PROJECT SUMMARY BUILDING AREA 221 GSF OCCUPANCY TYPE MIXED - CONSIDERED S-2 STORAGE, LOW HAZARD TYPE V B (UNPROTECTED) AUTOMATIC FIRE SPRINKLER SYSTEM FULLY SPRINKLERED

APPLICABLE CODES

TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS ARE COMPLETE, AND COMPLY WITH FBC 2014

THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS. SHOULD THERE BE A CONFLICT BETWEEN ANY CODE REQUIREMENTS, COMPLY WITH THE REQUIREMENT THAT PROVIDES THE GREATEST DEGREE OF LIFE SAFETY.

A. FBC (FLORIDA BUILDING CODE), 2014

FBC——MECHANICAL
 NEC (NATIONAL ELECTRICAL CODE) 2008; FBC CHAPTER 27

3. FBC-ACCESSIBILITY
4. FBC REFERENCES-CHAPTER 35

B. FLORIDA FIRE PREVENTION CODE 5th EDITION , INCLUDING

1. NFPA 1-2012 2. NFPA 101-2012

C. UL FIRE RESISTANCE DIRECTORY 2015

D. FEDERAL REQUIREMENTS INCLUDING:

1. OSHA (OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION, US DEPARTMENT OF LABOR, CFR 29 AS REVISED JULY 1995

E. CONSTRUCTION, ALTERATION AND DEMOLITION SHALL COMPLY WITH NFPA 241.

SHEET NUMBER	SHEET TITLE	DRAWING REVISION NUMBER	DRAWING REVISION DATE
ARCHITECTURAL		•	
	COVER & INDEX		
A-01	DEMOLITION FLOOR PLAN & PROPOSED FLOOR PLAN		
A-02	INTERIOR ELEVATONS		
A-03	FINISH & DOOR SCHEDULE, DETAILS		
STRUCTURAL			
S-001	GENERAL NOTES		
S-002	FLOOR SLAB PLAN		
S-003	PLATFORM PLAN AND DETAILS		
MECHANICAL			
M-1	MECHANICAL PLAN		
PLUMBING			
P-1	PLUMBING PLAN		
P-2	PLUMBING SCHEDULE		
ELECTRICAL			
E-1	NOTES, DETAILS & RISER DIAGRAMS		
E-2	ELECTRICAL FLOOR PLAN & PANEL SCHEDULE		

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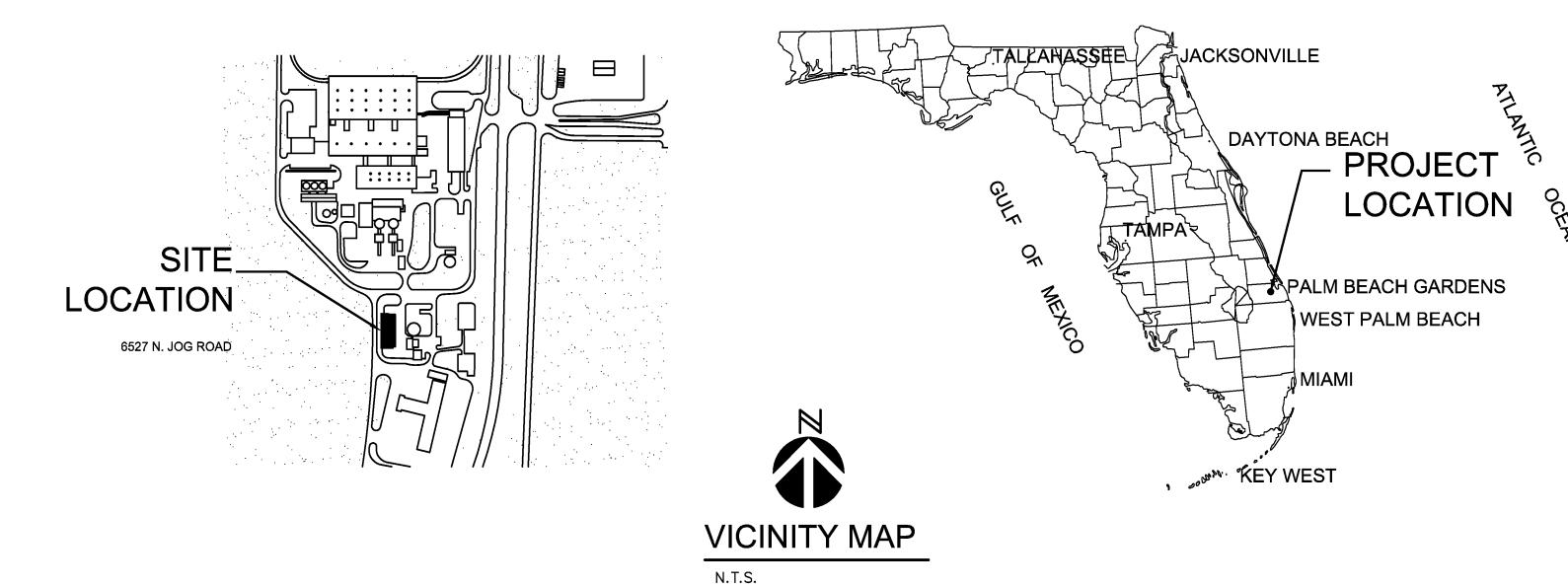
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SWA-PBC MAINTENANCE FACILITY LOCKER ROOM EXPANSION



6527 N. JOG ROAD WEST PALM BEACH, FL

S + A Project No. 16003



Architecture • Planning • Interior Design

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Seal

BID SET CONSTRUCTION DOCUMENTS

7/14/2016

PER DOUGL se # : 971

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BUILDING AREA	221 GSF			
OCCUPANCY TYPE	MIXED - CONSIDERED S-2 STORAGE, LOW HAZARD			
CONSTRUCTION TYPE	TYPE V B (UNPROTECTED)			
AUTOMATIC FIRE SPRINKLER SYSTEM	FULLY SPRINKLERED			

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CONSULTANTS

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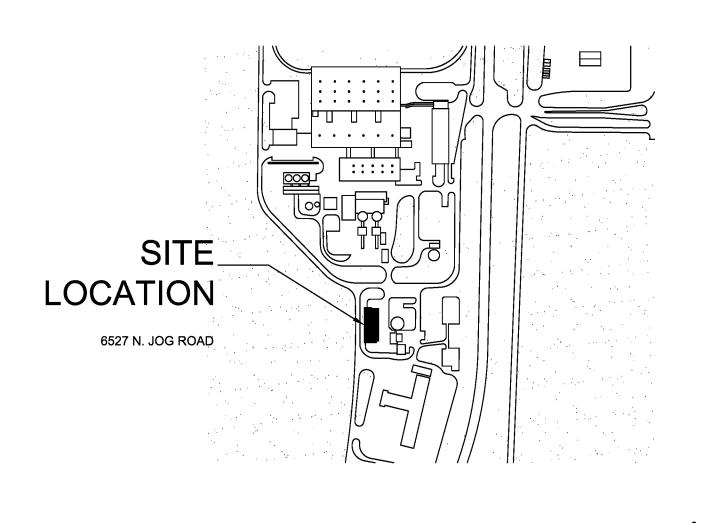
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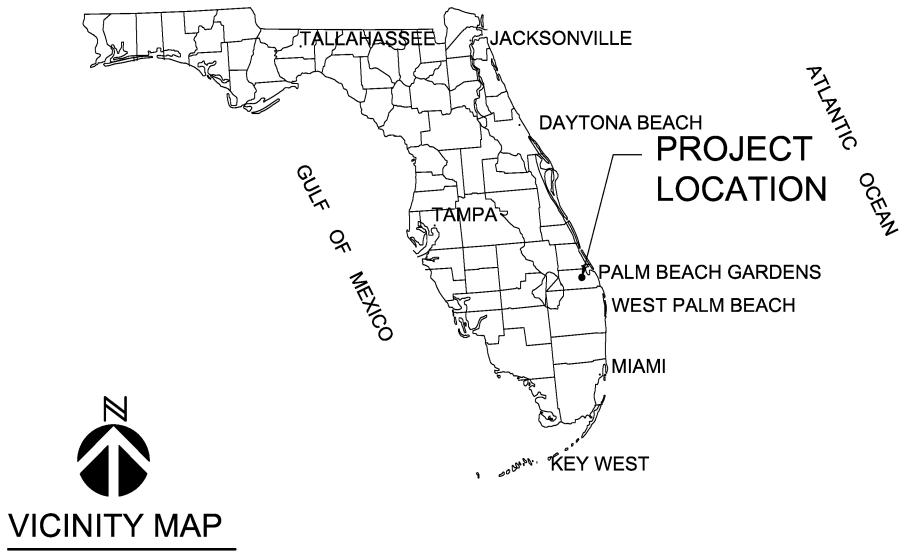
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SWA-PBC MAINTENANCE FACILITY LOCKER ROOM EXPANSION





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N.T.S.

S + A Project No. 16003

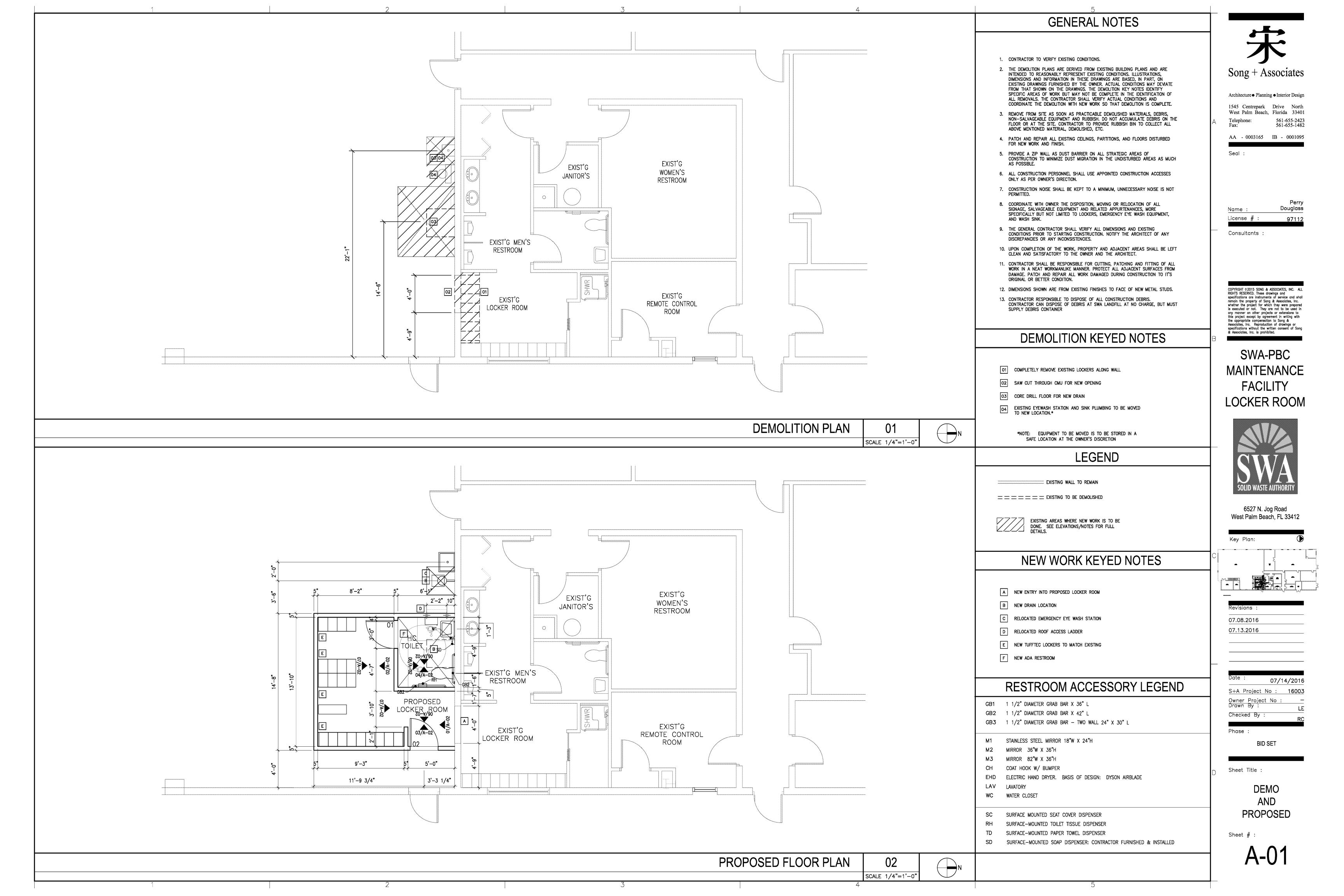


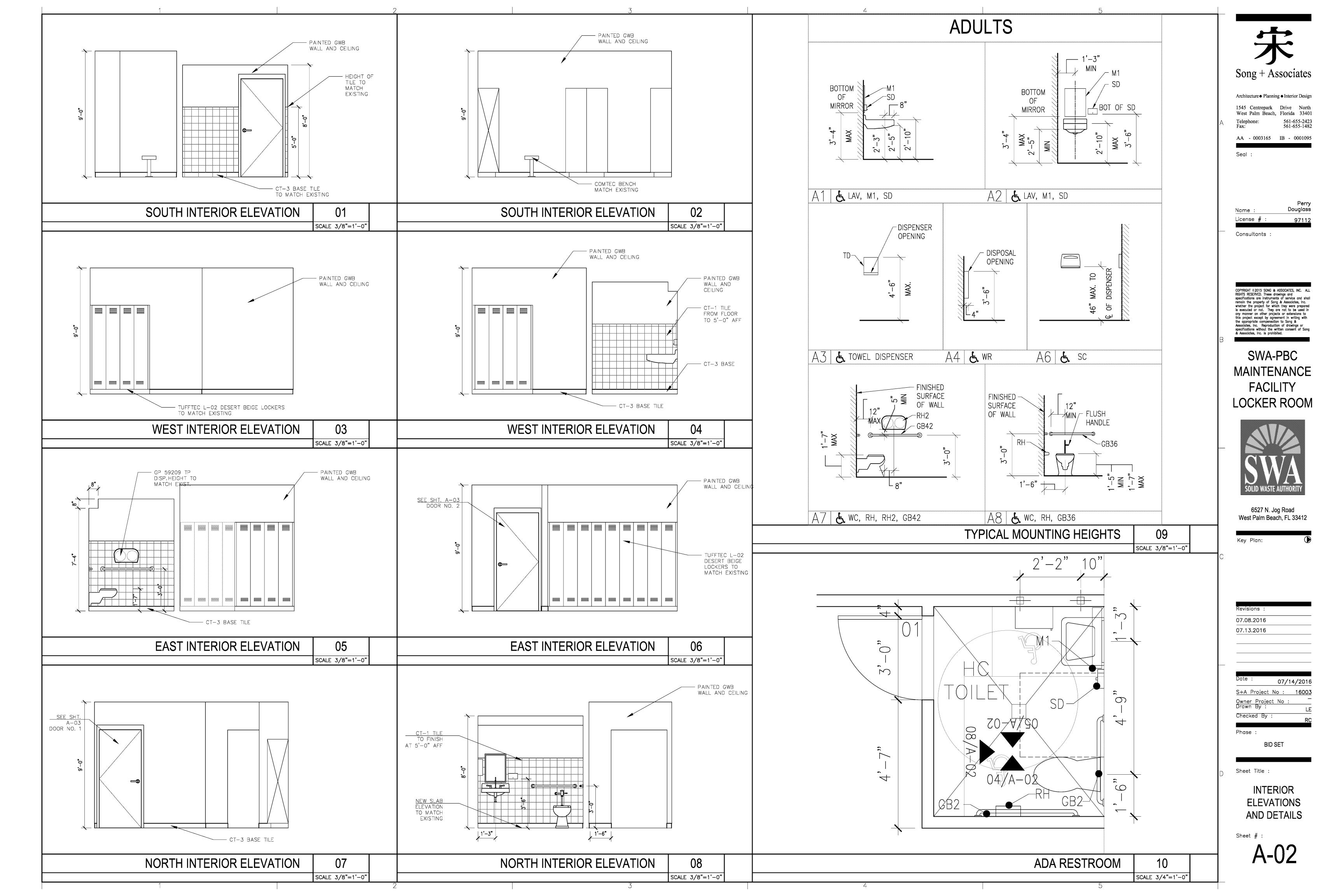
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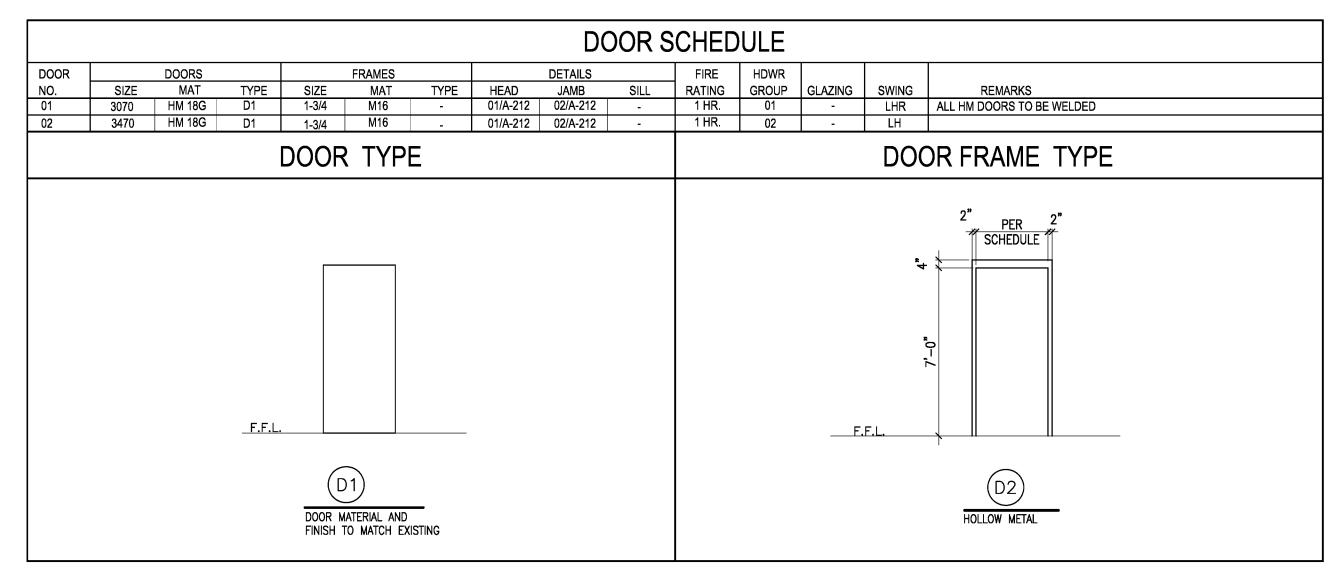
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7/14/2016







