

City of Boynton Beach

Hester Comm. Ctr.- Misc. Improvements

1901 North Seacrest Blvd.

Boynton Beach, Florida 33435



DRAWING LIST

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CODE INFORMATION:

PROJECT LOCATION: CITY OF BOYNTON BEACH
 PERMITTING AGENCY: CITY OF BOYNTON BEACH

APPLICABLE CODES: - FLORIDA BUILDING CODE, 2014
 - FLORIDA EXISTING BUILDING CODE, 2014

CLASSIFICATION OF WORK: - ALTERATION LEVEL I

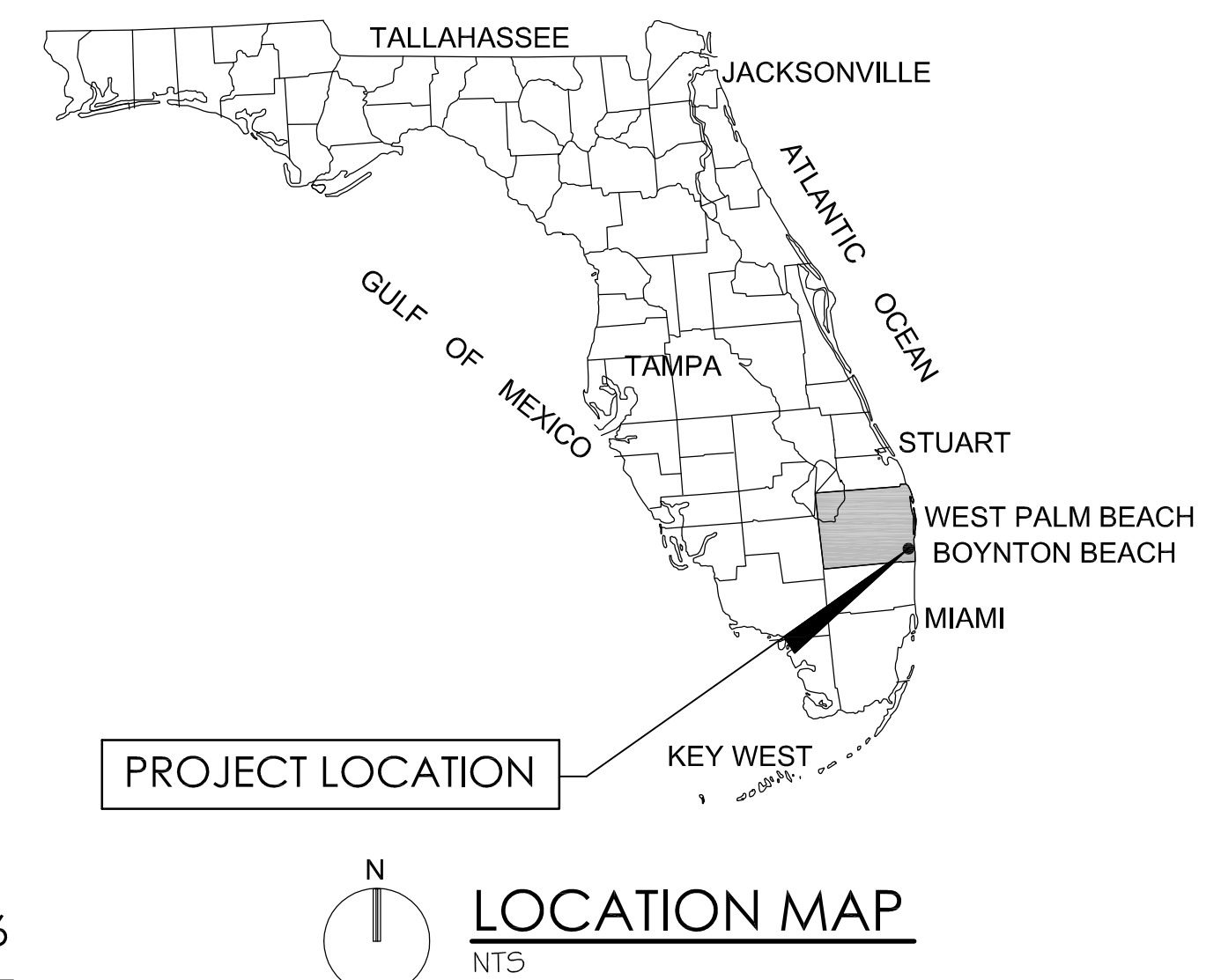
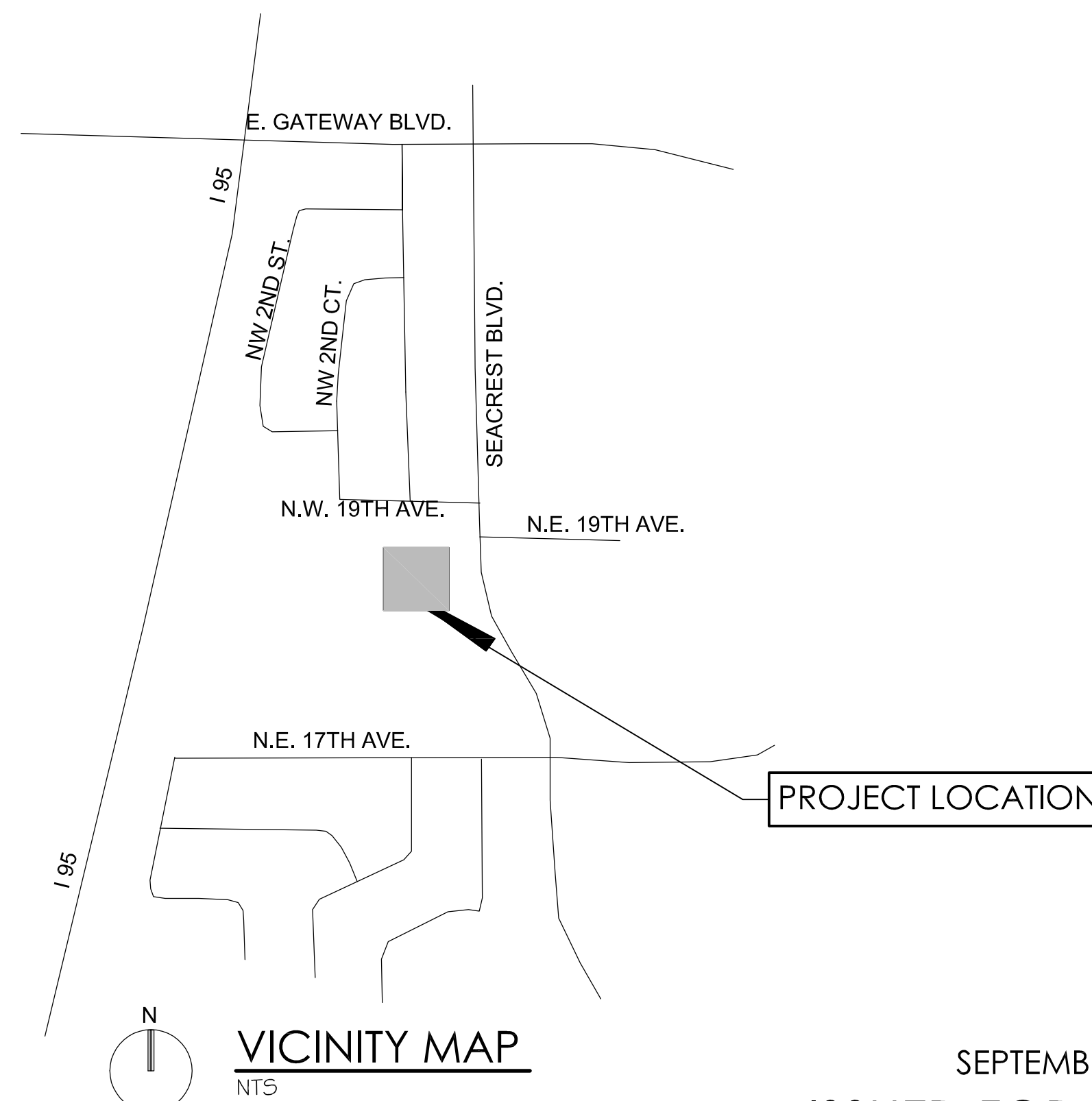
BUILDING CODE DESIGN CONCEPT:

THE SCOPE OF WORK FOR THIS PROJECT CONSISTS OF THE REPLACEMENT OF EXISTING LEAKING STOREFRONT WINDOWS, REPAIR OF DAMAGED WALLS/ CEILING AND RESOLVING ROOF LEAK AT INTERNAL GUTTER AT THE LOBBY AREA OF THE HESTER CENTER COMMUNITY CENTER.

