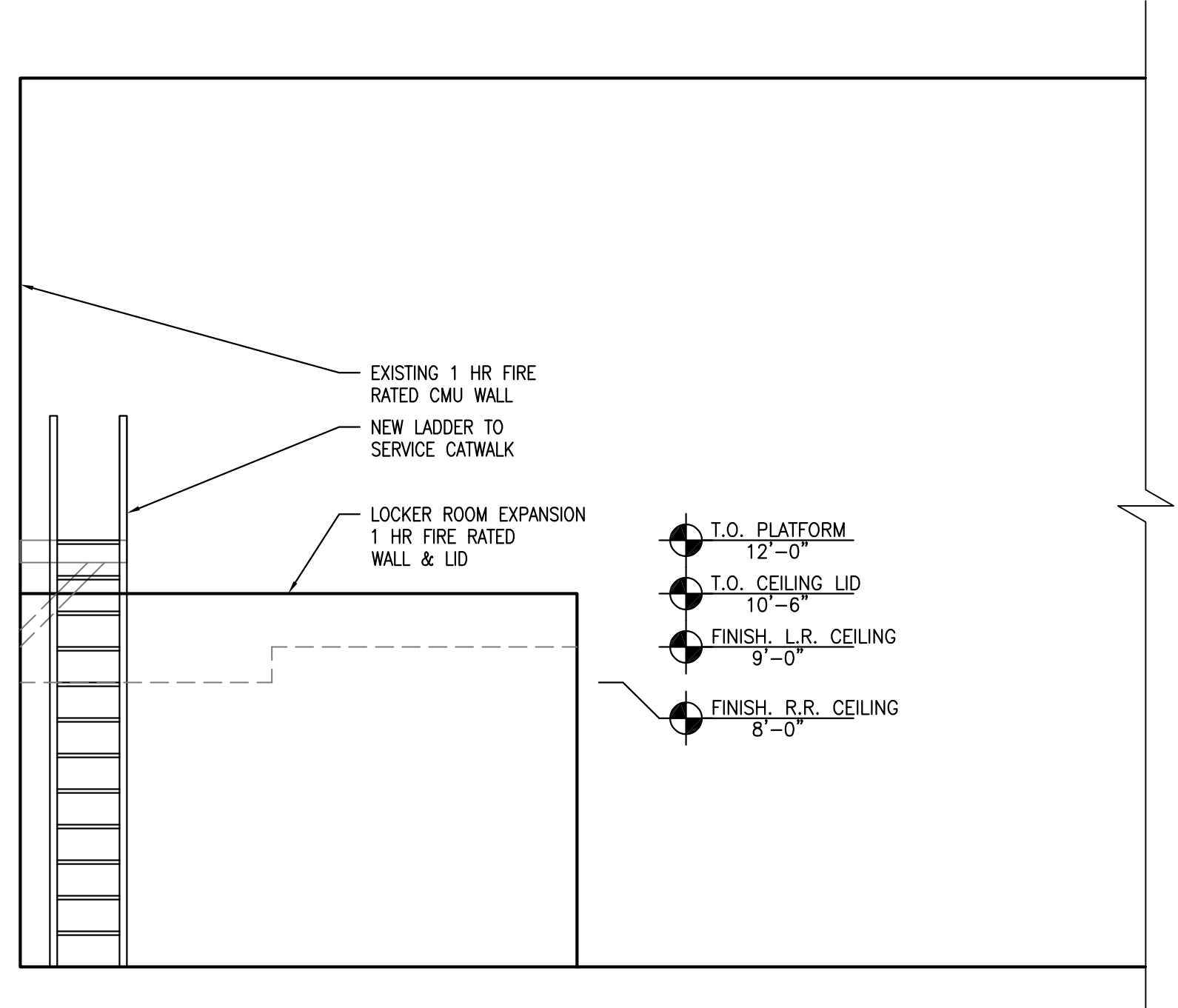
EXISTING CATWALK RAILING AND LADDER DEMO ELEVATION 03
1/4"=1'-0"



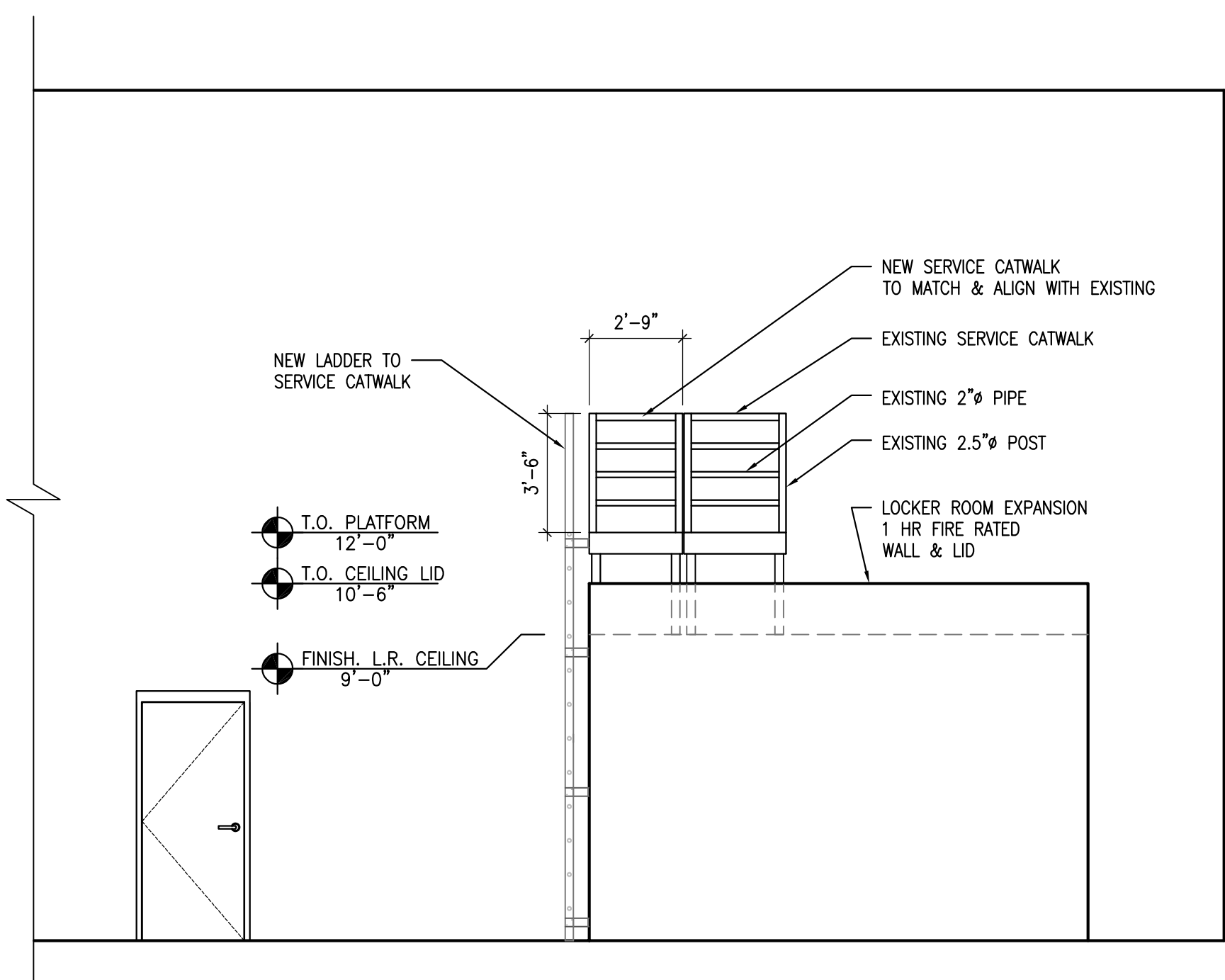
EXISTING CATWALK RAILING AND LADDER DEMO ELEVATION 02
1/4"=1'-0"