NOTES: DOORS SHALL COMPLY WITH NFPA 101-2012 EDITION CHAPTER 7, SECTION 7.2.1

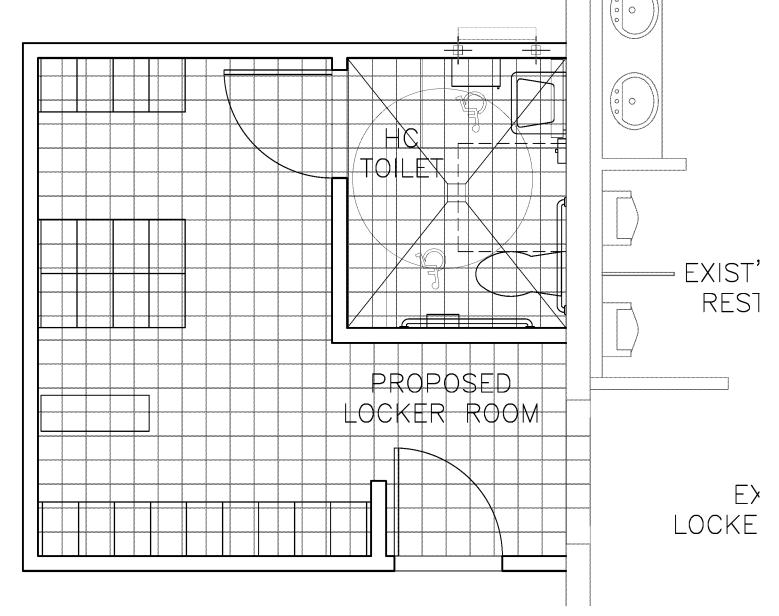
	FINISH SCHEDULE												
	WALLS												
ROOM	ROOM	FLOOR	BASE	NC	PRTH	EAST		WEST		SOUTH		CEILING	
NO.	NAME	FIN.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	REMARKS
01	MEN'S LOCKER ROOM	CT-2	CT-3	GWB	PNT & 14/A-04	GWB	PNT & 14/A-04	GWB	PNT & 14/A-04	GWB	PNT & 14/A-04	GWB	SEE DTL. 5
	ADA RESTROOM	CT-2	CT-3	CT-1	PNT & 14/A-04	CT-1	PNT & 14/A-04	CT-1	PNT & 14/A-04	CT-1	PNT & 14/A-04	GWB	
	l				_	L	LEGEND AND			<u> </u>			
					F	INISH	LEGEND AN	DSPE	CIFICATIONS	S			
	LEGEND SPECIFICATIONS												
	TILE CT-1: MANUFACTURER: DALTILE COLLECTION: SEMI-GLOSS COLOR: ALMOND 0135 SIZE: 6"x6" STACKED PATTERN												
	FLOOR	CT-2: MANUFACTURER: DALTILE COLLECTION: GRANITI SERIES COLOR: DUNA DI SABBIA CD98 SIZE: 8"x8" STACKED PATTERN											
	GROUT CT-1: LATICRETE #85 - ALMOND CT-2&3: LATICRETE #17 - MARBLE BEIGE												
	BASE CT-3: MANUFACTURER: DALTILE COLLECTION: GRANITI SERIES COLOR: DUNA DI SABBIA CD98 SIZE: 4"x12"												
	WALL AND CEILINGS — SHERWIN WILLIAMS WASHABLE, EGGSHELL FINISH, CONTRACTOR TO MATCH EXISTING PAINT COLOR PAINT INTERIOR DOORS AND TRIM — SHERWIN WILLIAMS IN LOW LUSTER LATEX ENAMEL, CONTRACTOR TO MATCH EXISTING PAINT COLOR (AND FINISH)												

MATERIAL ABBREVIATION:

GWB: GYPSUM WALL BOARD, MOISTURE RESISTANT, ON ALL WALLS AND CEILINGS, UNLESS NOTED OTHERWISE. FCB: FIBER CEMENT BOARD, ON ALL SHOWER & WET WALLS

FLOORING NOTES:

- 1. TILE LAYOUT IS DIAGRAMMATIC IN NATURE
- 2. TILE SHOULD RUN CONTINUOUS FROM EXISTING LOCKER ROOM, TO NEW
- 3. CONTRACTOR TO REPLACE TILE DAMAGED DURING DEMO IN EXISTING MEN'S LOCKER ROOM, MATCH GROUT LINES TO EXISTING



HARDWARE NOTES

PROVIDE EACH DOOR UP TO 7'-0" WITH (3) HINGES EACH

HARDWARE GROUP 1

SCHLAGE ND40S ANSI F76 BATH/BEDROOM PRIVACY LOCK

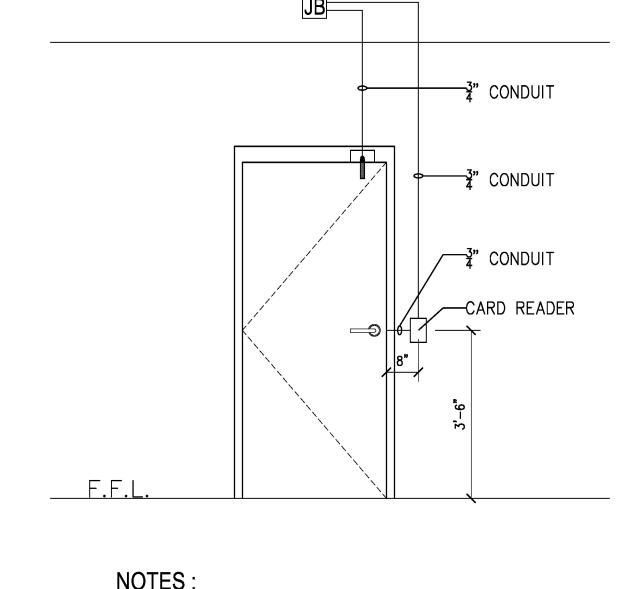
> PUSH-BUTTON LOCKING. CAN BE OPENED FROM OUTSIDE WITH SMALL SCREWDRIVER, TURNING INSIDE LEVER, OR CLOSING DOOR RELEASES BUTTON. INSIDE LEVER IS ALWAYS FREE FOR IMMEDIATE EGRESS.

DOOR LEVEL TO BE RHO, FINISH TO MATCH EXISTING

HARDWARE GROUP 2

SCHLAGE ND53PD ANSI F109 ENTRANCE LOCK TURN/PUSH-BUTTON LOCKING; PUSHING AND TURNING BUTTON LOCKS OUTSIDE LEVER, REQUIRING USE OF KEY UNTIL BUTTON IS MANUALLY UNLOCKED. PUSH-BUTTON LOCKING; PUSHING BUTTON LOCKS OUTSIDE LEVER UNTIL UNLOCKED BY KEY OR BY TURNING INSIDE LEVER. INSIDE LEVER IS ALWAYS FREE FOR IMMEDIATE EGRESS.

DOOR LEVER TO BE RHO, FINISH TO MATCH EXISTING

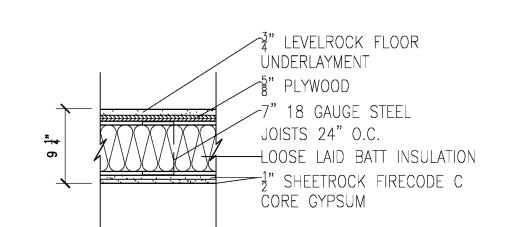


NOTES:

- 1. PROVIDE 3" CONDUIT FROM DOOR DEVICES TO BACKBOX (CARD
- 2. PROVIDE 4 1/8" SQ. BACKBOX, WITH PROPER EXTENSION AND PLATE ON SIDE OF DOOR.
- 3. PROVIDE 2 $\frac{1}{2}$ " DEEP SINGLE GANG MASONRY BOX FLUSH MOUNTED 42" AFF AND 6-12" AWAY FROM DOOR FRAME ON UNSECURED SIDE

CONDUIT AND WIRI	NG LAYOUT
CARD	READER: EXT. DOOR 2

1/2"=1'-0"



HEADER DTL

N.T.S.

SOUND BATT INSULATION

AS INDICATED

- 20G. METAL STUD

METAL STRAPS (2) PER HEADER TYP.

CEILING DTL.

N.T.S.

N.T.S.

07.08.2016 07.13.2016 07.27.2016

Song + Associates

Architecture ● Planning ● Interior Design

1545 Centrepark Drive North West Palm Beach, Florida 33401

AA - 0003165 IB - 0001095

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SWA-PBC

MAINTENANCE

FACILITY

LOCKER ROOM

6527 N. Jog Road West Palm Beach, FL 33412

Key Plan:

Seal :

License # :

Consultants

561-655-2423 561-655-1482

Douglass

97112

07/14/2016 S+A Project No: 16003 Owner Project No Drawn By : Checked By:

Phase :

BID SET

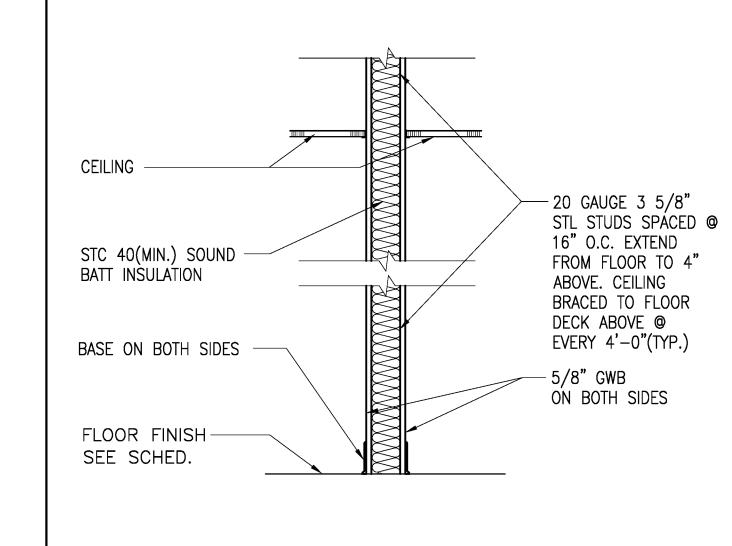
Sheet Title :

DETAILS SCHEDULES

Sheet # :

WALL NOTES:

- 1. THESE PARTITION TYPES ARE DIAGRAMMATIC IN NATURE, REFER TO FINISH SCHEDULE
- 2. WALL TAG DESIGNATION IS INTENDED TO INDICATE WALL TYPE ALONG AN ENTIRE WALL PLANE AND/OR SURFACE ALONG THE FULL LENGTH OF A SPACE OR CORRIDOR INCLUDING ASSOCIATED ALCOVES AND NICHES, UNLESS INDICATED OTHERWISE.
- 3. MAXIMUM STUD SPACING & MIN. STUD GAUGE SHALL PROVIDE A MAXIMUM DEFLECTION OF L/240 UNDER A MINIMUM 5 PSF LATERAL LOAD, UNLESS OTHERWISE ÍNDICATED. PROVIDE FRAMING W/ 20 GA. STUDS @ 16" O.C.
- 4. SET FLOOR TRACKS IN TWO CONTINUOUS BEADS OF ACOUSTICAL (NON-HARDENING). IN ADDITION, PROVIDE A CONTINUOUS BEAD OF ACOUSTICAL CAULK BETWEEN THE BOTTOM OF DRYWALL AND CONCRETE
- GAUGE STUDS, TYP. PROVIDE 20 GAUGE STUDS AT INTERIOR WALLS RECEIVING TILE FINISH.



1HR FIRE RATED PARTITION DTL.

CT-2 FINISH LOCATION

3/8" = 1'-0"

5/8" GWB

PAINTED

H.M. FRAME

FILL W/ GROUT

DOOR AS PER SCHEDULE

CONTINUOUS

CAULKING ON BOTH SIDES

DBL 3 5/8" MTL STUDS —

5. ALL GWB SHALL CONTAIN MOLD/MILDEW RESISTIVE PROPERTIES, UNLESS OTHERWISE SPECIFIED.

6. INTERIOR STUD DOOR HEAD & JAMB FRAMING TO BE DOUBLE 20

DESIGN CRITERIA AS PER FBC 2014 PLATFORM LIVE LOAD = 60 PSF PLATFORM DEAD LOAD = 10 PSF FLOOR SLAB LIVE LOAD = 150 PSF.

Reinforced concrete has been designed in accordance with the Building Code

Copies of the test results shall be forwarded directly to the Structural Engineer/Owner.

- Requirements for Structural Concrete (ACI 318) by the American Concrete Institute (ACI). Concrete compressive strength tests shall be performed in accordance with ASTM C39. The tests shall
- Mixing, transporting, and placing of concrete shall conform to the latest edition of the Specifications for Structural Concrete for Buildings (ACI 301). In case of a discrepancy, the plans and specifications shall
- Concrete in the following areas shall have sand fine aggregate and normal weight, angular, coarse aggregates conforming to ASTM C33, and Type I Portland cement conforming to ASTM C150, to the following specs:

Location	28 Day Concrete Compressive Strength	Air Content	Water/Cement Ratio, Maximum	
Interior slab on grade	3000 psi	Optional	0.55 ensure proper curing	

Maximum water/cement ratio for air entrainment (6% + /- 1%) shall be 0.45. Pearock mixes are not to be used in slabs.

