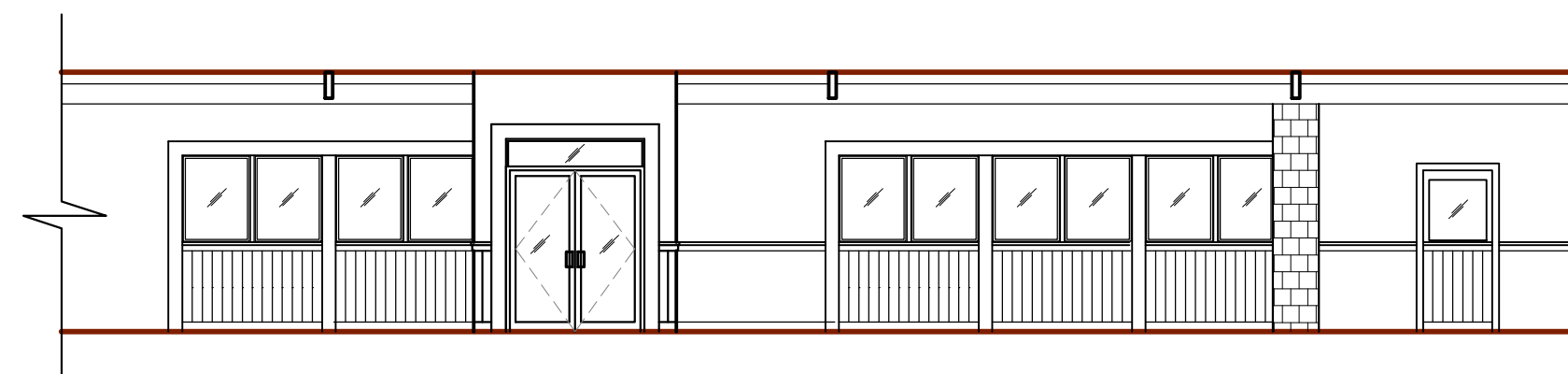
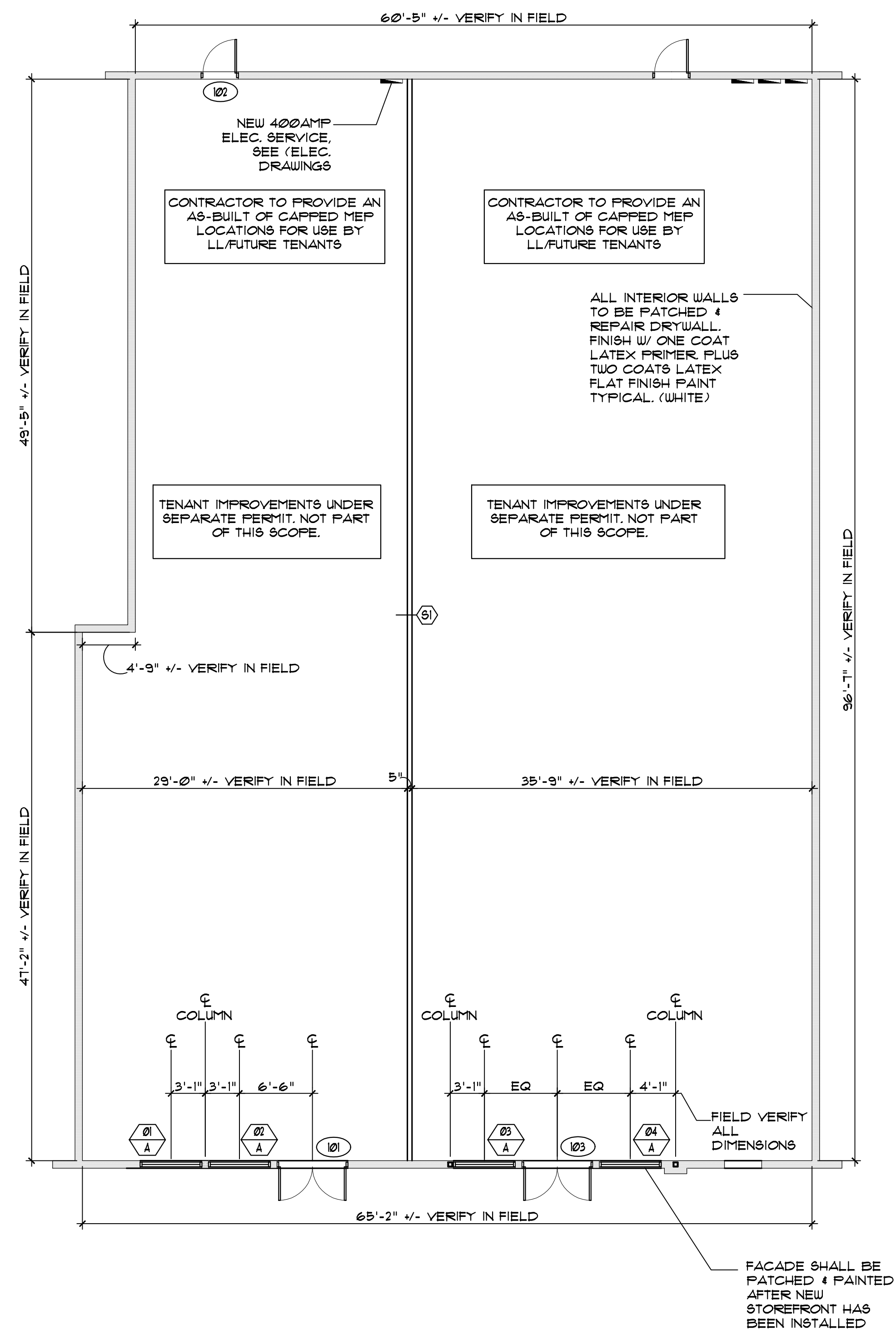