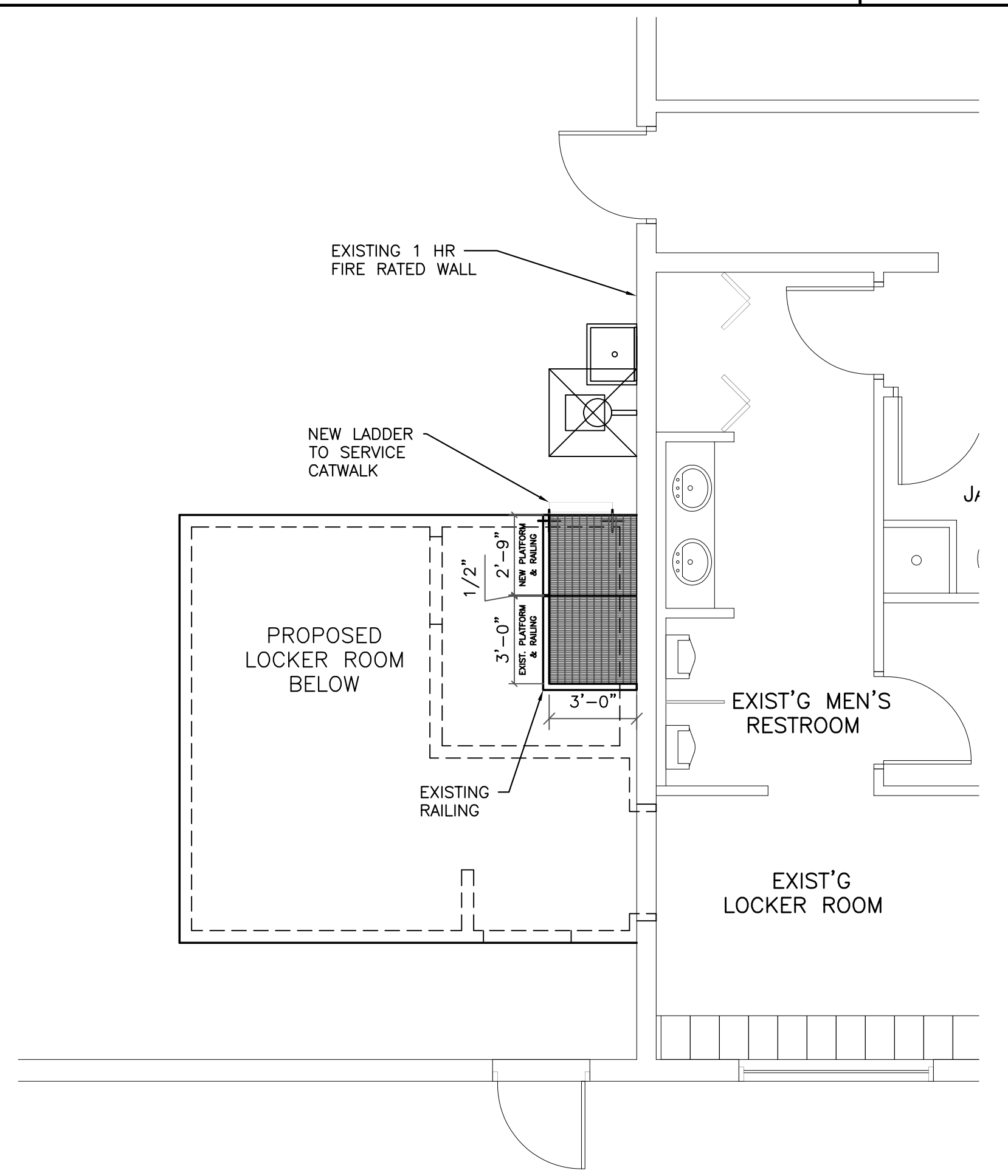
EXISTING CATWALK RAILING DEMO PLAN 01
1/4"=1'-0"



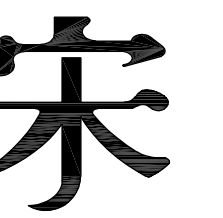
SERVICE CATWALK AND LADDER WEST ELEVATION 06
1/4"=1'-0"



SERVICE CATWALK AND LADDER SOUTH ELEVATION 05
1/4"=1'-0"



SERVICE CATWALK AND LADDER PLAN 04
1/4"=1'-0"



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SWA-PBC
MAINTENANCE
FACILITY
LOCKER ROOM



6527 N. Jog Road
West Palm Beach, FL 33412

Key Plan:

Revisions :

ADDENDUM 1 09/27/2016

Date : 07/14/2016

S+A Project No : 16003

Owner Project No :

Drawn By : LE

Checked By : RC

Phase :