- 5. Fly ash may be used as a pozzolan to replace a portion of the Portland cement in a concrete mix, subject to the approval of the Structural Engineer/Owner. Concrete mixes using fly ash shall be proportioned to account for the properties of the specific fly ash used and to account for the specific properties of the fly ash concrete thus resulting. The use of fly ash is at the option of the Contractor, not the concrete supplier. Provide design mix for approval if slag is used.
- Slump tests shall be made prior to the addition of plasticizer. Where concrete is placed by pumping methods, concrete for test cylinders and slump tests shall be taken at the point of final placement.
- Place concrete in a manner so as to prevent segregation of the mix. Delay floating and troweling operations until the concrete has lost surface water sheen or all free water. Do not sprinkle free cement on the slab surface. Finishing of slab surfaces shall conform to the latest editions of ACI 302.1R and ACI 304R (Guide for Measuring, Mixing, Transporting and Placing Concrete) and the Specifications.
- 8. Protect the concrete surface between finishing operations on hot, dry days or any time plastic shrinkage cracks could develop by using wet burlap, plastic membranes or fogging. Protect concrete deck at all times from rain, hail, running water or other injurious effects.
- Concrete cover/protection for nonprestressed reinforcement shall conform to the following:

Cast against and permanently exposed to earth	3.00"
Exposed to earth or weather: #5 bars and smaller	1.50"
#6 through #18 bars	2.00"
Not exposed to weather or in contact with ground:	
Slabs, walls, joist: #11 bars and smaller	0.75"
Beams, girders, columns: Primary reinforcement, ties, stirrups, spirals	1.50"

10. Do not cut any existing reinforcing in the existing concrete members.

STEEL DECK

- 1. Provide and erect steel deck (to floor and roof) in accordance with the latest Steel Deck Institute's specifications and the deck manufacturer's specifications.
- 2. Steel deck shall be galvanized in accordance with ASTM 525. Class G90 uno. All abrasions shall be touched up after erection is complete.
- 3. All deck shall be continuous over at least three spans. Suspended ceilings, light fixtures, ducts, and other mechanical or electrical fixtures are not to be supported by roof deck.
- 4. Field paint welds to roof deck after erection.
- 5. The Contractor shall provide all deck edge angles, closure plates at beams, columns and cells, fillers and pour stops required to construct elevated slabs and roof decks using steel decks and shall indicate that they are allowed for, and are to be provided, on the shop drawings.
- 8. The Contractor shall coordinate the fastening of the roof covering to the steel deck with the roof covering Notice of Acceptance, NOA, and the structural requirements shown on the drawings.

GENERAL STRUCTURAL NOTES

- The Structural Drawings shall be read in conjunction with the other Contract Documents which include, but are not limited to, Architectural, Site, Civil, Electrical and Mechanical Drawings, and the Specifications. Report any discrepancies between Contract Documents to the Architect/Owner before proceeding.
- These general notes are to be read in conjunction with the notes on other structural drawings.
- All referenced standards and codes shall be as listed in the Florida Building Code 2014.
- of construction are the responsibility of the Contractor. The Contractor shall provide and maintain all
- Refer items on the structural drawings requiring clarifications to the Architect/Owner and Structural Engineer. Do NOT use scaled dimensions. In case of a discrepancy between dimensions and/or details on the contract documents, relating to new or existing construction, please notify the Architect/Engineer/Owner before
- Where new work is to be fitted to old work, the Contractor shall check all dimensions and conditions in the field, and report any errors or discrepancies to the Structural Engineer/Owner prior to the fabrication and erection of any new members. The contractor has the responsibility for the correctness and fit of the new parts to the old part.

- 1. Submit shop drawings within 14 days allowing adequate time for processing. Submit shop drawings for processing before fabricating.
- 3. The Contractor/Fabricator is responsible for all materials, quantities and dimensions shown on the shop drawings, and for the methods employed to erect these materials. Review by the Engineer/Owner shall be for design conformance only.
- Substitutions shown on the shop drawings shall be of equal quality to the items specified in the Contract Documents and shall be at no extra cost to the Owner, unless prior written approval is obtained from the Architect/Owner and Engineer. Such approval shall be submitted with the shop drawings. The Contractor's review and forwarding of the shop drawings to the Architect/Engineer/Owner indicates the Contractor's approval and acceptance of all substitutions and/or changes submitted.
- 1. Cold formed (light gauge) steel members shall be detailed and fabricated in accordance with the
- 2. Splicing of axially loaded memers is not permitted. Studs and accessories shall conform to the
- requirements of ASTM A-653, minimum yield stress 33 ksi, and shall be designed by manufacturer/supplier.
- 3. Studs shall be braced in accordance with the manufacturer's specifications but not less than at four foot centers vertically.

NON-SHRINK GROUT

- 1. Grout shall be a high early strength, non-metallic, shrinkage resistant (when tested in accordance with the latest edition of ASTM C1107 or CRD-C621), premixed, non-corrosive, non-staining product containing
- 2. Grout shall have a minimum compressive strength (f'c) of 6,500 psi in 28 days.
- Grout compressive strength tests shall be performed in accordance with ASTM C109,
- with a restraining plate placed over the molds.

STRUCTURAL STEEL

- Structural steel detailing, fabrication and erection shall conform to the AISC Specification for the Design, Fabrication and Erection of Structural Steel for Buildings — Load & Resistance Factor Design, latest
- Steel members shall conform to the following ASTM Standards: Structural steel rolled shapes WF shapes ASTM A992 others ASTM 36
- Anchor rods (bolts) ASTM F1554 Grade 36.
- Steel with any signs of rust, or other integrity inhibiting abrasions shall not be used.
- 4. The steel fabricator to design/select connections not shown in accordance with AISC Specification and Manual
- diameter high strength bolts, conforming to ASTM A325 with 13/16 inch diameter holes and shall be Using ASTM A325 or A490 Bolts, approved by the Research Council on Structural Connections of the
- 7. All field and shop connections to have 3/16 inch continuous fillet welds, unless noted as bolted connections. Welding procedures shall conform to the latest edition of the American Welding Society's (AWS) Structural Welding Codes: For Structural Steel ANSI/AWS D1.1; for Sheet Steel ANSI/AWS D1.3;
- electrodes. Unless otherwise noted, other welded connections may be made with regular E70XX
- 9. Thermal cutting shall preferably be done by machine. Hand thermally cut edges which will be subjected to substantial stress, or which are to have weld metal deposited on them, shall be reasonably free from notches or gouges. Notches or gouges greater than 3/16 inches that remain from cutting shall be removed by grinding. Re-entrant corners shall be shaped notch-free to a radius of at least 1/2 inches.
- 10. Paint on surfaces adjacent to joints to be field welded shall be wire brushed to reduce the paint film to

- All work shall be in accordance with the 2014 Florida Building Code, FBC.
- The structure has been designed for the in-service loads only. The methods, procedures, and sequences temporary systems to ensure the integrity of the structure at all stages of construction. All work shall be performed without damage to adjacent existing work.
- Cover no work until the appropriate inspection has been completed.

COORDINATION WITH OTHER TRADES

- The Contractor shall coordinate and check all dimensions relating to architectural finishes, structural framing, mechanical openings, equipment, etc. The Structural Engineer/Owner/Architect shall be notified of any discrepancies before proceeding with work in any area under question.
- 2. All shop drawings must bear evidence of the Contractor's review and approval prior to submission to the Architect and/or Engineer/Owner.

COLD FORMED STEEL

- AISC Specification for the Design of Cold formed Steel Structural Members, latest editiion.

- Portland Cement, silica sands, shrinkage compensating agents and fluidity improving compounds.

- edition.
- Steel plates ASTM A36 Structural tube steel ASTM A500, GRADE B (Fy=46 ksi). Tubes shall be stainless steel tubes.
- 3. Structural steel used inside the building shall be shop-painted with a rust inhibiting primer. All abrasions to paint caused by handling after shop painting shall be touched-up after erection is complete.
- of Steel Construction. Design beam connections not shown for noted reaction or to support 50% of beam load capacity. Beam reactions shown on the drawings are in ultimate (LFRD) loads, unless noted as service loads.
- 5. Unless otherwise noted, bolted connections for structural steel members shall be made with 3/4 inch tightened to the snug tight condition. Bolted connections shall conform to the Specification for Structural Joints Engineer/Ownering Foundation.
- 6. Bolt in connections shall be tightened using the snug tightened method unless noted otherwise. Connections shall conform to the Specification for Structural Joints Using ASTM A325 or A490 Bolts, approved by the Research Council on Structural Connections of the Engineer/Ownering Foundation.
- for Reinforcing Steel ANSI/AWS D1.4.
- 8. Welded connections using ASTM A992 steel as a base metal shall be made with E70XX Low Hydrogen
- 11. Steel shall be hot dipped galvanized to G90 unless noted as stainless steel. Attach aluminum to stainless steel only.

Telephone:

STANDARD ABBREVIATIONS

Anchor Bolt

Adiacent

Architect

Bottom

Building

Base Plate

Diagonal

Douglas Fir

Double Joist

Dimension

Each Face

Expansion Joint

Each Way Top

Elevation

Electrical

East-West

Existing

External Far Face

Foundation

floor level

Finished

Footing

Galvanized

Horizontal

Joist Girder

Maximum

Mechanical

Mezzanine

Miscellaneous

Moment Connection

Mean Sea Level North-South

Not to Scale

Normal weight

On Center (C/C)

Outside Diameter

Pounds per square inch

Pounds per square foot

Pounds per linear foot

Reinforced concrete

Rectangular Hollow

Step Down Footing

Sawn (Control) Joint

Truss Bearing elevation

Steel Section

Specification

Square Hollow

Steel Section

Southern Pine

Top Lower Level

Top Middle Level

Top Upper Level

Tube steel section

Unless noted otherwise

Welded Wire Rebar/Reinforcing

Wide Flange (beam)

Welded Wire Fabric

Temperature

ransverse

Top of Beam

Top of Deck

Top of Steel

Top of wall

Underside

Vertical

Tie Joist

Reinforcement (steel)

Minimum

Moment

Number

Projection

Required

Revision

Steel

Standard

Structural

Girder Truss

Hip/Valley truss

Kilopounds, Kips

Kilopounds per foot Angle (e.g. L4x4x1/4)

Long Leg Vertical

Long Leg Horizontal

Finished structural

Full Moment Connection

Holding Down (anchors)

Joist bearing elevation

Each Way Bottom

Drawing

Dowel

Each Each End

Center to Center

Continuous Fillet Weld

Bottom Each Way

Bottom Chord Extension

Bottom Lower Layer

Bottom Upper Layer

A.B.

ADJ.

BEW

BCX

BUL BLDG

C/C CFW

DIAG. DIA.

DJ DWG

DWL

EWB EWT

E-W

EQ EXIST EXT

FDN

FTG FMC

GALV GT

HORI

JST GRD

LBS

LLV

LLH LONG MAX MECH

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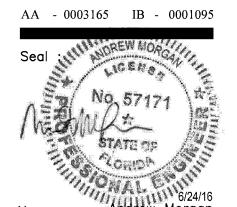
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SWA-PBC **MAINTENANCE FACILITY** LOCKER ROOM



6527 N. Jog Road West Palm Beach, FL 33412

Key Plan:

07/14/2016

S+A Project No: 16003

Owner Project No Drawn By : Checked By

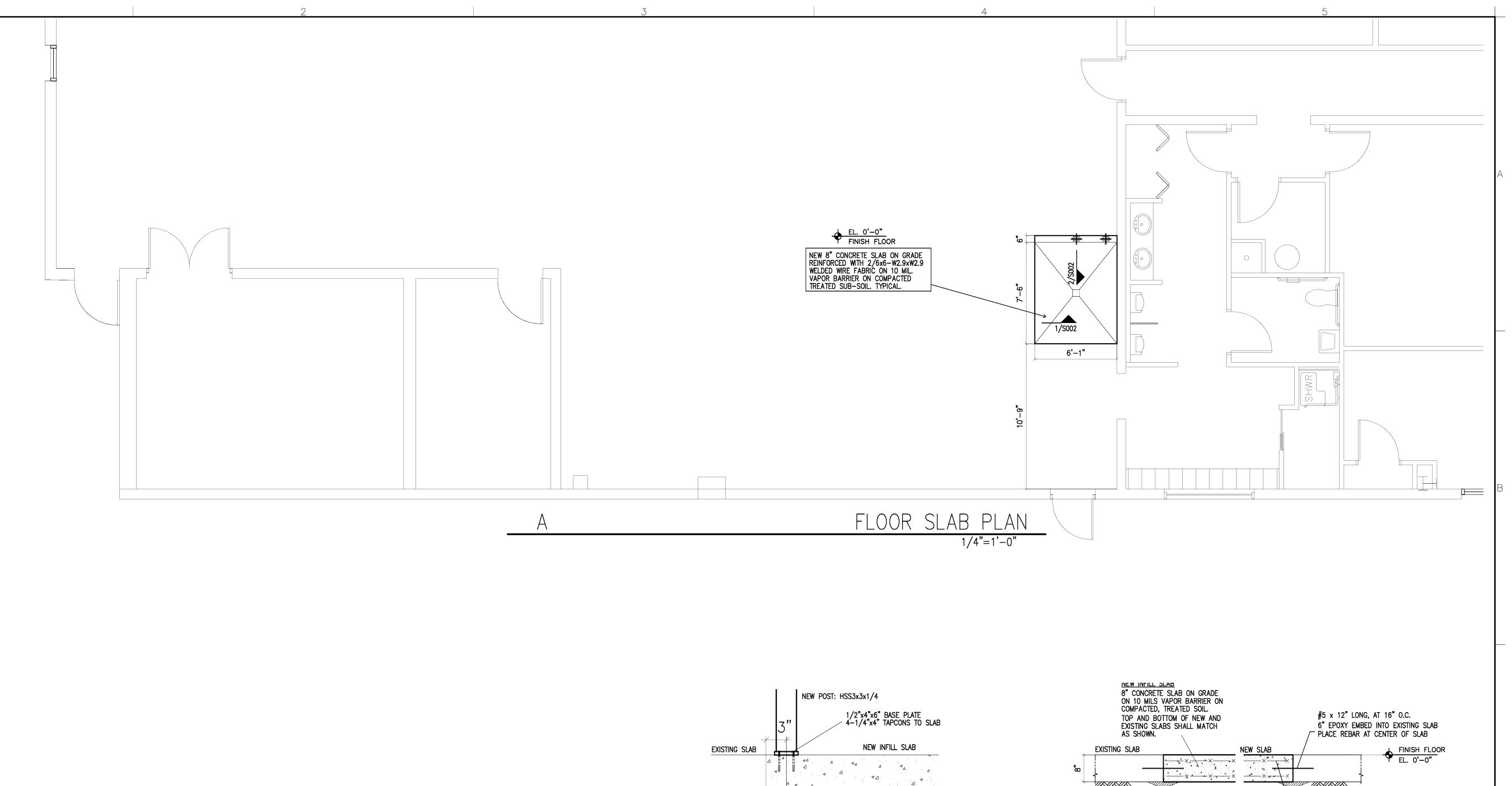
Phase : **BID SET**

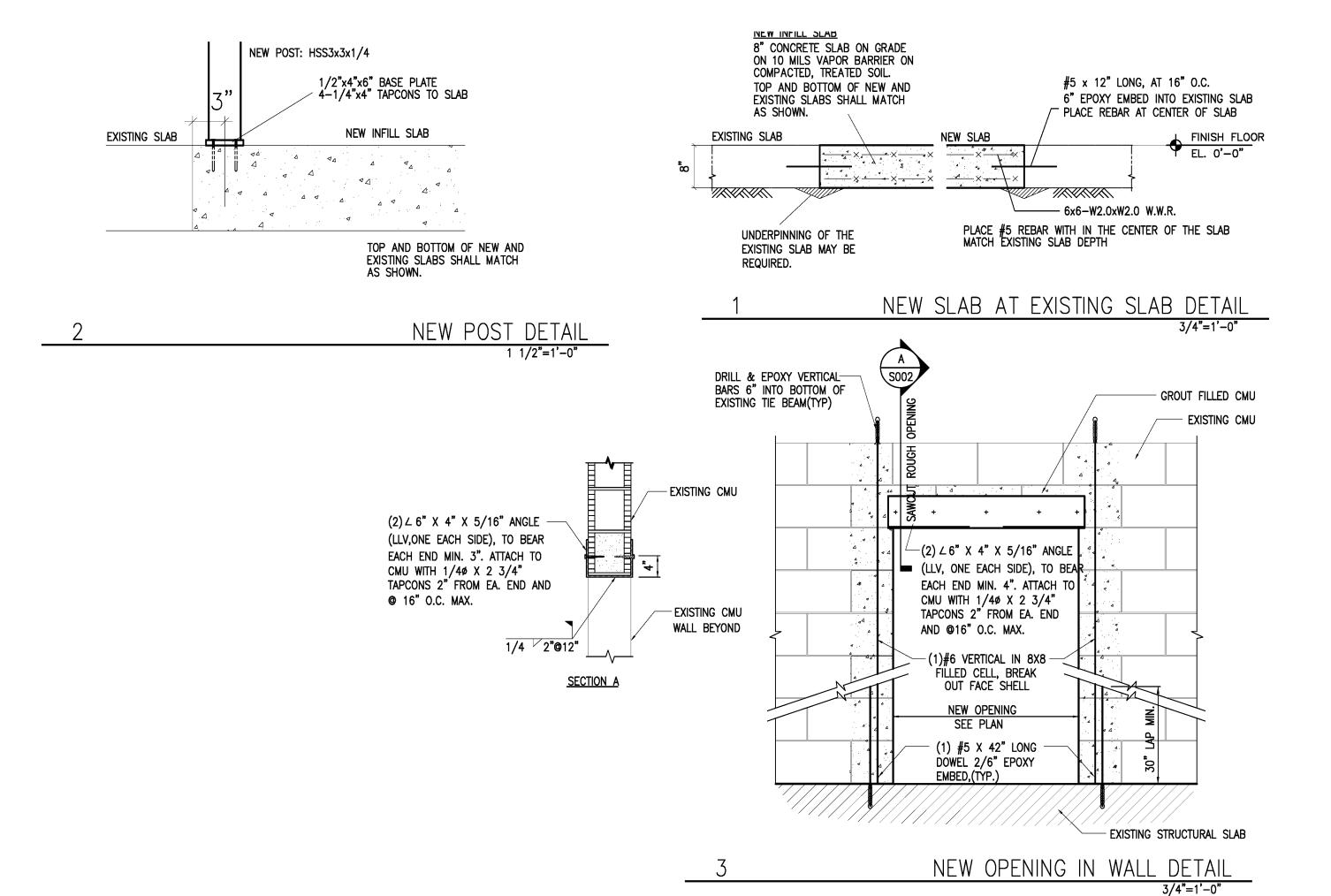
Sheet Title

GENERAL NOTES

Sheet # :

S00

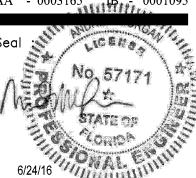






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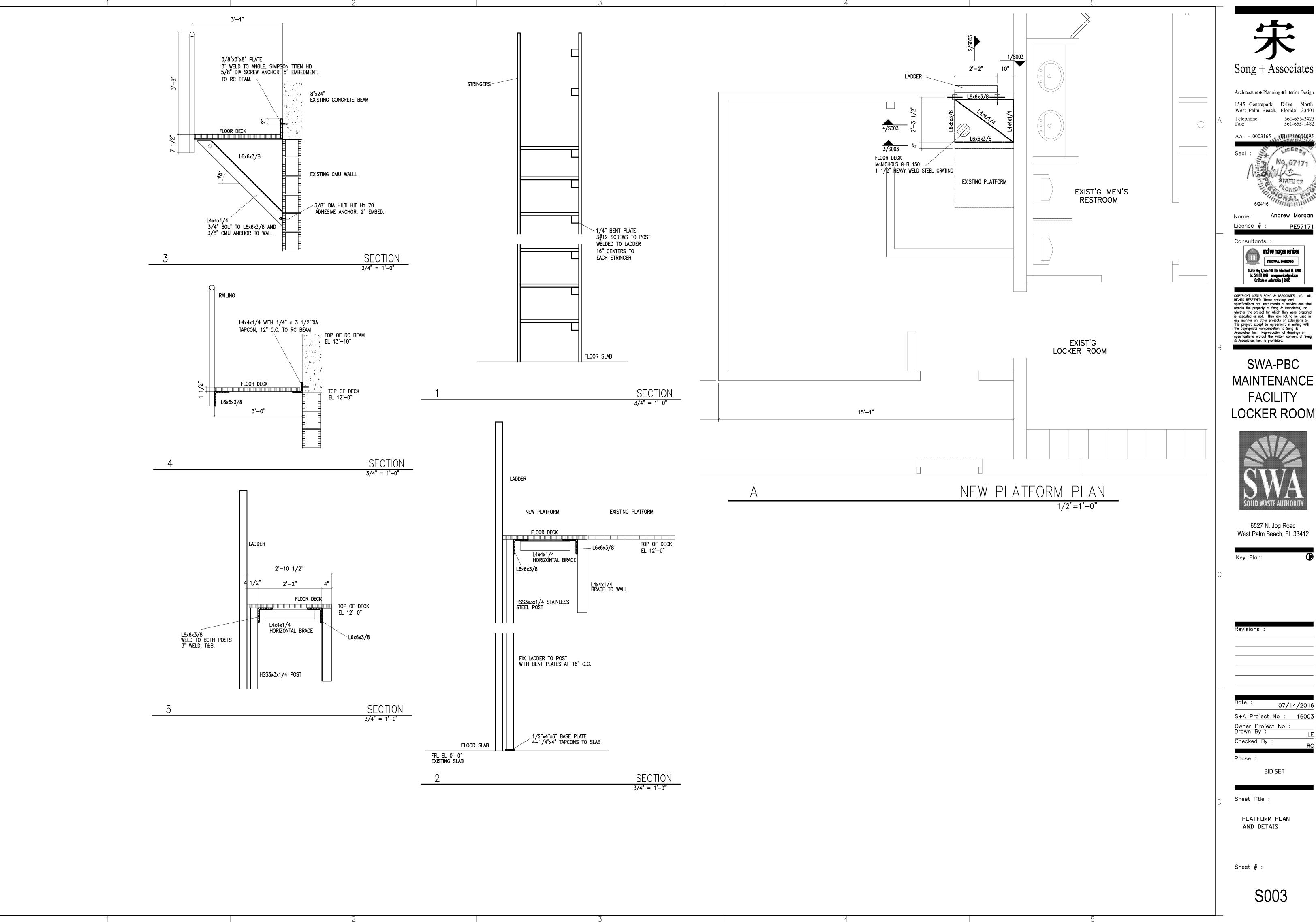
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Sheet Title :

FLOOR SLAB PLAN

Sheet # :



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Andrew Morgan

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SWA-PBC MAINTENANCE **FACILITY** LOCKER ROOM



6527 N. Jog Road West Palm Beach, FL 33412

07/14/2016

Checked By

PLATFORM PLAN AND DETAIS

S003

GENERAL NOTES:

- ALL MECHANICAL SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE NFPA STANDARDS, ANSI STANDARDS, THE LOCAL BUILDING CODE, NOISE & HEIGHT ORDINANCES, PLANS AND SPECIFICATIONS.
- ALL MATERIALS SHALL BE NEW AND ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, PRODUCT APPROVAL, RULES AND ORDINANCES, ANY DAMAGED EQUIPMENT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, ACCESS PANELS, CONTROL SYSTEMS, DEVICES, PERMITS AND SERVICES NECESSARY FOR FURNISHING AND INSTALLING A COMPLETE OPERABLE MECHANICAL SYSTEM.
- ALL LOUVERS, GRILLES, PIPING, ETC. SHALL BE PAINTED TO MATCH SURROUNDING COLOR AND TEXTURES AS REQUIRED BY ARCHITECT. VERIFY COLOR AND TEXTURE WITH ARCHITECT. PAINT ALL EXPOSED MECHANICAL EQUIPMENT WITH BENJAMIN MOORE EPOXY ENAMEL 182.
- ALL CUTTING, PATCHING, STRUCTURAL STEEL, WEATHER PROOFING, PAINTING, AND WALL OPENINGS SHALL BE BY THE GENERAL CONTRACTOR.
- 6. ALL OPENINGS IN BUILDING STRUCTURE, FOR DUCTWORK, PIPING, ETC. TO BE 1/2" LARGER (ON ALL SIDES) THEN THE OUTSIDE DIMENSIONS. FILL VOIDS WITH FIRE RETARDANT SILICONE FOAM (I.E. CHASE—FOAM CTC PR—855 BY CHASE TECHNOLOGY CORP.)
- 8. PROVIDE FLEXIBLE DUCT CONNECTORS, RATED AS REQUIRED, TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT.
- PROVIDE MAINTENANCE AND OPERATION MANUAL ON ALL MECHANICAL EQUIPMENT OR SYSTEMS. PROVIDE 5 SETS OF SUBMITTALS ON ALL HVAC EQUIPMENT. SUBMITTALS SHALL HAVE A SUMMARY SHEET SHOWING ALL SCHEDULED
- HVAC CONTRACTOR WILL WARRANTY ALL MECHANICAL SYSTEMS, DUCTWORK, THERMOSTATS, AND ALL OTHER EQUIPMENT, PARTS AND LABOR UNDER THESE DRAWINGS AND SPECIFICATIONS FOR A PERIOD OF ONE (1) YEAR AFTER C.O. OF BUILDING. ANY REPAIRS REQUIRING SYSTEM SHUT DOWN WILL BE DONE DURING NON OPERATIONAL PERIODS. HVAC CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO BIDDING AND PURCHASING ANY EQUIPMENT.
- AIR QUALITY SHOULD BE TESTED BEFORE OCCUPANCY AND SHOULD BE INSTRUMENTED AND MONITORED THEREAFTER, OR AT LEAST AT REGULAR INTERVALS

AIR DISTRIBUTION/DUCTWORK NOTES:

- REFER TO ARCHITECTURAL PLANS FOR CEILING TYPE.
- PROVIDE OFF WHITE FINISH (SUBJECT TO ARCHITECT'S APPROVAL).
- ALL DUCTWORK WHERE ALLOWED BY LOCAL CODES AND AND CEILING RATING SHALL BE 1" LOW PRESSURE DUCT, SEAL CLASS "C" AND AS FOLLOWS:

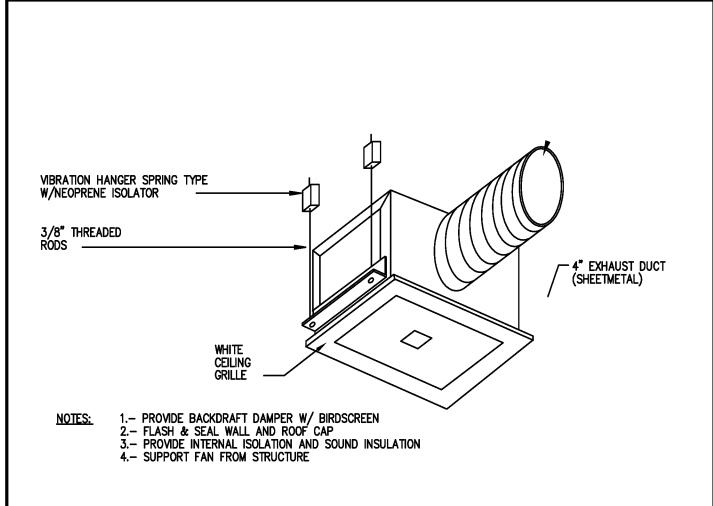
 A. S/A & R/A-1" THICK FIBERGLASS DUCT BOARD WITH VAPOR BARRIER (R-4.2 MIN.) B. EXHAUST AIR DUCTWORK — GALVANIZED SHEETMETAL
- B. OUTSIDE AIR DUCTWORK INSULATED GALVANIZED SHEETMETAL ALL DUCTWORK AND DIFFUSERS SHALL BE RATED FOR THE USE, PRESSURE AND TEMPERATURE SPECIFIED AND AS REQUIRED BY THE CEILING SYSTEM RATING.
- ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH "SMACNA" STANDARDS AND LOCAL BUILDING CODES.
- 6. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- SEAL ALL DUCTS, JOINTS AND SEAMS IN AN APPROVED MANNER AND INSURE AGAINST LEAKAGE.
- PROVIDE ACCESS DOORS AS REQUIRED FOR ALL MECHANICAL EQUIPMENT TO SERVICE AND VISUALLY CHECK ROTATION OF FANS AND MOTORS, POSITION OF DAMPERS, REPLACE FIRE DAMPER LINKS, ADJUST OR REPLACE CONTROLS, ETC.
- PROVIDE VANED ELBOWS IN ALL CASES, SPLITTER DAMPERS WHERE INDICATED ON DRAWINGS AND VOLUME CONTROL DAMPERS IN ALL BRANCH DUCTS OR DIFFUSER CONNECTIONS.
- TERMINAL AIR DISTRIBUTION DEVICES SHALL BE AS FOLLOWS: CEILING DIFFUSER: EQUIV. TO TITUS MODEL PAS—AA RETURN REGISTER: EQUIV. TO TITUS MODEL 4 FL

HVAC NOTES:

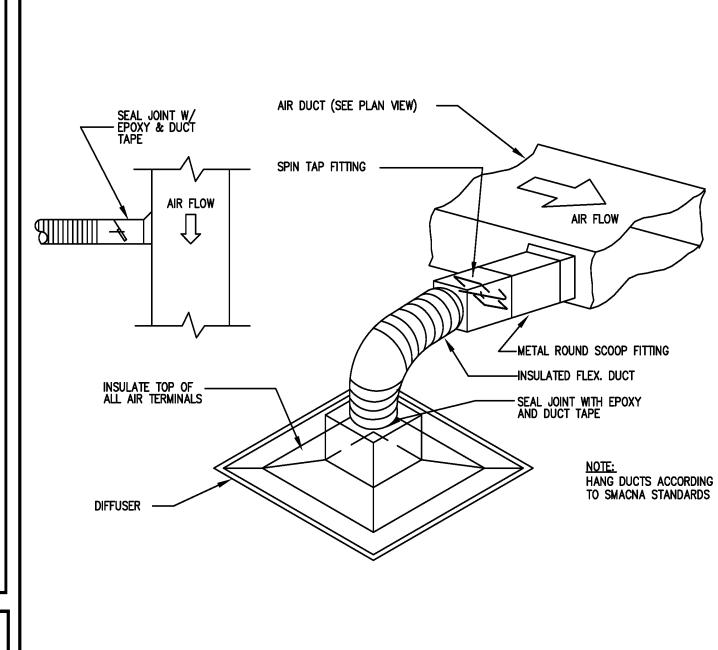
- HVAC SUBCONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, TOOLS AND EQUIPMENT TO INSTALL A COMPLETE AND OPERATING A/C SYSTEM. HVAC SUBCONTRACTOR TO PROVIDE ALL REQUIRED HVAC PERMITS.
- 3. COMPLY WITH NFPA-90A AND ALL APPLICABLE CODES. THIS IS THE CONTRACTOR'S RESPONSIBILITY.