THERE IS NO CHANGE TO OCCUPANCY TYPE OR CONSTRUCTION CLASSIFICATION. THERE IS NO CHANGE IN BUILDING FOOT PRINT OR INCREASE IN HEAT LOAD.

CITY OFFICIALS

STEVEN B. GRANT	MAYOR
MACK McCRAY	VICE-MAYOR
JUSTIN KATZ	COMMISSIONER
CHRISTINA ROMELUS	COMMISSIONER
JOE CASELLO	COMMISSIONER
LORI LaVERRIERE	CITY MANAGER

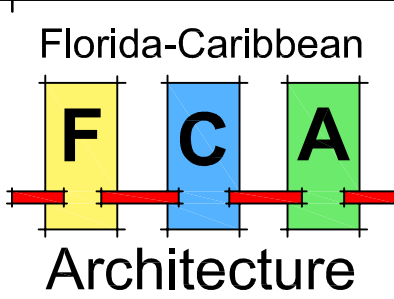


SEPTEMBER 2, 2016
 ISSUED FOR PERMIT

SEAL	BY	APVD
	REVISION	
		DATE
	NO.	

CITY OF BOYNTON BEACH
 HESTER COMMUNITY CENTER, BOYNTON BEACH, FL
 MISCELLANEOUS IMPROVEMENTS

COVER SHEET



7 Erwood Place
 Boynton Beach, FL 33426
 (561) 308 6694
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DSGN	
DRWN	
APVD	
PROJ	16-112
DATE	SEPTEMBER 2, 2016
DWG	G-001