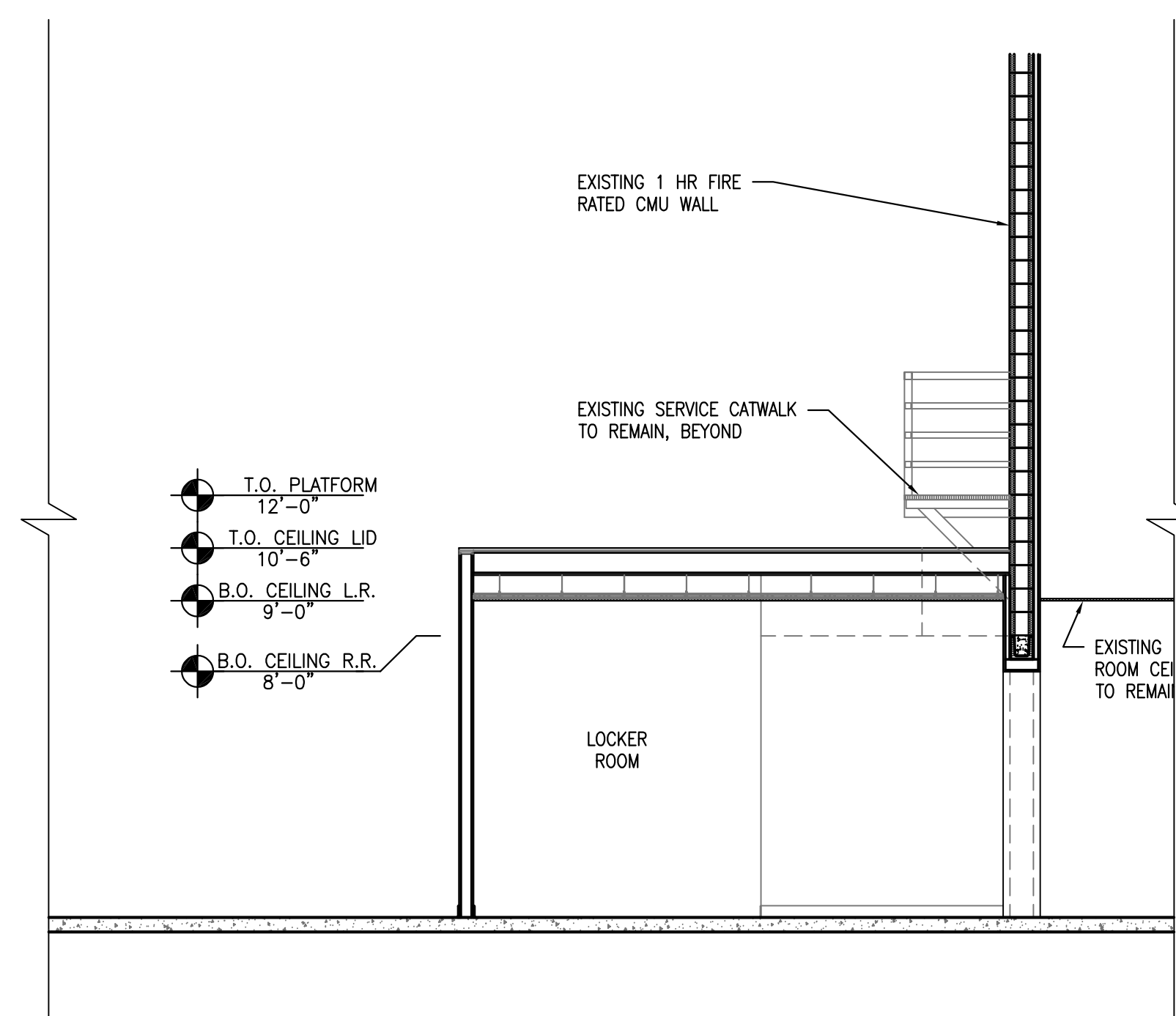
BID SET

Sheet Title :

CEILING LID
FRAMING PLAN
AND SECTIONS

Sheet # :