5. HVAC SUBCONTRACTOR SHALL COMFORT BALANCE TENANT AREA TO THE

- 4. ALL AIR DEVICES SHALL BE OF ALUMINUM CONSTRUCTION. TITUS, METALAIRE OR AS APPROVED BY ENGINEER.
- SATISFACTION OF THE LANDLORD AND/OR TENANT AFTER OCCUPANCY. PROVIDE AIR BALANCE REPORT AT COMPLETION OF PROJECT TO ENGINEER/TENANT. CFM VALVES CAN BE WITHIN 100% OF THE VALVE SHOWN ON PLANS.
- 6. HVAC SUB-CONTRACTOR SHALL PROVIDE ALL CONTACTORS, RELAYS AND THERMOSTATS. THE ELECTRICAL SUBCONTRACTOR SHALL PROVIDE ALL SWITCHES, DISCONNECTS AND CONTROL WIRING. THERMOSTATS SHALL BE APPROVED BY EQUIPMENT MANUFACTURER.
- 7. ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- 8. ALL WORK OF THIS TRADE SHALL BE COORDINATED WITH ALL OTHER TRADES TO AVOID ANY INTERFERENCES THAT MAY DELAY PROGRESS
- OF CONSTRUCTION. 9. HVAC SUBCONTRACTOR SHALL INSTALL ALL NECESSARY OFFSETS,
- BENDS AND TRANSITIONS REQUIRED TO PROVIDE A COMPLETE SYSTEM AT NO ADDITIONAL COST TO OWNER. 10. COORDINATE LOCATION OF CEILING DIFFUSERS, GRILLES AND REGISTERS
- IN THE FIELD WITH ELECTRICAL, LIGHTS AND ARCHITECTURAL ELEMENTS. 11. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING TO BECOME FAMILIAR WITH EXISTING CONDITIONS. NOTIFY ARCHITECT / ENGINEER WITH ANY DISCREPANCIES IN WRITING. NO CHANGE ORDERS WILL BE ACCEPTED.



CABINET EXHAUST FAN DETAIL



FLEXIBLE DUCT CONNECTION DETAIL

	AIR DISTRIBUTION SCHEDULE						
A	DIFFUSER TYPE						
CFM	DIFFUSER CFM						
TAG	MANUFACTURER & MODEL NO.	NECK SIZE	CFM	NOTES:			
A	TITUS TDC-AA	6 8 10 12	0-100 101-299 300-450 451-600	ALUMINUM CEILING DIFFUSER LOUVERED FACE OPPOSED BLADE DAMPER 12x12 MODULE BORDER TYPE 1 (SURFACE) NC LEVEL < 30			
В	TITUS 50F	24x24 6 8	0-800 0-100 101-299	ALUMINUM EGGCRATE RETURN GRILLE 1/2x1/2x1/2 CORE BORDER TYPE 1 (SURFACE) NC LEVEL < 30			
NOTES	NOTES:						

ALL FINISHES TO BE WHITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ARCHITECT.

LEGEND NEW SUPPLY DIFFUSER NEW EXHAUST GRILL. ■■ MANUAL VOLUME DAMPER NEW FLEXIBLE DUCT, U.L. CLASS 1 (R-6)

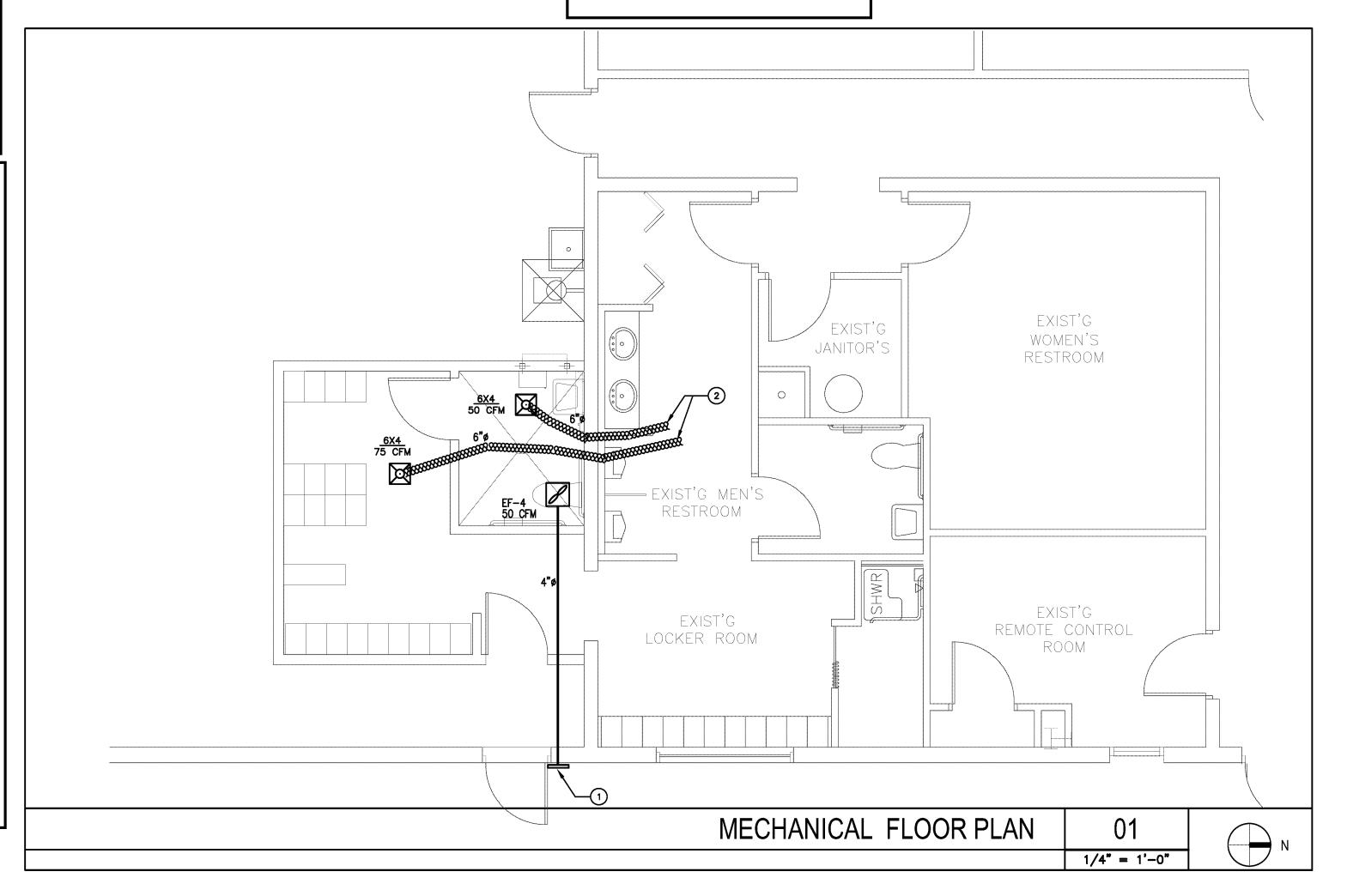
— — — EXISTING DUCT

DUCT DETECTOR REMOTE

TEST/RESET STAIOIN POINT OF CONNECTION EXISTING TO NEW.

DUCT SMOKE DETECTOR (WITH AUDIBLE AND VISIBLE CAPABILITY)

T PROGRAMMABLE T-STAT



FAN SCHEDULE

. SELECTION BASED ON TYPE/	CFM	TSP	RPM	мото	R DATA		DRIVE	SONES	UNIT	REMARKS
MAKE MODEL NO. SERVICE		IN WG		HP	RPM	VOLTS-PH-HZ		OR NC	WEIGHT	
EF-4 GREENHECK SP-80 BATHROOM EXHAUST	80	0.20	482	_	900	120-1-60	DIRECT	2.0	_	1,2,5,8,9

GENERAL FAN NOTES:

FIELD SUPPLIED ITEMS.

- PROVIDE DISDONNECTS AND ALL ASSOCIATED CONTROLS
- PROVIDE BACKDRAFT FOR ALL EXHAUST FANS.
- FIELD ADJUST OPENINGS WITH STRUCTURE. ALL OUTDOOR EQUIPMENT SHALL COMPLY WITH LOCAL ZONING NOISE ORDINANCE OR NOT EXCEED A NOISE LEVEL OF 55dB AS MEASURED RADIALLY 15 FT.
- FROM THE EQUIPMENT IN ALL DIRECTIONS. COORDINATE WITH ELECTRICAL CONTRACTOR BEFORE BIDDING OR ORDERING ANY EQUIPMENT. 6. SEE GENERAL, AIR CONDITIONING, DUCTWORK, AND COORDINATION NOTES FOR OTHER
- 7. PROVIDE MOTOR HEATERS SIZED AS REQUIRED FOR FIELD CONDITIONS.
- 8. PROVIDE BIRDSCREEN ON ALL INLETS AND OUTLETS.
- 9. INTER-LOCK WITH LIGHT SWITCH 10. RUN CONTINUOUSLY
 - <u>CFM</u> <u>PROVIDE</u> EXHAUST REQ. <u>EXHAUST</u>

MECHANICAL DRAWING KEYNOTES

- 1 4" SHEET METAL BATHROOM EXHAUST DUCT THROUGH WALL WILL INSECT SCREEN
- WALL CAP. WALL CAP SHALL BE MINIMUM 3 FEET FROM ANY OPERABLE OPENING. 2 TIE NEW FLEX DUCT TO EXISTING MAIN TRUNK. CONTRACTOR TO FIELD VERIFY EXACT LOCATION.

EXHAUST AIR SUMMARY (FBC TABLE 403.3) CFM EXHAUST/ FIXTURE <u>AREA</u> <u>SQ_FT</u> NEW BATHROOM 70 70 80 EF-4 EXISTING EF-3 85/LOCKER RM NEW LOCKER 25

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SWA-PBC **MAINTENANCE FACILITY** LOCKER ROOM



6527 N. Jog Road

West Palm Beach, FL 33412

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07/14/2016 S+A Project No: 16003 Owner Project No :

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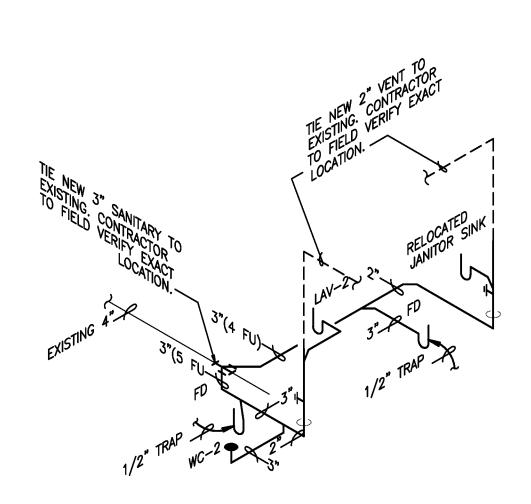
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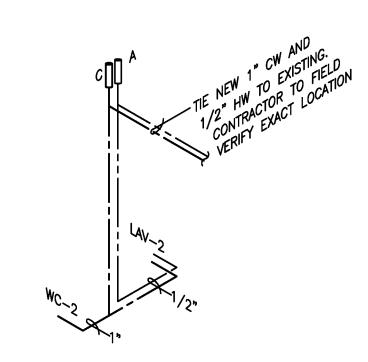
MECHANICAL PLAN

Sheet #:



NOTE:
SLOPE ALL PIPING 2" AND LESS @ 1/4" PER L.F.
SLOPE ALL PIPING 3" AND ABOVE @ 1/4" OR 1/8" PER L.F.
HORIZONTIAL DRAINAGE PIPING SHALL BE INSTALLED IN UNIFORM
ALIGNMENT AT UNIFORM SLOPE PER FBC(2014) 704.1

SANITARY PIPING ISOMETRIC
NO SCALE

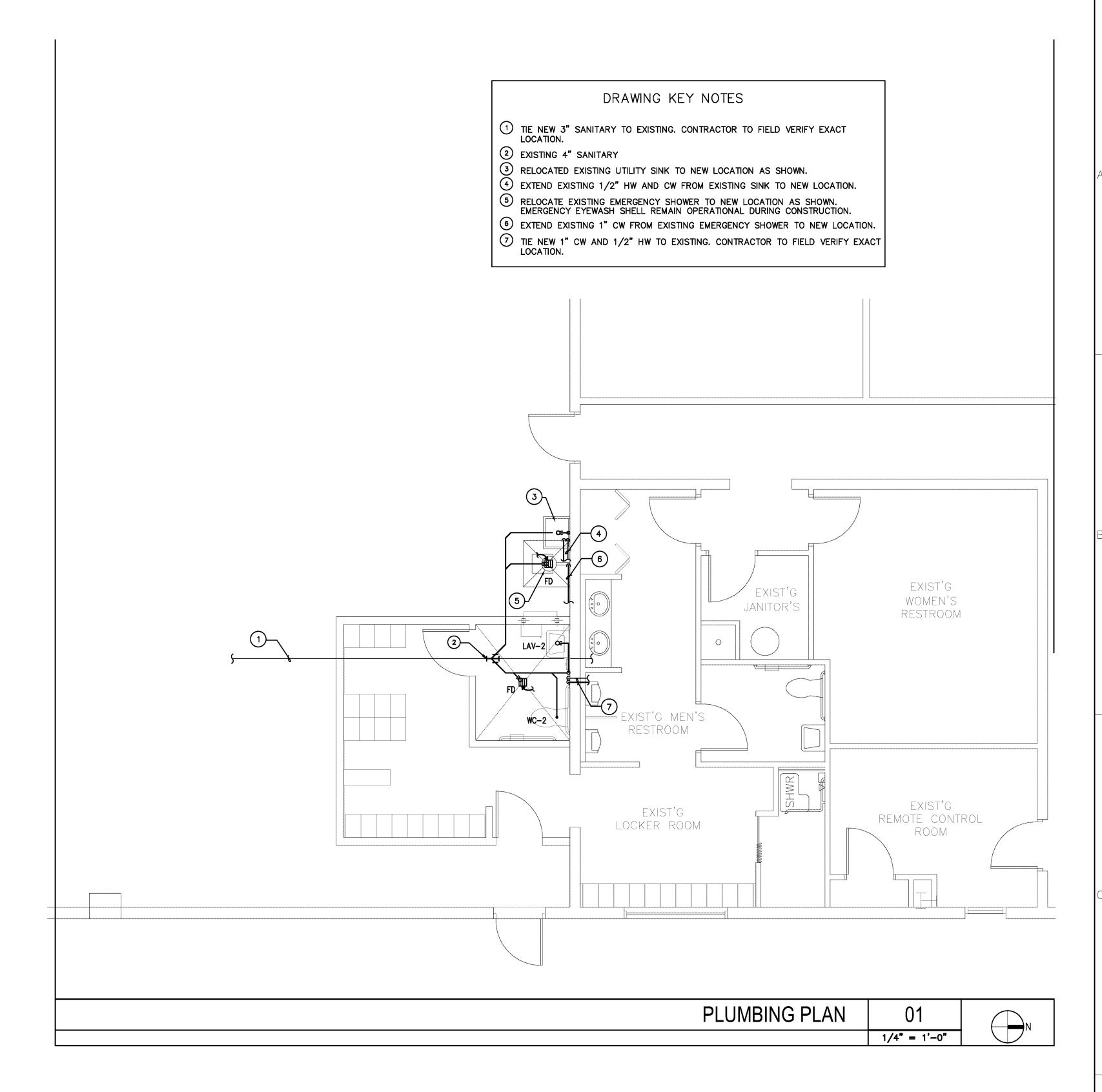


NOTE:

1. ALL FIXTURES SHALL COMPLY WITH TABLE 604.4 OF THE F.P.C.

2. ALL WALL HUNG PLUMBING FIXTURES SHALL COMPLY W/FBC 2318.1.15 OR 2517.5.1.1

WATER PIPING ISOMETRIC



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P-1

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MAINTENANCE

FACILITY

LOCKER ROOM

6527 N. Jog Road

West Palm Beach, FL 33412

S+A Project No: 16003

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PLUMBING PLAN

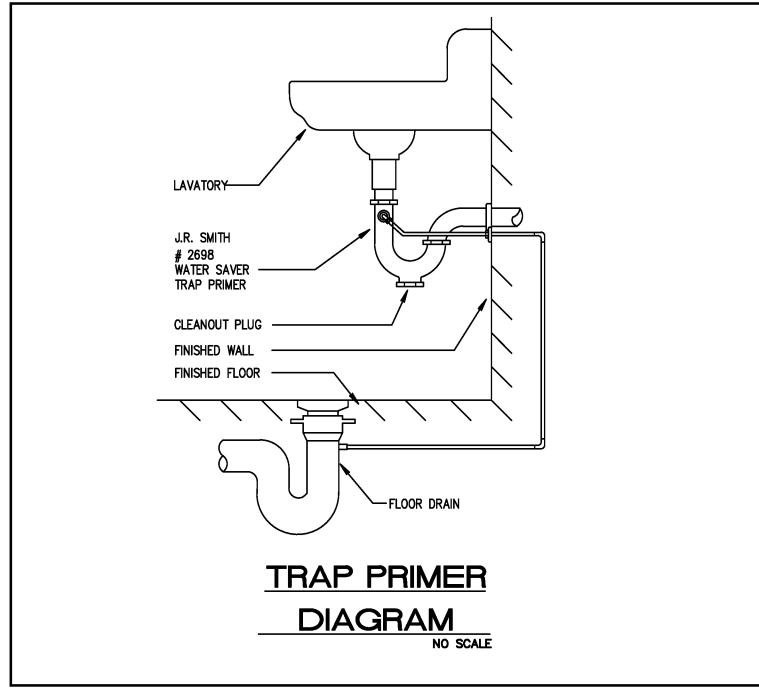
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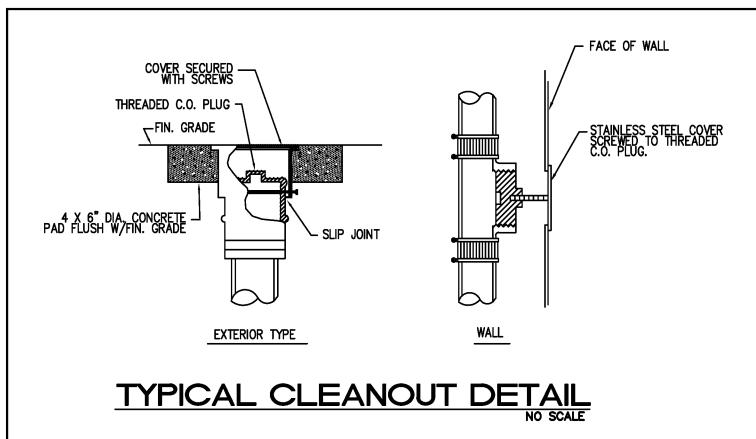
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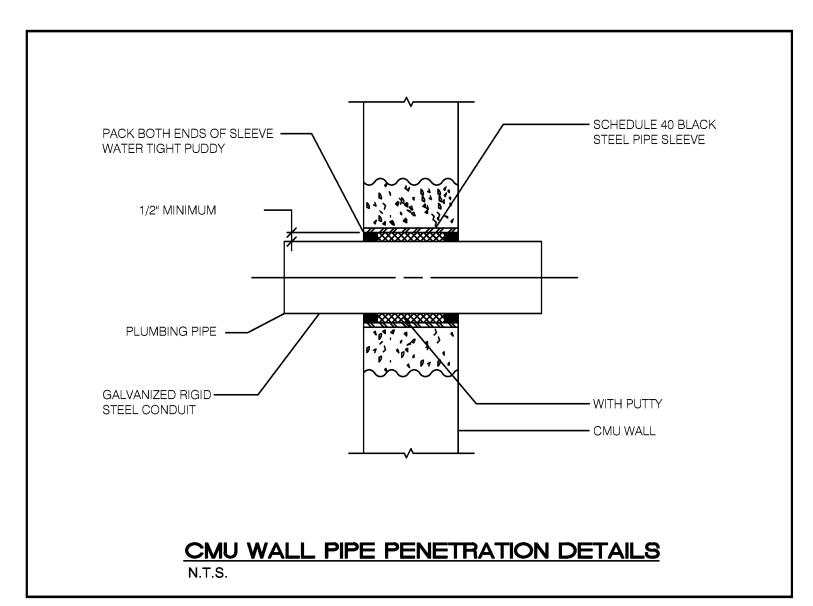
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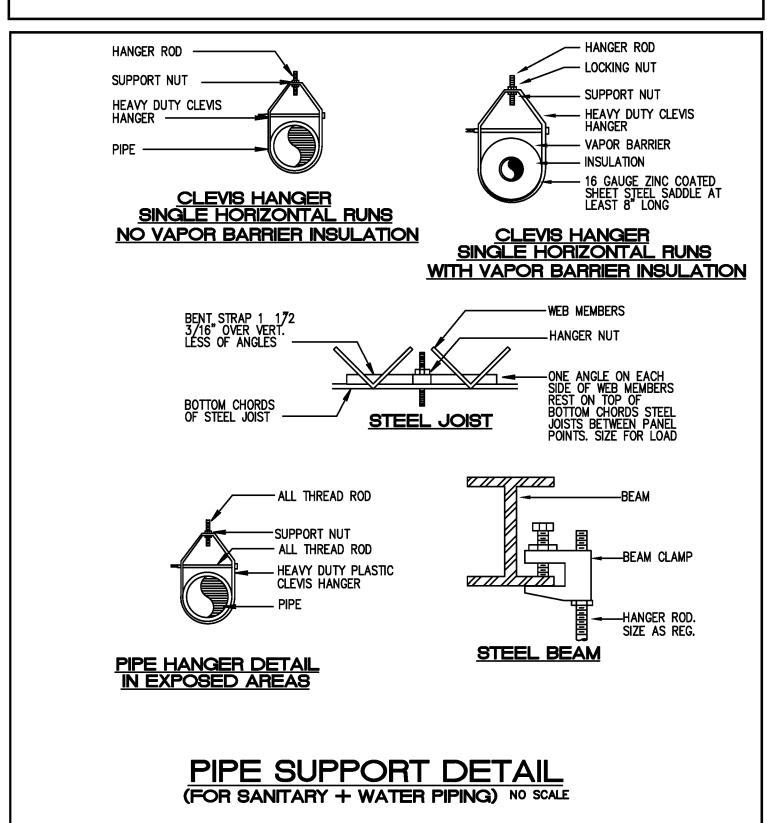
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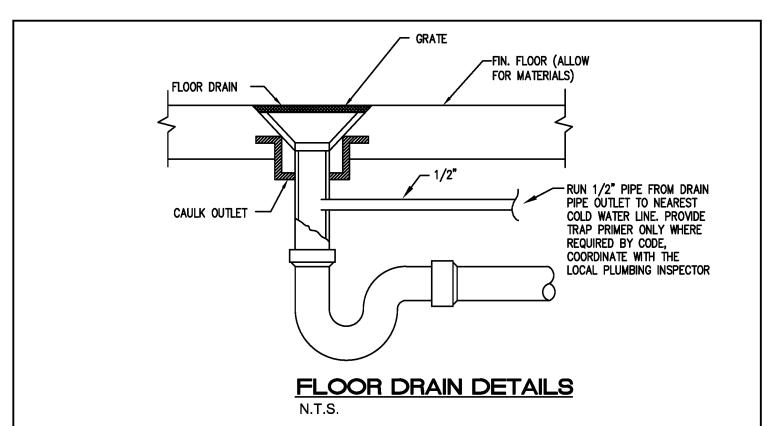






PLUMBING FIXTURE SCHEDULE <u>FIXTURE</u> MODEL # ACCESSORIES <u>NAME</u> SLOAN SOLIS MODEL 8111-1.28 HANDICAPPED WATER WC-2 SENSOR OPERATED FLUSH VALVE CHURCH OPEN FRONT SEAT, MADERA FLOWISE CLOSET (FLUSH VALVE) #3461.001 SUPPLY PIPE, MCGUIRE ANGLE STOP AND 2 BOLT CAPS. SLOAN OPTIMA ESD-25085-BDT SENSOR FAUCET FLEXIBLE SUPPLY PIPE, MCGUIRE ANGLE STOPS & ADJUSTABLE "P" AMERICAN STANDARD LUCERNE #0355.012 WALL HUNG LAVATORY (ADA) TRAP WITH MCGUIRE 155WC GRID DRAIN PROVIDE PROWRAP P-TRAP GUARD * ALL PLUMBING FIXTURES SHALL BE APPROVED BY ARCHITECT/OWNER <u>FIXTURE</u> WATER PIPE SIZE NOMINAL SAN. SIZE MAXIMUM FLOW RATES WATER CLOSE (FLUSH VALVE) 1.28 QPF LAVATORY 1/2" 1 1/4" .5 GPM





GENERAL PLUMBING NOTES:

- 1. A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA 2014 BUILDING CODE (PLUMBING) AND WITH ALL APPLICABLE REGULATIONS. B. DRAWINGS: REFER TO ALL DRAWINGS FOR COORDINATION OF THE
- PLUMBING WORK. C. ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT
- D. GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND
- E. ALL HORIZONTAL SANITARY PIPING SHALL SLOPE AT 1/8 INCH PER FOOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2" PIPES AND SMALLER.
- 2. PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY TENANT AND INSTALLED BY THIS CONTRACTOR. FIXTURES SHALL BE COMPLETE WITH DRAINS, TRAPS, SUPPLIES AND ANY OTHER ACCESSORY REQUIRED. FIXTURES AND FAUCETS SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2014 WATER SAVING STANDARDS.
- 3. MATERIALS:
- A. PIPING: A. SOIL, WASTE AND VENT: SCHEDULE 40 PVC
- B. DOMESTIC WATER: TYPE M COPPER ISOLATE PIPING FROM CONCRETE WITH INSULATING MATERIAL.
- D. DOMESTIC WATER SUPPLY ASSEMBLY: CHROME FINISH TUBING WITH ANGLE SHUT OFF VALVES.
- 4. PIPING TEST AND DISINFECTIONS:
- A. TEST: ALL SANITARY AND DOMESTIC WATER SUPPLY PIPING SHALL BE TESTED FOR LEAKS BEFORE PIPING IS CONCEALED OR CONNECTED TO EQUIPMENT AND PLUMBING FIXTURES.
- B. DISINFECTION: ALL DOMESTIC WATER PIPING SHALL BE DISINFECTED BY INTRODUCING A SOLUTION OF CALCIUM HYPOCHLORITE OF 50 PARTS PER MILLION OF CHLORIDE AND AS PER AWWA STANDARDS.
- 5. VALVES: DOMESTIC WATER VALVES SHALL BE OF BRONZE BODY, SWEAT ENDS.
- 6. CONTRACTOR SHALL COORDINATE EXACT LOCATION OF SANITARY, AND DOMESTIC WATER PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.
- 7. CONTRACTOR SHALL PIPE PROTECTION UNDERNEATH ALL ADA LAVATORIES AND SINKS TO COMPLY WITH ADA CODE.
- 8. NO COMBUSTIBLE MATERIAL SHALL BE USED IN MECHANICAL ROOMS OR IN CEILING SPACES WHERE USED AS RETURN AIR PLENUMS.
- 9. CONTRACTOR SHALL MAINTAIN ALL EXISTING PLUMBING FIXTURES IN OPERATIONAL CONDITION DURING CONSTRUCTION.

PLUMBING	PLUMBING SYMBOL LEGEND					
SYMBOL	DESCRIPTION					
	EXISTING SANITARY LINE EXISTING VENT LINE SANITARY LINE VENT LINE EXISTING COLD WATER LINE EXISTING HOT WATER LINE COLD WATER LINE HOT WATER LINE					
	GATE VALVE FLOOR PENETRATION HAMMER ARRESTOR WALL CLEANOUT CONNECT TO EXISTING					

SHOCK ARRESTOR SCHEDULE						
P.D.I. DESIGNATION	MANUF. & MODEL	FIXTURE UNITS	CONNECTION			
A	SIOUX CHIEF 652-A	1–11	1/2"			
В	SIOUX CHIEF 652-B	12-32	3/4"			
С	SIOUX CHIEF 652-C	33–60	1"			
D	SIOUX CHIEF 652-D	61–113	1"			

1. SIOUX CHIEF SHOCK ARRESTORS APPROVED FOR INSTALLATION WITH NO ACCESS DOOR REQUIRED. CONFORMS TO ANSI/ASSE 1010 STANDARDS. 2. LOCATE SHOCK ARRESTORS PER MANUFACTURE RECONMENDATION.

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Key Plan:

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PLUMBING SCHEDULE, NOTES, AND

Sheet #:

DETAILS

ELECTRICAL SPECIFICATION

- SCOPE: FURNISH ALL LABOR AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM AS SPECIFIED HEREIN AND INDICATED ON THE CONTRACT DRAWINGS.
- APPLICABLE CODES: THE INSTALLATION SHALL COMPLY WITH THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE. 2014 FLORIDA BUILDING CODE 5TH EDITION, 2014 FLORIDA FIRE PREVENTION CODE 5TH EDITION. 2009 LIFE SAFETY CODE.
- MATERIALS AND SUBSTITUTIONS: THE CONTRACTOR SHALL SUBMIT A LIST OF ALL MAJOR EQUIPMENT AND FIXTURES TO THE ARCHITECT FOR REVIEW. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE PERMISSION OF THE ARCHITECT IN WRITING. ALL EQUIPMENT SHALL BE NEW AND BEAR THE MANUFACTURER'S NAME AND TRADE NAME. ALL EQUIPMENT SHALL BE U.L. LISTED.
- PERMITS: SWA SHALL PAY PERMIT FEE. CONTRACTOR SHALL BE RESPOSIBLE TO OBTAIN NECESSARY PERMITS FOR INSTALLATION OF THE WORK.
- WORKMANSHIP: ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. EXPOSED CONDUITS AND/OR CABLES, WHERE PERMITTED, SHALL BE RUN PARALLEL AND AT RIGHT ANGLE TO MAJOR BUILDING CONSTRUCTION MEMBERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL
- EQUIPMENT AND DEVICES WITH THE ARCHITECT AT THE TIME OF INSTALLATION CONDUIT SYSTEMS: CONDUIT SHALL BE EMT CONCEALED IN WALLS AND SUSPENDED CEILINGS AND EXPOSED IN UNFINISHED AREAS. EXTERIOR CONDUIT SHALL BE GALVANIZED RIGID STEEL. ALUMINUM CONDUIT SHALL NOT BE PERMITTED. MINIMUM SIZE CONDUIT SHALL BE 3/4". CONNECTIONS TO MOTORS AND OTHER VIBRATING EQUIPMENT SHALL BE MADE WITH LIQUIDTIGHT FLEXIBLE
- OUTLET BOXES: FOUR INCH SQUARE FOR SWITCHES AND RECEPTACLES AND FOUR INCH OCTAGONAL FOR LIGHTING FIXTURES, WITH APPROVED PLASTER RINGS AND COVERPLATES. WHERE MULTIPLE NUMBER OF SWITCHES OCCUR IN ONE LOCATION ON THE PLANS, PROVIDE A MULTI-GANG OUTLET BOX AND A COMMON COVERPLATE. PROVIDE BARRIERS WITHIN THE BOX AS MAY BE REQUIRED BY CODE. MIN. DEPTH 2 INCHES.
- WIRE AND CABLE: TYPE THW, OR THWN, 600 VOLT AC, COPPER CONDUCTORS, COLOR CODED, WITH THE MINIMUM SIZE TO BE #12 A.W.G. WITH INSULATED GROUND. TYPE "MC" METAL CLAD CABLE MAY BE USED WHERE PERMITTED BY APPLICABLE CODES.
- WIRING DEVICES: "ARROW HART" OR APPROVED EQUAL, AS FOLLOWS: DUPLEX RECEPTACLE-#5362: GFI RECEPTACLE-#GF5342: 1P TOGGLE SWITCH-#1991: 3-WAY TOGGLE SWITCH-#1993. COVERPLATES SHALL BE PAINTABLE PLASTIC. EDGES OF PLATES SHALL MÄKE FULL CONTACT WITH BOX AND COMPLETELY COVER WALL OPENING. ALL WATER FOUNTAINS, AND VENDING MACHINES SHALL HAVE GFCI TYPE RECEPTACLES AS PER NEC 422.51. ALL RECEPTACLES WITHIN 6 FEET OF WET BAR OR ANY SINK SHALL HAVE GFCI TYPE RECEPTACLES AS PER NEC 201.8.
- LIGHTING FIXTURES: AS SPECIFIED ON THE DRAWINGS, COMPLETE WITH LAMPS. PANELBOARDS AND CIRCUIT BREAKERS: PANELBOARDS SHALL BE SQUARE D TYPE "NQOD" WITH THE SIZE AND NUMBER OF CIRCUIT BREAKERS AS INDICATED ON THE DRAWINGS. CIRCUIT BREAKERS SHALL BE BOLT-ON TYPE. PLUG-IN BREAKERS SHALL NOT BE PERMITTED. MULTI-POLE BREAKERS SHALL HAVE COMMON TRIP WITH INTEGRAL TIE MECHANISM. HANDLE TIES SHALL NOT BE PERMITTED. PANELBOARDS SHALL HAVE COPPER BUS WITH FULL CAPACITY NEUTRAL. WHERE SPACES AND/OR PROVISIONS ARE INDICATED, BUS ASSEMBLY SHALL EXTEND TO FULL LENGTH WITH ALL NECESSARY HARDWARE TO ACCOMMODATE CIRCUIT BREAKERS. PROVIDE TYPEWRITTEN DIRECTORY ON INSIDE OF DOOR. WHEN NEW WORK IS CALLED FOR IN EXISTING PANELBOARDS, NEW BREAKERS SHALL MATCH EXISTING AND DIRECTORY SHALL BE UPDATED TO REFLECT ANY CHANGES. ALL ELECTRICAL EQUIPMENT WILL BE LABELED TO INDICATE POTENTIAL ELECTRIC ARC FLASH HAZARDS AS PER NEC 110.16
- GROUNDING: ALL SYSTEMS SHALL BE GROUNDED AND BONDED IN ACCORDANCE WITH TH REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES, THE UTILITY COMPANIES, SPECIAL SYSTEMS AND EQUIPMENT AS REQUIRED.