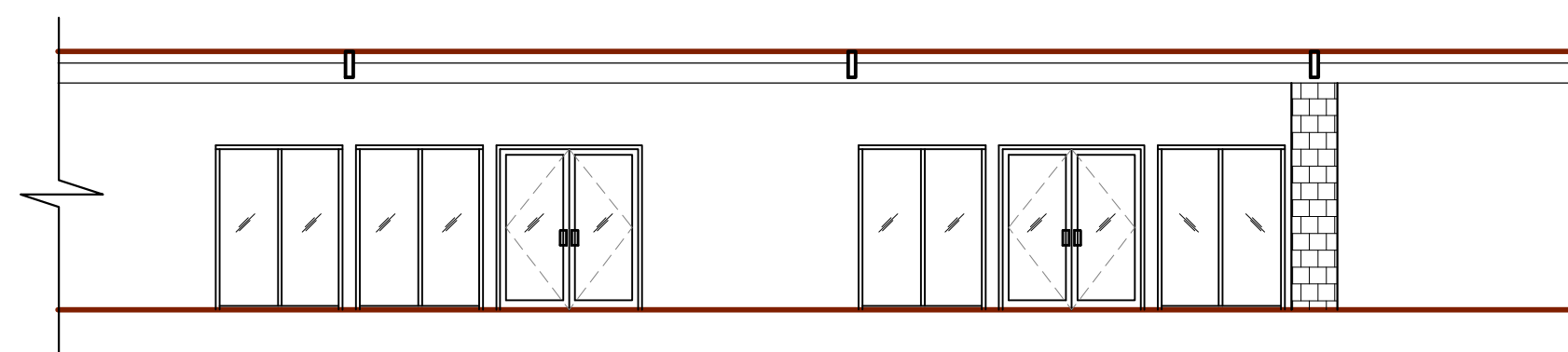
1 DEMOLITION PLAN  
1/8" = 1'-0"



3 EXISTING ELEVATION  
1/8" = 1'-0"



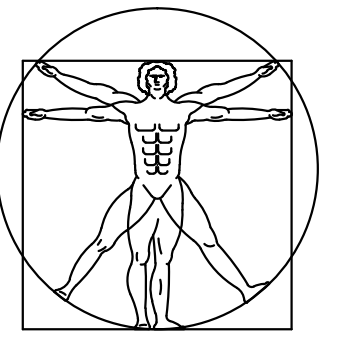
2 FLOOR PLAN  
1/8" = 1'-0"



4 PROPOSED ELEVATION  
1/8" = 1'-0"

BUILDING CODE ANALYSIS	
TYPE OF CONSTRUCTION: II-B OCCUPANCY CLASSIFICATION: A-2 STORY: 1 SPRINKLER SYSTEM: YES (EXISTING)	
EXISTING FLOOR PLAN - SYMBOL LEGEND	
	EXISTING WALL OR PARTITION TO REMAIN
	EXISTING CONDITION TO REMAIN
	TO BE REMOVED, UNO, TYPICAL
SELECTIVE DEMOLITION NOTES	
1. EXISTING STRUCTURE TO REMAIN, UNLESS NOTED OTHERWISE.	
2. MAINTAIN FIRE RATING AT ALL DEMISING WALLS.	
DEMOLITION PLAN - KEY NOTES	
1	REMOVE STUD WALL AS INDICATED.
2	REMOVE DOOR / FRAME / TRIM
3	REMOVE ALL MILLWORK (CABINETS, SHELVES, BUILT-INS, ETC.)
4	REMOVE EXISTING FLOOR FINISH & BASEBOARDS. PATCH & REPAIR CONCRETE FLOOR FOR NEW FINISH.
5	REMOVE EXISTING CEILING ASSEMBLY (INCLUDING SOFFITS / CROWN MOLDING / TRIM). CONTRACTOR TO PROTECT EXIST. FIRE SPRINKLERS. PATCH AND REPAIR ADJACENT SURFACES AS REQUIRED.
6	REMOVE ALL LIGHT FIXTURES.
7	REMOVE ALL MECHANICAL DUCTWORK & EQUIPMENT.
8	REMOVE ALL PLUMBING & GAS FIXTURES & CAP PIPES UNDER SLAB.
9	REMOVE ALL ELECTRICAL FIXTURES, COMPONENTS, PIPING, & WIRES. EXISTING PANELS & MAIN PANEL FEED TO REMAIN.
10	EXISTING WINDOWS & STOREFRONT DOORS TO BE REMOVED.
11	REMOVE ALL KITCHEN EQUIPMENT.
12	REMOVE ALL MISC. FINISHES.
13	REMOVE ALL FINISHES FROM EXISTING DEMISING WALLS. WALLS TO BE PATCHED & REPAIRED AS NEEDED TO MAINTAIN EXISTING FIRE RATING.
14	EXTERIOR WALLS TO BE REMOVED.
51	TYPICAL STUD PARTITION: ONE LAYER OF TYPE X 5/8" GYPSUM BOARD ON BOTH SIDES OF 3-5/8" 25 GA METAL STUDS AT 16" OC. PROVIDE INSULATION BETWEEN STUDS. WALLS TO BE UP TO UNDERSIDE OF STRUCTURE

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REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE 10-20-2016

SCALE 1/8"=1'-0"

DRAWN BC

CHECKED MHA/REG

REG No. 16020

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DEMOLITION &  
FLOOR PLAN

AD-1.01