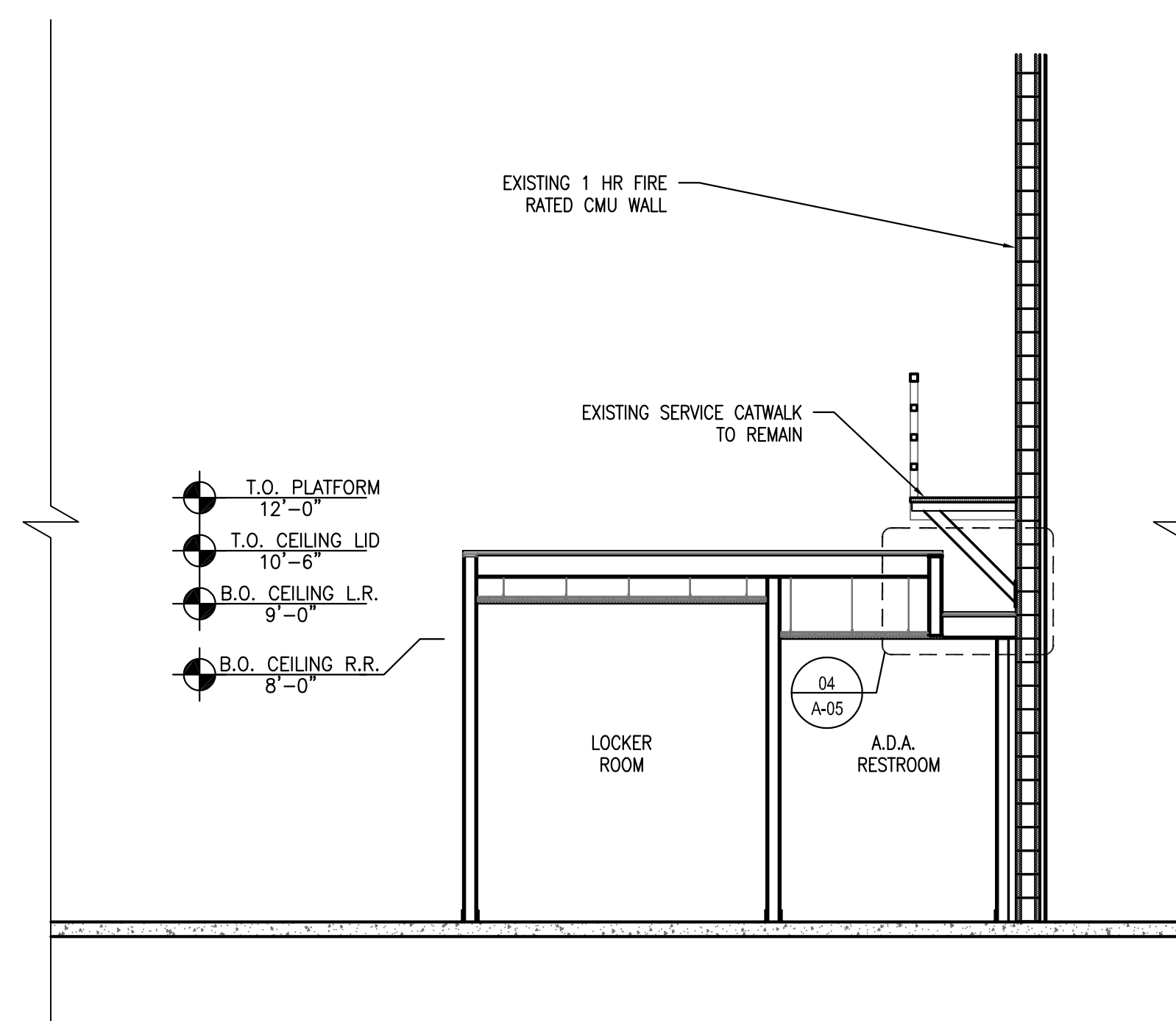
A-05



FRAMING SECTION

03

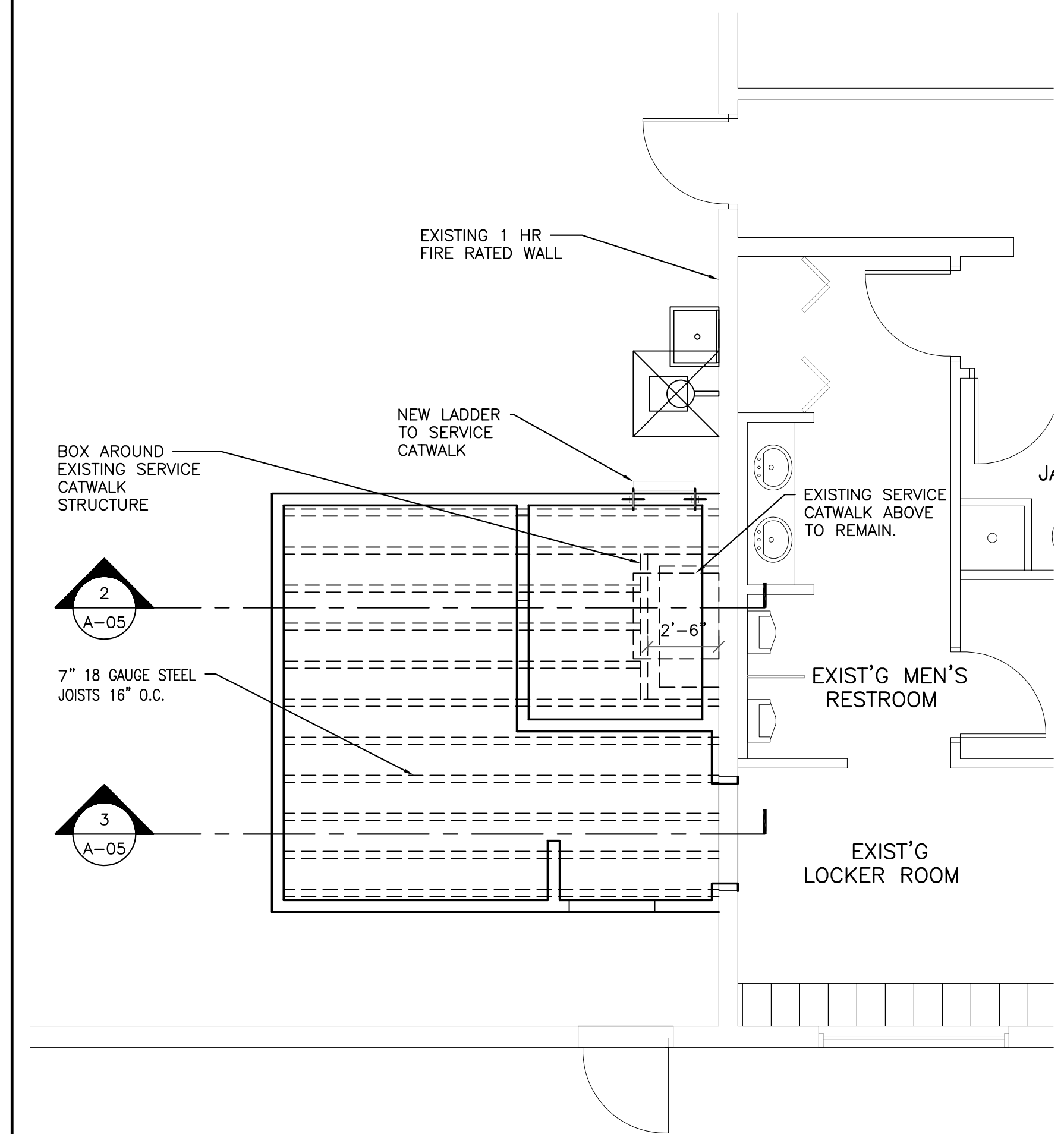
1/4"=1'-0"