EXISTING CONDITIONS: THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY

- EXAMINE ALL EXISTING CONDITIONS THAT MAY AFFECT HIS BID. EXISTING ELECTRICAL INSTALLATION: ALL EXISTING ELECTRICAL WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER ELECTRICAL MATERIAL OR MATERIAL RENDERED OBSOLETE SHALL BE ABANDONED WHERE CONCEALED AND REMOVED WHERE EXPOSED. OLD UNUSED WIRING AND DEVICES SHALL BE REMOVED FROM THE ABANDONED (CONCEALED) CONDUITS AND OUTLETS SHALL BE PROVIDED WITH BLANK COVERS. EXCEPT AS OTHERWISE SPECIFIED, ALL DISCONNECTED MATERIAL THAT IS NOT TO BE REUSED SHALL BE REMOVED FROM THE SITE.
- INTERRUPTION OF SERVICE: THE CONTRACTOR SHALL NOT DISCONTINUE ANY ELECTRICAL SERVICE TO THE BUILDING WITHOUT FIRST OBTAINING APPROVAL FROM THE ARCHITECT AND OWNER.
- SCHEDULING OF WORK: THE CONTRACTOR SHALL ARRANGE WITH THE ARCHITECT/OWNER FOR SCHEDULING OF WORK.
- COORDINATION AND REPAIR: WHERE EXISTING ELECTRICAL INSTALLATIONS INTERFERE WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONNECTED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH THE WORK INDICATED ON THE CONTRACT DRAWINGS AND AS SPECIFIED.
- WATERPROOFING: WHERE ANY WORK PIERCES WATERPROOFING, INCLUDING WATERPROOF CONCRETE AND/OR MASONRY EXTERIOR WALLS, CONTRACTOR SHALL PROVIDE ALL NECESSARY SLEEVES, CAULKING, AND FLASHING REQUIRED TO MAKE OPENINGS ABSOLUTELY WATERTIGHT.
- FIREPROOFING: OPENINGS AND PASSAGE OF CONDUITS THROUGH FLOOR SLABS AND FIRE RATED WALLS OR PARTITIONS SHALL BE SEALED WITH U.L. LISTED FIRE STOPPING METHODS TO MAINTAIN THE FIRE RESISTANCE RATING.
- EQUIPMENT IDENTIFICATION: EXCEPT WHERE OTHER MEANS OF IDENTIFICATION ARE SPECIFIED. PANELBOARDS, METERS, SAFETY SWITCHES, REMOTE CONTROL SWITCHES, AND MOTOR CONTROL PUSHBUTTON STATIONS SHALL BE IDENTIFIED WITH BLACK PHENOLIC NAMEPLATES WITH WHITE LETTERS, MINIMUM 1/4" HIGH, TO SHOW THE NAME AND NUMBER, IF ANY, OF THE EQUIPMENT CONTROLLED.
- THIS CONTRACT AND DEMONSTRATE ITS PROPER OPERATION TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED LABOR, MATERIAL AND INSTRUMENTS FOR THE TESTS. TEST ALL ELECTRICAL WIRING DEVICES FOR CONTINUITY TRESTING FREE FROM ANY SHORTS AND CHECK FOR LOAD CIRCUIT BALANCING TO ENSURE NO NEUTRAL

TESTS: THE CONTRACTOR SHALL TEST ALL OF THE EQUIPMENT INSTALLED UNDER

- CURRENT IS PRESENT. OPERATING INSTRUCTIONS: UPON COMPLETION OF ALL WORK AND OF ALL TESTS, FURNISH THE NECESSARY SKILLED LABOR AND HELPERS FOR OPERATING ALL ELECTRICAL SYSTEMS AND EQUIPMENT IN ORDER TO INSTRUCT AND TRAIN THE OWNER'S REPRESENTATIVE IN THE OPERATION AND MAINTENANCE OF ALL
- EQUIPMENT FURNISHED. CONTRACTOR SHALL MAINTAIN AS-BUILT RECORD DRAWINGS DURING CONSTRUCTION. THESE RED LINES AS-BUILT DRAWINGS SHALL BE SUBMITTED TO OWNER AND ENGINEER AT THE END OF PROJECT. ANY AS-BUILTS NEEDED FOR FINAL INSPECTIONS SHALL BE SUBMITTED TO ENGINEER (10) DAY PRIOR TO INSPECTION.

GENERAL ELECTRICAL NOTES

- 1. THE ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), AND THE LATEST EDITIONS OF ALL LOCAL CODES, RULES AND ORDINANCES HAVING JURISDICTION
- 2. AS A MINIMUM, ALL EQUIPMENT SHALL MEET APPLICABLE STANDARDS, FOR TYPE OF EQUIPMENT AND INTENDED USE, OF THE FOLLOWING: a. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI). ILLUMINATING ENGINEERS SOCIETY (IES). AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM). NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NÉMA).
- NOTE: THESE STANDARDS ARE SUBORDINATE TO CODES AND STANDARDS SET BY U.L. IT SHALL BE UNDERSTOOD THAT ALL WORK PERFORMED SHALL BE BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. SAID CONTRACTOR SHALL MEET ALL
- REQUIREMENTS SET FORTH BY ANY LOCAL ORDINANCE AND GOVERNING AUTHORITIES. 4. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY
- DAMAGE FOR THE DURATION OF THE WORK THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT
- LESS THAN (1) YEAR FROM DATE OF ACCEPTANCE, U.O.N.. 6. IT SHALL NOT BE THE INTENT OF THESE PLANS AND/OR SPECI-FICATIONS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR SHALL BE EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED
- IN PROPER WORKING ORDER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING TO ORIGINAL CONDITIONS, ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, ETC. CAUSED DURING THE PERFORMANCE
- 8. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE OR DELAYS AND SHALL INCLUDE REPLACE-MENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- 9. THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS, LOCATIONS, DIMENSIONS AND COUNTS AS SHOWN OR NOTED ON THE DRAWINGS, PRIOR TO SUBMITTING BID.
- 10. THE CONTRACTOR SHALL NOT SCALE THE ELECTRICAL DRAWINGS REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT
- LOCATIONS OF ALL EQUIPMENT UNLESS NOTED OTHERWISE. 11. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND/OR NOTED ON THE PLANS.
- 12. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR FOR THE ADVANCE ORDERING OF LONG LEAD ITEMS, AS TO NOT INTEFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME. THE CONTRACTOR SHALL NOT ORDER ANY ITEMS UNTIL APPROVED SHOP DRAWINGS ARE RETURNED TO HIM.
- THE CONTRACTOR SHALL KEEP ALL AREAS WHERE WORK IS BEING PERFORMED FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- ALL CONDUCTORS SHALL BE COPPER, TYPE THHN/THWN EXCEPT WHERE OTHERWISE REQUIRED BY U.L. OR CODES. MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING.
- 15. ALUMINUM CONDUCTORS ARE NOT PERMITTED ANYWHERE 16. ALL CONDUCTORS SHALL BE IN CONDUITS. ALL CONDUITS SHALL BE GALVANIZED RIGID STEEL (GRS) EXCEPT THAT: (a) PVC CONDUITS MAY BE USED UNDERGROUND PROVIDED ELBOWS AND RISERS ARE GRS. WHERE SUBJECT TO PHYSICAL DAMAGE (b) ELECTRICAL METALLIC TUBING (EMT) MAY BE USED IN OR ON WALLS OR CEILINGS WHERE NOT SUBJECT TO MECHANICAL DAMAGE, DAMP OR CORROSIVE CONDITIONS, c) LIQUID TIGHT FLEXIBLE CONDUIT WHERE REQUIRED. (d) FLEXIBLE METALLIC CONDUIT (MC CABLE W/GROUNDING CONDUCTOR), WHERE REQUIRED IN DRY LOCATIONS ONLY. ALL CONDUITS IN HÁZARDOUS
- AREAS (PER NEC) SHALL MEET THE REQUIREMENTS OF NEC CHAPTER 5 ALL CONDUIT RUNS ARE SHOWN DIAGRAMATICALLY. THE EXACT ROUTING SHALL BE DETERMINED IN THE FIELD. UNLESS NOTED OTHER-
- WHERE CORE DRILLING OF FLOORS/WALLS IS REQUIRED. THE CON-TRACTOR SHALL SEAL OPENINGS WATERTIGHT AFTER UTILITIES HAVE BEEN INSTALLED. LOCATION OF CORED HOLES SHALL COORDINATE WITH LOCATION OF EQUIPMENT IN A MANNER THAT IS CLEAN AND FUNCTIONAL. THE CONTRACTOR SHALL INSTALL ONLY ONE CONDUIT
- PER HOLE AND SEAL THE OPENING AROUND THE CONDUIT. PROVIDE FIRE RETARDANT U.L. APPROVED SEALANT ON ALL PENE-FRATIONS, WALLS AND STRUCTURAL SLABS. IT SHALL BE THE RE-SPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY PRIOR TO SUBMITTING BID, THE LOCATIONS OF ALL SUCH FIRE RATED PART— ITIONS, WALLS, AND STRUCTURAL SLABS.

- 20. UNLESS NOTED AS EXISTING, ALL EQUIPMENT, WIRING, DEVICES, ETC.
 - 21. ALL DISCONNECT SWITCHES SHALL BE SIZED BY NEC REQUIREMENTS TO ACCOMODATE EQUIPMENT SERVED, INCLUDING REQUIRED FUSES U.O.N. SWITCHES SHALL BE HORSEPOWER RATED FOR MAX. HORSEPOWER, HEAVY DUTY TYPE.
 - 22. THE CONTRACTOR SHALL VERIFY CIRCUIT PROTECTIVE DEVICE RATINGS FOR EQUIPMENT PRIOR TO INSTALLATION.
 - 23. ALL FUSES SHALL BE CURRENT LIMITING, PER U.L., RATED 600V. OR 250V. AS REQUIRED, WITH: (a) NON TIME DELAY FUSES IN MAIN SWITCHES AND SWITCHES FEEDING
 - (b) TIME DELAY FUSES FOR MOTOR AND HVAC CIRCUITS. 24. WIREWAYS SHALL BE SIZED AS REQUIRED, PER NEC, U.O.N.
 - 25. ALL CIRCUIT BREAKERS SHALL BE INVERSE TIME TYPE (THERMAL-MAGNETIC). TWO AND THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP. TIE HANDLES ARE NOT PERMITTED.
 - 26. ALL ELECTRICAL EQUIPMENT SHALL BE RAINTIGHT (NEMA 3R) WHERE EXPOSED TO THE WEATHER. ALL FLEX CONDUITS CONNECTED TO SUCH EQUIPMENT SHALL BE LIQUIDTIGHT.
 - 27. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS, U.O.N.,
 - 28. ALL CONNECTIONS TO GROUND RODS SHALL BE MADE WITH U.L. APPROVED WELDED CONNECTIONS, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL FORM A GROUNDING ELECTRODE SYSTEM AS
 - PER NEC 250-50. 29. THE CONTRACTOR SHALL SUBMIT 6 COPIES OF EQUIPMENT SHOP DRAWINGS FOR ELECTRICAL EQUIPMENT TO THE ENGINEER FOR

REVIEW, PRIOR TO ORDERING SUCH EQUIPMENT.

- 30. PROPER PLASTER RINGS SHALL BE USED WITH OUTLET BOXES. PLASTER RINGS SHALL BE A MAXIMUM OF 1/8" FROM THE FINISHED SURFACE OF THE DRYWALL AFTER THE DRYWALL IS INSTALLED. PROPER COORDINATION BETWEEN THE ELECTRICAL CONTRACTOR AND THE GENERAL CONTRACTOR FOR RING INSTALLATION IS RE-QUIRED. NO "GOOF" RINGS WILL BE ALLOWED. ALL OUTLET BOXES SHALL BE SECURELY FASTENED. ANY AND ALL IMPROPERLY INSTALLED PLASTER RINGS OR OUTLET BOXES SHALL BE REMOVED AND A NEW RING OR OUTLET INSTALLED AT THE CONTRACTOR'S
- 31. FOR TELELPHONE SYSTEMS: PROVIDE GROUNDING FOR ALL TELEPHONE OUTLETS AND
- EQUIPMENT PER REQUIREMENTS OF THE TELEPHONE COMPANY. COORDINATE INSTALLATION OF ALL TELEPHONE OUTLETS,
- RACEWAYS, ENCLOSURES AND BACKBOARDS WITH TELE. CO. VERIFY LOCATION OF TELEPHONE SERVICE WITH TELEPHONE COMPANY. PROVIDE SERVICE CONDUIT TO BLDG. FROM SERVICE POINT PER TELCO
- D. MARK TERMINATIONS OF TELEPHONE CONDUIT AS DIRECTED BY
- THE TELEPHONE COMPANY. E. VERIFY LOCATION OF TELEPHONE SERVICE WITH TELEPHONE COMPANY PRIOR TO SUBMITTING BID.
- F. USE EXTERIOR GRADE 3/4" PLYWOOD BACKBOARDS FOR MOUNTING TELEPHONE EQUIPMENT AND TERMINAL STRIPS. PAINT BOARD ON ALL SIDES AND EDGES WITH TWO COATS OF FLAT BLACK ASPHALT PAINT.
- 32. FOR EMERGENCY EXIT SIGNS AND EMERGENCY BATTERY PACKS MAKE
- CONNECTION AHEAD OF ALL SWITCHES. 33. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR AREAS BEING DEMOLISHED, VISIT THE SITE AND INCLUDE ALL NECESSARY MATERIAL AND LABOR TO PERFORM THE REQUIRED DEMOLITION.
- 34. ELECTRICAL CONTRACTOR SHALL VISIT JOB SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING ELECTRICAL, FIRE ALARM AND COMMUTATIONS INSTALLATIONS AND MAKE PROVISIONS AS TO THE COST THEREOF. EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC... THAT ARE PART OF THE FINAL SYSTEM SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO
- ELECTRICAL DRAWINGS ARE SCHEMATIC. ALL DEVICES FINAL LOCATION SHALL BE COORDINATED IN THE FIELD. NO CHANGE ORDERS WILL BE ALLOWED DUE TO EQUIPMENT RELOCATION PER FIELD CONDITIONS. ALL INSTALLATIONS SHALL BE COORDINATED WITH ALL TRADES INCLUDING BUT NOT LIMITED TO STRUCTURAL AND ARCHITECTURAL PRIOR TO PERFORMING ANY WORK.
- 36. CONDUCTORS FOR BRANCH CIRCUITS SHALL BE SIZED TO PREVENT VOLTAGE DROP EXCEEDING 3 PERCENT AT THE FARTHEST OUTLET OF POWER. WHERE VOLTAGE DROP IS DETERMINED TO EXCEED THIS VALUE THE CONTRACTOR SHALL
- INCREASE THE SIZE OF CONDUCTORS AS REQUIRED. 37. THE CONTRACTOR SHALL CONFIRM WITH THE ELECTRICAL UTILITY COMPANY ANY AND ALL REQUIREMENTS SUCH AS: METERING EQUIPMENT REQUIREMENTS AND METERING EQUIPMENT LOCATION, TRANSFORMER SIZE AND LOCATION OR SERVICE POINT. CONDUIT ENTRY AND LUG SIZE RESTRICTIONS. THE CONTRACTOR SHALL

SCHEDULE ALL REQUIRED DOWN TIME FOR THE OWNERS CONFIRMATION.