ABBREVIATIONS

ABV	ABOVE	GA	GAUGE	QTY	QUANTITY
ACT	ACOUSTICAL CEILING TILE	GALV	GALVANIZED		
ADJ	ADJUSTABLE	GC	GENERAL CONTRACTOR	R	RADIUS
AFF	ABOVE FINISH FLOOR	GI	GRATE INLET	RB	RUBBER BASE
ALUM	ALUMINUM	GL	GLASS	RCP	REINFORCED CONCRETE PIPE
ANOD	ANODIZED	GLAZ	GLAZING	RD	ROOF DRAIN
ARCH	ARCHITECTURAL	GYP	GYPSPUM	REF	REFERENCE
		GWB	GYPSPUM WALL BOARD	REINF	REINFORCING
BD	BOARD			REQD	REQUIRED
BLDG	BUILDING	HC	HANDICAP	REV	REVISION/REVISE
BO	BOTTOM OF	HM	HOLLOW METAL	RM	ROOM
BOTT	BOTTOM	HOR	HORIZONTAL	RO	ROUGH OPENING
		HPT	HIGH POINT	RUB	RUBBER
CAB	CABINET	HR	HOUR	RWL	RAIN WATER LEADER
CBP	CUSTOMS AND BORDER PROTECTION	HS	HARDWARE SET		
		HT	HEIGHT	SCHED	SCHEDULE
CJ	CURB INLET	HVAC	HEATING, VENTILATING, & AIR CONDITIONING	SCW	SOLID-CORE WOOD
CI	CONTROL JOINT			SECT	SECTION
CL	CENTER LINE			SF	SQUARE FEET
CLG	CEILING	INSUL	INSULATION	SFRM	SPRAY-APPLIED
CLO	CLOSET	IRWC	IMPACT RESISTANT WALL COVERING		FIRE RESISTIVE MATERIAL
CLR	CLEAR			SHT	SHEET
CMU	CONCRETE MASONRY UNIT			SHWR	SHOWER
CONC	CONCRETE	JAN	JANITOR	SIM	SIMILAR
CONST	CONSTRUCTION	JT	JOINT	SPEC	SPECIFIED/SPECIFICATION
CONT	CONTINUOUS			SS	STAINLESS STEEL
CONTR	CONTRACTOR			STD	STANDARD
COORD	COORDINATE	LP	LIGHT POLE	STL	STEEL
CT	CERAMIC TILE	LPT	LOW POINT	STOR	STORAGE
		LSG	LAMINATED SAFETY GLASS	STRUCT	STRUCTURAL
		LTG	LIGHTING	SUSP	SUSPENDED
				SW	SIDE WALK
DET	DETAIL				
DETN	DETENTION	MATL	MATERIAL	TCA	TILE COUNCIL OF AMERICA
DIA	DIAMETER	MAX	MAXIMUM	TEL	TELEPHONE
DIM	DIMENSION	MECHMECHANICAL		TELE	TELEPHONE BOX
DN	DOWN	MEP	MECHANICAL, ELECTRICAL, PLUMBING	TLT	TOILET
DR	DOOR			T.O.	TOP OF
DS	DOWNSPOUT	MFR	MANUFACTURER	TOB	TOP OF BEAM
DWG(S)	DRAWING(S)	MIN	MINIMUM	TRANS	TRANSFORMER
		MISC	MISCELLANEOUS	TYP	TYPICAL
		MO	MASONRY OPENING		
EA	EACH	MR	MOISTURE RESISTANT		
EJ	EXPANSION JOINT	MTD	MOUNTED	UCR	UNDERCOUNTER REFRIGERATOR
EL	ELEVATION	MTL	METAL	U.N.O.	UNLESS NOTED OTHERWISE
ELEC	ELECTRICAL / ELECTRIC				
ELEV	ELEVATOR				
EQ	EQUAL	NIC	NOT IN CONTRACT		
EQUIP	EQUIPMENT	NO/NBR	NUMBER	VB	VINYL BASE
ETC	ET CETERA	NOA	MIAMI-DADE NOTICE OF ACCEPTANCE	VCT	VINYL COMPOSITION TILE
EW	ELECTRIC WATER COOLER			VERT	VERTICAL
EXP	EXPOSED	NTS	NOT TO SCALE	VEST	VESTIBULE
EXPN	EXPANSION			VIF	VERIFY IN FIELD
EXT	EXTERIOR	OC	ON CENTER	VIN	VINYL
		OCC	OCCUPANT	VTR	VENT THROUGH ROOF
FD	FLOOR DRAIN	OD	OVERFLOW DRAIN		
FE	FIRE EXTINGUISHER	OPNG	OPENING	W	WITH
FEC	FIRE EXTINGUISHER CABINET	OPP	OPPOSITE	W/O	WITHOUT
FF	FINISH FLOOR			WD	WOOD
FFE	FIRST FLOOR ELEVATION	PJF	PREMOLDED JOINT FILLER	WIN	WINDOW
FH	FIRE HYDRANT	PL	PLATE	WR	WATER RESISTANT
FHC	FIRE HOSE CABINET	P LAM	PLASTIC LAMINATE	WM	WATER METER
FIN	FINISH	PLYWD	PLYWOOD	WV	WATER VALVE
FLR	FLOOR	PNL	PANEL	WWF	WELDED WIRE FABRIC
FM	FACTORY MUTUAL	POR	PORCELAIN TILE		
FPA	FLORIDA PRODUCT APPROVAL	PP	POWER POLE		
FRP	FIBER-REINFORCED PLASTIC	PR	PAIR		
FRT	FIRE RETARDANT TREATED	PREFAB	PREFABRICATED		
FT	FOOT / FEET	PT	PRESSURE TREATED		
		PTD	PAINTED		
		PTN	PARTITION		
		PVC	POLYVINYL CHLORIDE		

NOTE: SEE ROOM FINISH SCHEDULE AND ABBREVIATIONS FOR ROOM NAME ABBREVIATIONS.

GENERAL NOTES

GENERAL DEMOLITION NOTES:

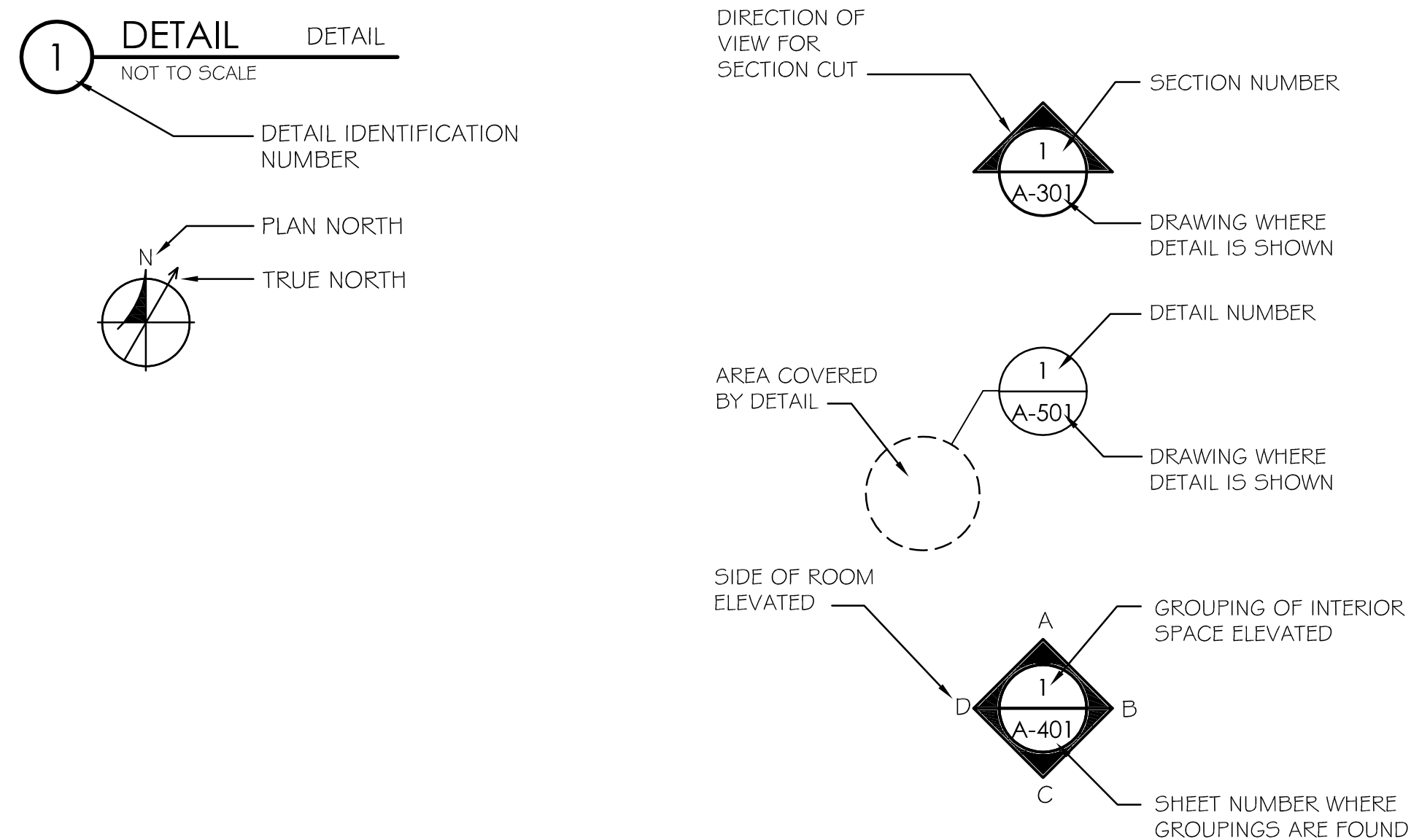
- THE EXACT CONFIGURATIONS AND DIMENSIONS OF THE EXISTING CONSTRUCTION AS DESCRIBED BY THESE DRAWINGS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO SUBMITTING A BID, OR THE COMMENCEMENT OF ANY CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING PIPING, DUCTS, CONDUIT, ETC INSIDE WALLS, CEILING, OR, WHERE NECESSARY, CONCEALED BY EXISTING CONSTRUCTION AS DESCRIBED IN THESE PLANS.
- ALL DEMOLITION AND REMOVALS ARE TO BE COORDINATED WITH EACH TRADE TO ENSURE THE CONTINUITY OF ALL SERVICES TO THE FACILITY. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION DRAWINGS TO ENSURE THAT NO ITEMS OR SERVICES WHICH ARE TO REMAIN ARE DISTURBED.
- THE CONTRACTOR SHALL SECURE AND PAY FOR DEMOLITION PERMITS REQUIRED FOR APPROVALS PRIOR TO ANY DEMOLITION; AND SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL, AND SUBSEQUENT OFFSITE DISPOSAL (OR STORAGE) OF ALL ITEMS WITHIN THE PROJECT AREA.
- THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE OWNER AND COMPLY WITH THE OWNER'S GENERAL PROVISIONS.
- THE CONTRACTOR SHALL COORDINATE THE DUMPSTER LOCATION WITH THE OWNER.
- THE CONTRACTOR SHALL PROTECT ADJACENT WALKS, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING THE DEMOLITION PROCESS AND REPAIR ALL DAMAGED AREAS TO ORIGINAL CONDITION WITH NEW TO MATCH EXISTING.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE SITE IN A SAFE AND CLEAN CONDITION DURING THE DEMOLITION.
- ANY INTERRUPTIONS TO BUILDING UTILITIES SHALL BE CLEARED WITH THE OWNER 72 HOURS PRIOR TO PROPOSED INTERRUPTION. ALL SERVICES AND UTILITIES TO EXISTING FACILITY SHALL BE MAINTAINED IN FULL OPERATIONAL CONDITION.
- REMOVE ALL EXISTING DUCTWORK, ELECTRICAL WIRING/CONDUIT, PLUMBING LINES, FIXTURES, ETC NO LONGER IN SERVICE IN THE DEMOLITION AREA AS PER CODE REQUIREMENTS.
- EXISTING FIRE SUPPRESSION SYSTEM AND LIFE SAFETY SYSTEMS AS REQUIRED BY CODE SHALL REMAIN IN FULL OPERATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO RESTORE WORK WHICH HAS BEEN CUT OR REMOVED FROM ITS ORIGINAL CONDITION THAT IS INDICATED TO REMAIN. ALL ADJACENT EXISTING WORK IN PLACE SHALL BE PROTECTED FROM DAMAGE DUE TO ANY NEW CONSTRUCTION AND/OR REPLACED/REPAIRED TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL MAINTAIN SUPERVISION ON SITE WHENEVER WORK IS BEING PERFORMED.