FRAMING SECTION

02

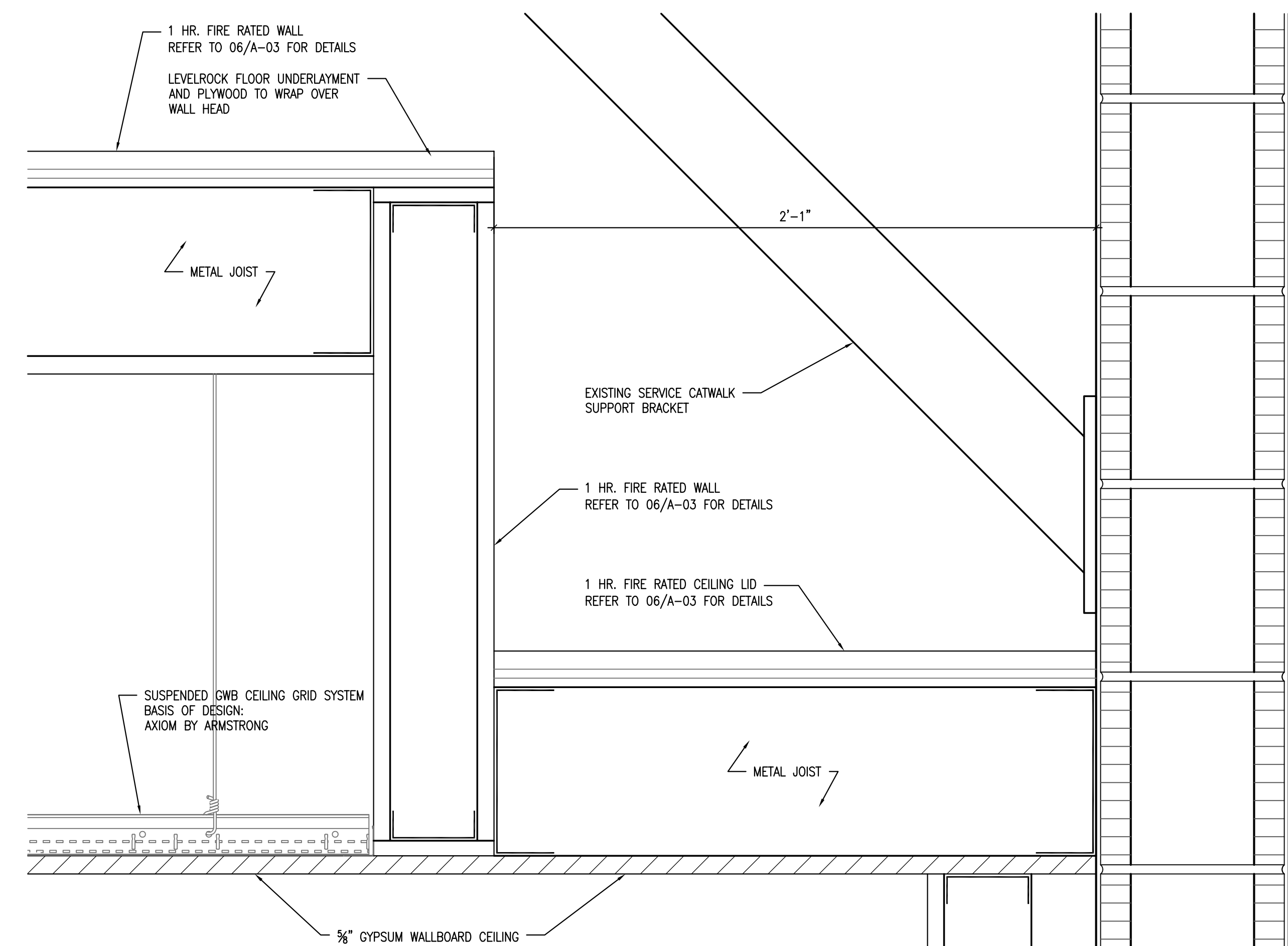
1/4"=1'-0"



CEILING LID FRAMING PLAN

01

1/4"=1'-0"



FRAMING DETAIL

04

1/4"=1'-0"



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Key Plan:

Revisions :

1 ADDENDUM 1 09/27/2016

Date : 07/14/2016

S+A Project No : 16003

Owner Project No :

Drawn By :

Checked By : BN

Phase :

PERMIT SET

Sheet Title :

MECHANICAL
PLAN

Sheet # :

M-1

GENERAL NOTES:

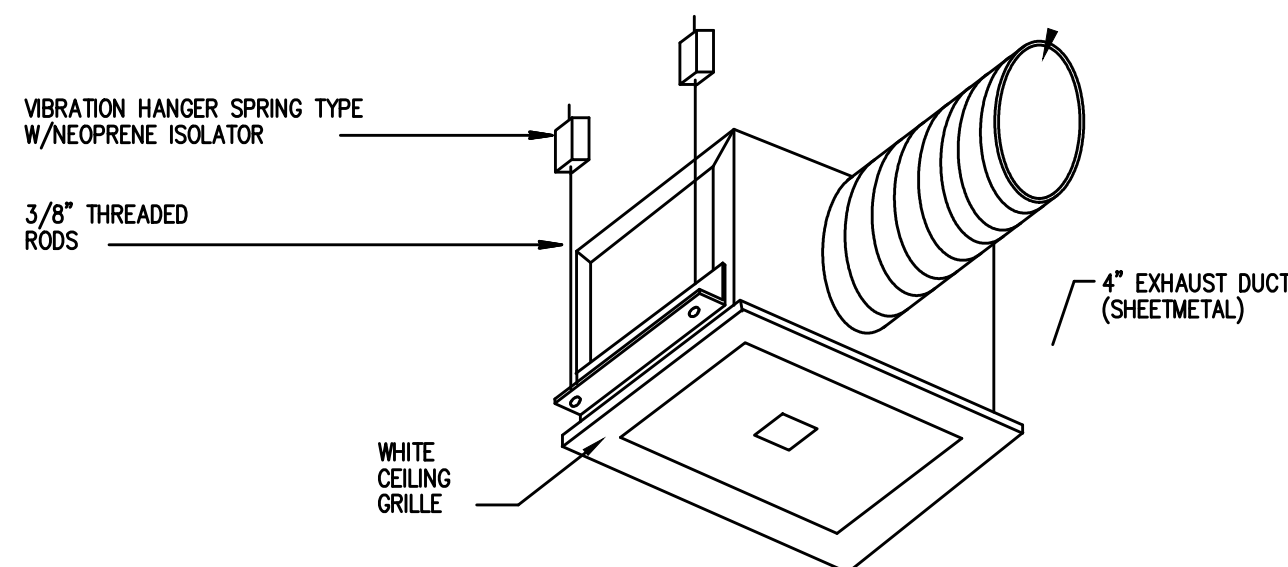
- ALL MECHANICAL SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE NFPA STANDARDS, ANSI STANDARDS, THE LOCAL BUILDING CODE, NOISE & HEIGHT ORDINANCES, PLANS AND SPECIFICATIONS.
- ALL MATERIALS SHALL BE NEW AND ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, PRODUCT APPROVAL, RULES AND ORDINANCES, ANY DAMAGED EQUIPMENT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, ACCESS PANELS, CONTROL SYSTEMS, DEVICES, PERMITS AND SERVICES NECESSARY FOR FURNISHING AND INSTALLING A COMPLETE OPERABLE MECHANICAL SYSTEM.
- ALL LOUVERS, GRILLES, PIPING, ETC. SHALL BE PAINTED TO MATCH SURROUNDING COLOR AND TEXTURES AS REQUIRED BY ARCHITECT. VERIFY COLOR AND TEXTURE WITH ARCHITECT. PAINT ALL EXPOSED MECHANICAL EQUIPMENT WITH BENJAMIN MOORE EPOXY ENAMEL 182.
- ALL CUTTING, PATCHING, STRUCTURAL STEEL, WEATHER PROOFING, PAINTING, AND WALL OPENINGS SHALL BE BY THE GENERAL CONTRACTOR.
- ALL OPENINGS IN BUILDING STRUCTURE, FOR DUCTWORK, PIPING, ETC. TO BE 1/2" LARGER (ON ALL SIDES) THEN THE OUTSIDE DIMENSIONS. FILL VOIDS WITH FIRE RETARDANT SILICONE FOAM (I.E. CHASE-FOAM CTC PR-855 BY CHASE TECHNOLOGY CORP.).
- NOT USED.
- PROVIDE FLEXIBLE DUCT CONNECTORS, RATED AS REQUIRED, TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT.
- PROVIDE MAINTENANCE AND OPERATION MANUAL ON ALL MECHANICAL EQUIPMENT OR SYSTEMS. PROVIDE 5 SETS OF SUBMITTALS ON ALL HVAC EQUIPMENT. SUBMITTALS SHALL HAVE A SUMMARY SHEET SHOWING ALL SCHEDULED INFORMATION.
- HVAC CONTRACTOR WILL WARRANT ALL MECHANICAL SYSTEMS, DUCTWORK, THERMOSTATS, AND ALL OTHER EQUIPMENT, PARTS AND LABOR UNDER THESE DRAWINGS AND SPECIFICATIONS FOR A PERIOD OF ONE (1) YEAR AFTER C.O. OF BUILDING. ANY REPAIRS REQUIRING SYSTEM SHUT DOWN WILL BE DONE DURING NON OPERATIONAL PERIODS. HVAC CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO BIDDING AND PURCHASING ANY EQUIPMENT.
- AIR QUALITY SHOULD BE TESTED BEFORE OCCUPANCY AND SHOULD BE INSTRUMENTED AND MONITORED THEREAFTER, OR AT LEAST AT REGULAR INTERVALS