- 38. PROVIDE J-BOX WITH 3/4" STUB UPS INSIDE CONCEALED WALLS. CONTRACTOR SHALL COORDINATE WITH MECHANICAL DRAWINGS AND PROVIDE ALL NECESSARY
- 39. ALL ELECTRICAL POWER WIRING FOR THE HVAC SYSTEM INCLUDING WIRING THRU LINE VOLTAGE CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE

SHOP DRAWING REQUIREMENTS

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS. THEY SHALL BE SUBMITTED COMPLETE, TOGETHER AT ONE TIME AND MUST COME THROUGH THE ARCHITECT/OWNER. ALL SUBMITTALS SHALL BE MADE WITHIN 30 DAYS OF NOTICE TO PROCEED.
- ALL SUBMITTALS MUST CLEARLY INDICATE EXACTLY WHICH ITEMS ARE BEING PROPOSED FOR USE. IF NOT, THE SUBMITTAL SHALL BE REJECTED.
- THE CONTRACTOR ASSUMES ALL DESIGN RESPONSIBILITY AND ALL FINANCIAL RISKS FOR PROCEEDING PRIOR TO SHOP DRAWINGS PROCESSING, AND ON ANY ITEM OR WORK THAT IS AT VARIANCE TO THE CONSTRUCTION
- SHOP DRAWINGS AND SUBMITTALS FOR EACH ITEM SHALL BE REVIEWED NO MORE THAN TWICE. A THIRD SUBMITTAL ON AN ITEM MUST BE ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR OR IT SHALL BE REJECTED.
- CIRCUMSTANCES NECESSITATING A REVISION TO THE PERMITTED DOCUMENTS NOT PROCESSED PRIOR TO INSTALLATION MAY NOT BE ACCEPTED. IF ACCEPTED IT MUST BE LEGIBLE, ACCURATE AND ACCOMPANIED BY A PURCHASE ORDER ORDER FROM THE CONTRACTOR. THE REVISION SHALL BE CHARGED TO THE CONTRACTOR AND DELIVERED TO HIM ON A C.O.D. BASIS.
- SUBSTITUTIONS FROM THE BASE DESIGN OR VARIATIONS TO THE PERMITTED CONTRACT DOCUMENTS, WHETHER RESULTING FROM PROCESSED SHOP DRAWINGS OR NOT, THAT RESULT IN REQUIREMENTS IN LETTERS OF AUTHORIZATION AND/OR PERMIT CONTRACT DOCUMENT CHANGES MANDATED BY THE AUTHORITY HAVING JURISDICTION WILL NOT BE MADE BY THIS OFFICE UNLESS ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR, AND RELEASED ON A C.O.D. BASIS.

ELECTRICAL LEGENID

	ELECTRICAL LEGEND	
Ф	120V, 20A DUPLEX RECEPTACLE	18" A
Φ	120V, 20A SIMPLEX RECEPTACLE	18" A
 	120V, 20A QUADRAPLEX RECEPTACLE	18" A
₩	120V, 20A ABOVE COUNTER DUPLEX RECEPTACLE	6" AB
\blacksquare	120V, 20A ISOLATED GROUND DUPLEX RECEPTACLE	18" A
Φ	120V, 20A DUPLEX RECEPTACLE — CEILING MOUNTED	
0	120V, FLUSH FLOOR MOUNT DUPLEX WITH FLEX POWER WHIP AND BLACK METAL COVER PLATE	FLUSH FLOOR
•	SPECIAL PURPOSE RECEPTACLE (TYPE AS NOTED ON PLAN)	18" A
Φ	120V, 20A, HALF SWITCHED DUPLEX RECPT	18" A
7	120V, 20A FLUSH FLOOR MOUNT DUPLEX RECEPTACLE/DATA	FLUSH FLOOR
∇	DATA OUTLET WITH PLATE	
4	COMBINATION TELEPHONE/DATA OUTLET WITH PLATE	18" A
₩W	TELEPHONE WALL OUTLET WITH PLATE	54" A
\blacktriangledown	FLUSH FLOOR MOUNT TELEPHONE/DATA OUTLET WITH FLEX POWER WHIP AND BLACK METAL COVER PLATE	FLUSH FLOOR
<u> </u>	JUNCTION BOX	18" A
,,O	JUNCTION BOX FOR TEL/DATA CABLES	
_{T/0} ○ ■	ELECTRICAL PANELBOARD	
	FUSIBLE DISCONNECT SWITCH (POLE/AMP RATING/FUSE	
3 ¹⁰⁰	FUSIBLE DISCONNECT SWITCH	
*	FUSE AS PER MANUFACTURERS RECOMENDATIONS	
	MOTOR	
T	TRANSFORMER	
	GROUNDING ELECTRODE & CONDUCTOR SYSTEM EXIT LIGHT FIXTURE WITH BATTERY PACK	
4	EMERGENCY LIGHT FIXTURE WITH BATTERY PACK	
X	FIRE ALARM STROBE LIGHT	

- DENOTES EXISTING TO REMAIN. R - DENOTES RELOCATED DEVICE. CONTRACTOR SHALL EXTEND CONDUIT AND WIRE AS NEEDED FOR A COMPLETE WORKING SYSTEM.
- DENOTES NEW DEVICE. - DENOTES REMOVE EXISTING DEVICE. DENOTES EXISTING TO BE RELOCATED.
- DENOTES NIGHT LIGHTS CLG - DENOTES CEILING MOUNTED

NOTE 1: NOT ALL DEVICES LISTED ARE USED ON THIS PLAN NOTE 2: COLOR BY ARCHITECT

- RESTROOMS

SCOPE OF WORK

- · CONTRACTOR TO RENOVATE EXISTING COMMON AREA
- 2. CONTRACTOR TO REPLACE ALL LIGHT FIXTURES WITH NEW AS SHOWN ON PLANS FOR PROPER OPERATION.

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SWA-PBC

MAINTENANCE

FACILITY

LOCKER ROOM

561-655-2423

561-655-1482

07/14/2016 S+A Project No: 16003

Phase :

Checked By

Sheet Title:

NOTES, DETAILS AND RISER DIAGRAM

BID SET

Sheet #:

LIGHTING FIXTURE SCHEDULE LAMP/LUMEN WATTS TOTAL WATTS VOLT REMARKS QUANTITY SYMBOL **DESCRIPTION** MOUNT MANUF. CATALOG 1X4 LENSED STATIC RECESS S32W3450L TEXAS FL FI#128-A-14L-S323450-DMV-40K 277 TROFFER 277 20 LED DOWNLIGHT RECESS 15W/A-19 LED LITE LINE #RF60ICAT/RTM-6020S 20 \$ B 277 50 EMERGENCY LIGHT SURFACE LED EELP EM16-E-LP-12-25 25 277 EXIT LIGHT SURFACE LED EELP 1,2 XE-2R-W-EM TOTAL 167

DESIG

В

ALL FLUORESCENT LUMINARIES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLASTS THAT CAN BE SERVICED IN PLACE SHALL HAVE A DISCONNECTING MEANS INTERNALLY AS PER

2008 NEC 410.130G.

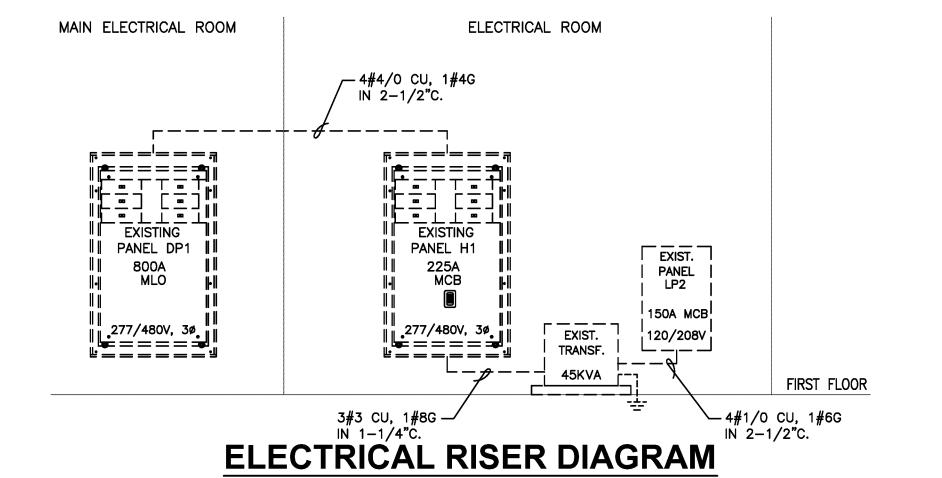
NOTE 1: PROVIDE SUBMITTALS FOR ARCHITECTS/TENANTS REVIEW PRIOR TO ORDERING.

NOTE 2: CONFIRM COLOR AND SIDES REQUIRED WITH ARCHITECTURAL DRAWINGS

NOTE 3: HALF SHADE FIXTURE DENOTED WITH 1400 LUMEN EMERGENCY BATTERY PACK. NOTE 4: PROVIDE FIXTURE WITH OCCUPANCY SENSOR. SET SENSOR TO TURN LIGHT OFF AFTER 10 MINS.

NOTE 5: CHAIN HUNG MOUNT @ 10'-0" A.F.F. *** GENERAL CONTRACTOR TO VERIFY QUANTITY OF LIGHT FIXTURES PRIOR TO BIDDING.

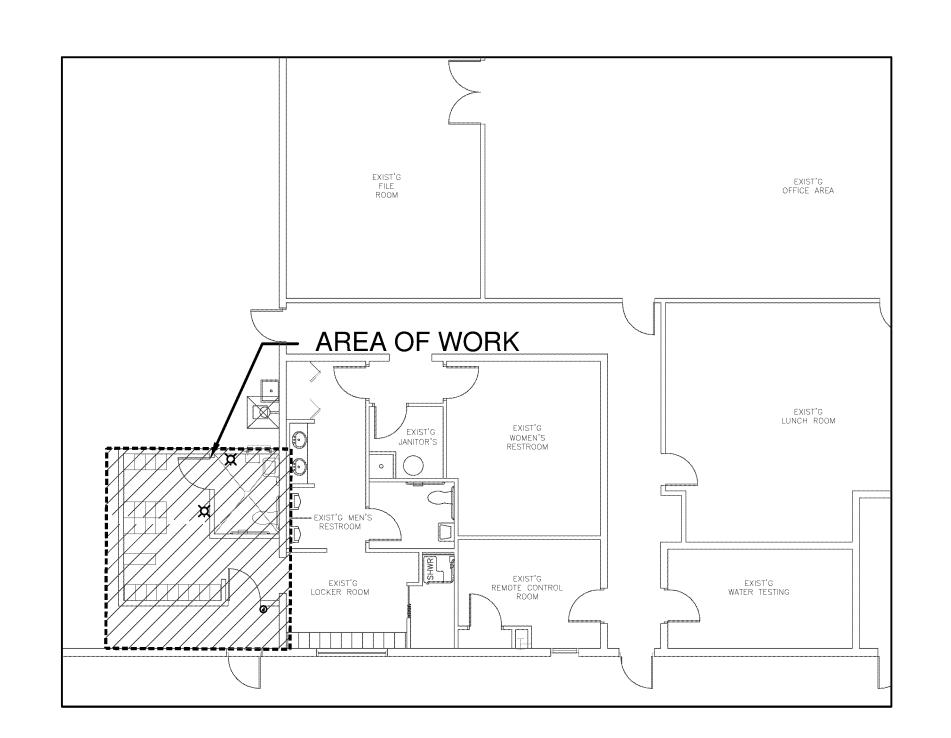
EXTEND #12 WIRE IN 1/2"C TO NEAREST LIGHTING BRANCH (\$ 6) CIRCUIT AHEAD OF SWITCH.



---- EXISTING TO REMAIN — NEW CONSTRUCTION

SCALE: NTS

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LOCATION PLAN

SCALE: N.T.S

	KVA	42 TRIP	WIRE	GRD	CON	NEMA 1 (EXI	STIN		скт.	ROOM NORMAL REMARKS	CON		I.C./SCA	TRIP POLE	10K KVA	
		POLE			DUIT		NO.	<u> </u>	NO.		DUIT	_			 	
	1.8	20-2	E	E	E	EX. AHU-3	1	A	2	RECEPTION REC	E	Е	E	30-2	5.8	
			-		_	<u> </u>	3	В	4	 	<u> </u>				+	_
	8.0	20-1	E	E	E	EX. EXH FAN 2	5	С	6	OFFICE REC	E	E	E	20-2	4.4	
	8.0	20-1	E	E	E	EX. EXH FAN 3	7	A	8	–					 	
	0.8	20-1	E	E	E	EX. EXH FAN 4	9	В	10	DRAFTING REC	E	E	E	20-2	4.4	
	9.5	20-1	E	E	E	EX. A/C	11	С	12	-	<u> </u>					
						<u> </u>	13	Α	14	OFFICE REC	E	E	E	20-2	4.4	
	1.0	20-1	E	E	E	EX. REC WATER FOUTAIN	15	В	16	_						
_	1.2	20-1	E	E	E	EX. REC RM 118	17	С	18	UNDER MEZZANINE REC	E	E	E	20-2	4.4	
	1.2	20-1	E	E	E	EX. REC RM 118	19	Α	20	<u> </u>						
	0.6	20-1	12	12	1/2	REC RESTROOMS	21	В	22	REC WAREHOUSE	1/2	12	12	20-1	1.0	\cup
	8.0	20-1	E	E	E	EX. REC STOR RM 120	23	С	24	SPARE				20-1	<u> </u>	
	8.0	20-3	E	E	E	EX. REC STOR RM 119	25	Α	26	SPARE				20-1		
	0.8	20-1	E	E	E	EX. REC STOR RM 120	27	В	28	SPARE				20-1		
		20-1				SPARE	29	С	30	SPARE				20-1		
		20-1				SPARE	31	Α	32	SPARE				20-1		
		20-1				SPARE	33	В	34	SPARE				20-1		
		20-1				SPARE	35	С	36	SPARE				20-1		
		20-1				SPARE	37	Α	38	SPARE				20-1		
		20-1				SPARE	39	В	40	SPARE				20-1		
		20-1				SPARE	41	С	42	SPARE				20-1		
	20.1		TC)TAI	CONI	NECTED LOAD = 44.5	KVA			TOTAL CONNECTED) AMF	PS: 1	23.6		24.4	

	ELECTRICAL KEYNOTES
1	CONTRACTOR SHALL EXTEND 2#12,1#12G IN 1/2"C TO EXISTING LIGHTING CIRCUIT (DP-1) IN AREA INDICATED. SWITCH AS INDICATED. (LOAD INCREASE 177W)
2	EXISTING LIGHT ABOVE LOCKER ROOM.
3	NO WORK IN THIS AREA



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SWA-PBC MAINTENANCE FACILITY LOCKER ROOM



6527 N. Jog Road West Palm Beach, FL 33412

Key Plan:

Revisions:

Date: 07/14/2010
S+A Project No: 16003
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Checked By:

Phase :

BID SET

Sheet Title :

ELECTRICAL FLOOR PLAN AND PANEL SCHEDULE

Sheet #:

E-2