AIR DISTRIBUTION/DUCTWORK NOTES:

- REFER TO ARCHITECTURAL PLANS FOR CEILING TYPE.
- PROVIDE OFF WHITE FINISH (SUBJECT TO ARCHITECT'S APPROVAL).
- ALL DUCTWORK WHERE ALLOWED BY LOCAL CODES AND CEILING RATING SHALL BE 1" LOW PRESSURE DUCT. SEAL CLASS "C" AND AS FOLLOWS:
A. S/A & R/A-1" THICK FIBERGLASS DUCT BOARD WITH VAPOR BARRIER (R-4.2 MIN.)
B. EXHAUST AIR DUCTWORK - GALVANIZED SHEETMETAL
C. OUTSIDE AIR DUCTWORK - INSULATED GALVANIZED SHEETMETAL
- ALL DUCTWORK AND DIFFUSERS SHALL BE RATED FOR THE USE, PRESSURE AND TEMPERATURE SPECIFIED AND AS REQUIRED BY THE CEILING SYSTEM RATING.
- ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- SEAL ALL DUCTS, JOINTS AND SEAMS IN AN APPROVED MANNER AND INSURE AGAINST LEAKAGE.
- PROVIDE ACCESS DOORS AS REQUIRED FOR ALL MECHANICAL EQUIPMENT TO SERVICE AND VISUALLY CHECK ROTATION OF FANS AND MOTORS, POSITION OF DAMPERS, REPLACE FIRE DAMPER LINKS, ADJUST OR REPLACE CONTROLS, ETC.
- PROVIDE VANED ELBOWS IN ALL CASES. SPLITTER DAMPERS WHERE INDICATED ON DRAWINGS AND VOLUME CONTROL DAMPERS IN ALL BRANCH DUCTS OR DIFFUSER CONNECTIONS.
- TERMINAL AIR DISTRIBUTION DEVICES SHALL BE AS FOLLOWS:
CEILING DIFFUSER: EQUIV. TO TITUS MODEL PAS-AA
RETURN REGISTER: EQUIV. TO TITUS MODEL 4 FL

HVAC NOTES:

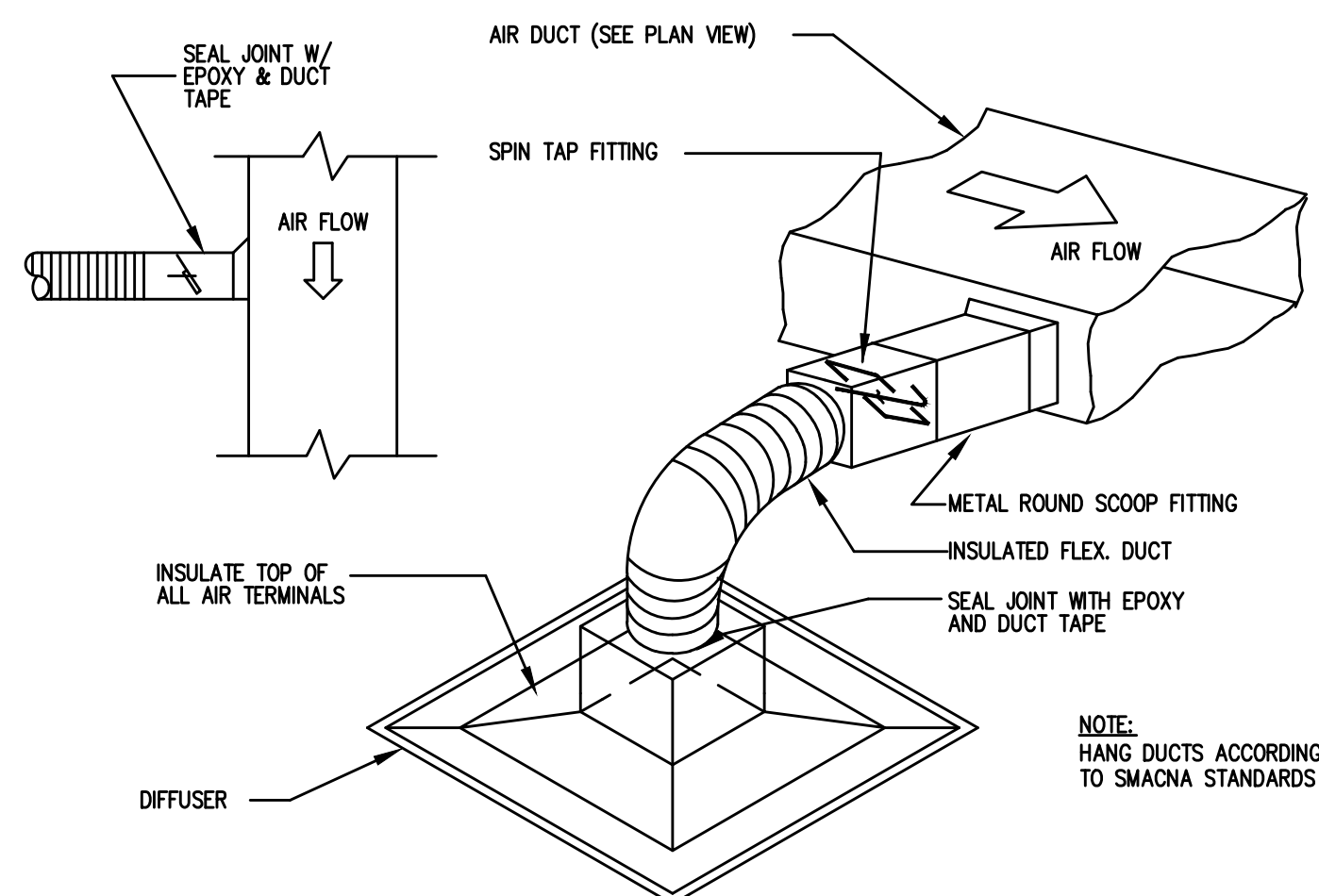
- HVAC SUBCONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, TOOLS AND EQUIPMENT TO INSTALL A COMPLETE AND OPERATING A/C SYSTEM.
- HVAC SUBCONTRACTOR TO PROVIDE ALL REQUIRED HVAC PERMITS.
- COMPLY WITH NFPA-90A AND ALL APPLICABLE CODES. THIS IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL AIR DEVICES SHALL BE OF ALUMINUM CONSTRUCTION. TITUS, METALAIR OR AS APPROVED BY ENGINEER.
- HVAC SUBCONTRACTOR SHALL COMFORT BALANCE TENANT AREA TO THE SATISFACTION OF THE LANDLORD AND/OR TENANT AFTER OCCUPANCY. PROVIDE AIR BALANCE REPORT AT COMPLETION OF PROJECT TO ENGINEER/TENANT. CFM VALVES CAN BE WITHIN 100% OF THE VALVE SHOWN ON PLANS.
- HVAC SUB-CONTRACTOR SHALL PROVIDE ALL CONTACTORS, RELAYS AND THERMOSTATS. THE ELECTRICAL SUBCONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS AND CONTROL WIRING. THERMOSTATS SHALL BE APPROVED BY EQUIPMENT MANUFACTURER.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS OF CONSTRUCTION.
- HVAC SUBCONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS, BENDS AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER.
- COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS IN THE FIELD WITH ELECTRICAL, LIGHTS AND ARCHITECTURAL ELEMENTS.
- CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS. NOTIFY ARCHITECT / ENGINEER WITH ANY DISCREPANCIES IN WRITING. NO CHANGE ORDERS WILL BE ACCEPTED.



- NOTES:
- 1 - PROVIDE BACKDRAFT DAMPER W/ BIRDSCREEN
 - 2 - FLASH & SEAL WALL AND ROOF CAP
 - 3 - PROVIDE INTERNAL ISOLATION AND SOUND INSULATION
 - 4 - SUPPORT FAN FROM STRUCTURE

CABINET EXHAUST FAN DETAIL

N.T.S.



FLEXIBLE DUCT CONNECTION DETAIL

N.T.S.

AIR DISTRIBUTION SCHEDULE

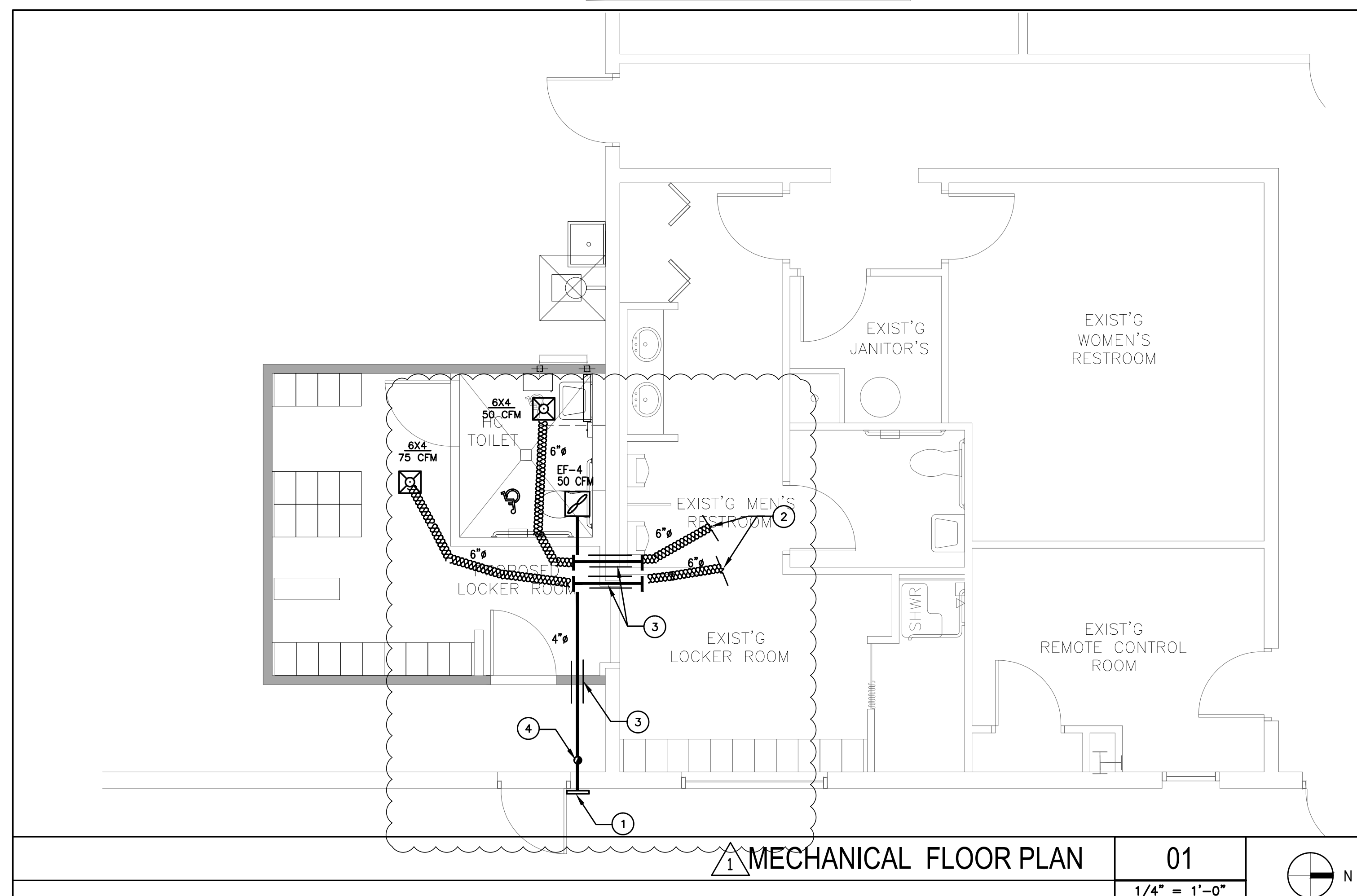
DIFFUSER TYPE		DIFFUSER CFM		NOTES:
TAG	MANUFACTURER & MODEL NO.	NECK SIZE	CFM	
A	TITUS TDC-AA	6	0-100	ALUMINUM CEILING DIFFUSER LOUVERED FACE OPPOSED BLADE DAMPER 12x12 MODULE BORDER TYPE 1 (SURFACE) NC LEVEL < 30
		8	101-299	
		10	300-450	
		12	451-600	
B	TITUS 50F	24x24	0-800	ALUMINUM EGGRATE RETURN GRILLE 1/2x1/2x1/2 CORE BORDER TYPE 1 (SURFACE) NC LEVEL < 30
		6	0-100	
		8	101-299	
		8	101-299	

NOTES:

1. ALL FINISHES TO BE WHITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ARCHITECT.

LEGEND

- NEW SUPPLY DIFFUSER
- NEW EXHAUST GRILL
- MANUAL VOLUME DAMPER
- DUCT TRANSITION
- NEW FLEXIBLE DUCT, U.L. CLASS 1 (R-6)
- EXISTING DUCT
- DUCT DETECTOR REMOTE TEST/RESET STATION POINT OF CONNECTION EXISTING TO NEW.
- DUCT SMOKE DETECTOR (WITH AUDIBLE AND VISIBLE CAPABILITY)
- PROGRAMMABLE T-STAT



FAN SCHEDULE

	SELECTION BASED ON		TYPE/ SERVICE	CFM	TSP IN WG	RPM	MOTOR DATA			DRIVE	SONES OR NC	UNIT WEIGHT	REMARKS
	MAKE	MODEL NO.					HP	RPM	VOLTS-PH-HZ				
EF-4	GREENHECK	SP-80	BATHROOM EXHAUST	80	0.20	482	-	900	120-1-60	DIRECT	2.0	-	1,2,5,8,9

GENERAL FAN NOTES:

1. PROVIDE DISCONNECTS AND ALL ASSOCIATED CONTROLS
2. PROVIDE BACKDRAFT FOR ALL EXHAUST FANS.
3. FIELD ADJUST OPENINGS WITH STRUCTURE.
4. ALL OUTDOOR EQUIPMENT SHALL COMPLY WITH LOCAL ZONING NOISE ORDINANCE OR NOT EXCEED A NOISE LEVEL OF 55dB AS MEASURED RADIALLY 15 FT. FROM THE EQUIPMENT IN ALL DIRECTIONS.
5. COORDINATE WITH ELECTRICAL CONTRACTOR BEFORE BIDDING OR ORDERING ANY EQUIPMENT.
6. SEE GENERAL, AIR CONDITIONING, DUCTWORK, AND COORDINATION NOTES FOR OTHER FIELD SUPPLIED ITEMS.
7. PROVIDE MOTOR HEATERS SIZED AS REQUIRED FOR FIELD CONDITIONS.
8. PROVIDE BIRDSCREEN ON ALL INLETS AND OUTLETS.
9. INTER-LOCK WITH LIGHT SWITCH
10. RUN CONTINUOUSLY

MECHANICAL DRAWING KEYNOTES

- 1 4" SHEET METAL BATHROOM EXHAUST DUCT THROUGH WALL WILL INSECT SCREEN WALL CAP. WALL CAP SHALL BE MINIMUM 3 FEET FROM ANY OPERABLE OPENING.
- 2 TIE NEW FLEX DUCT TO EXISTING MAIN TRUNK. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.
- 3 FIRE DAMPER IS NOT REQUIRED PER FBC (MECHANICAL) SECTION 607.5.3 (3) 3.1 DUCT CONTRUCTION SHALL MEET FBC (MECHANICAL) SECTION 603.
- 4 TURN 4" BATHROOM EXHAUST UP

EXHAUST AIR SUMMARY (FBC TABLE 403.3)

AREA	SYSTEM	GR/NET SQ FT	CFM EXHAUST/ SQ FT	FIXTURE COUNT	CFM EXHAUST/ FIXTURE	CFM EXHAUST REQ.	PROVIDE EXHAUST
NEW BATHROOM	EF-4	-	-	1	70	70	80
NEW LOCKER	EXISTING EF-3	85/LOCKER RM	.25	-	-	22	25

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Date: _____