- THE CONTRACTOR SHALL WARRANT AND GUARANTEE ALL WORK, EQUIPMENT, DOORS, HARDWARE, ETC FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AS ESTABLISHED BY OWNER/ ARCHITECT.
- THE CONTRACTOR SHALL REMOVE ALL COMPONENTS OF ROOFING DOWN TO THE EXISTING CONCRETE AND HVAC EQUIPMENT AS INDICATED ON THE DRAWINGS. PATCH EXISTING CONCRETE TO PROVIDE A CLEAN SMOOTH SLAB READY FOR NEW ROOFING. ALL GRINDING AND FLOATING OF ROOF TOP CONCRETE TO BE INCLUDED.
- CONTRACTOR TO REMOVE AND REPLACE EXISTING CONSTRUCTION AS NECESSARY TO ACCOMMODATE DEMOLITION BY ANY TRADE. CONSTRUCTION SHALL INCLUDE ALL TRADES, WHETHER WITHIN THE DESIGNATED AREA OF DEMOLITION OR NOT, I.E. CEILINGS, PARTITIONS, EQUIPMENT, ETC.
- THE CONTRACTOR TO PROVIDE DUST PROTECTION AT POINTS OF DEMOLITION AND SHALL COOPERATE WITH THE FACILITY TO MINIMIZE INTERRUPTION TO THEIR OPERATIONS.

GENERAL CONSTRUCTION NOTES:

- SCOPE OF WORK ON THIS PROJECT WILL BE FOR THE REPLACEMENT OF EXISTING STOREFRONT WINDOWS AND DOORS, REPAIR OF DAMAGED WALLS/ CEILING AND RESOLVING ROOF LEAK AT INTERNAL GUTTER AT THE LOBBY OF THE HESTER COMMUNITY CENTER.
- THE CONTRACTOR SHALL EXAMINE THE DRAWINGS CAREFULLY AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY ERROR OR INCONSISTENCY.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL REMOVE ALL HIS WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS HIS TOOLS, MACHINERY AND SURPLUS MATERIALS.
- ALL NEW CONSTRUCTION, LABOR, MATERIALS AND INSTALLATIONS MUST COMPLY WITH APPLICABLE CODES, RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCY WHICH EXISTS BETWEEN THE REQUIREMENTS OF THE PLANS, SPECIFICATIONS AND SAID CODES, RULES AND REGULATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR RESOLUTION.
- MAINTAIN EXISTING FINISHES TO REMAIN IN GOOD AND CLEAN CONDITION. ALL EXISTING SURFACES TO REMAIN SHALL BE PREPARED TO RECEIVE NEW FINISHES, TYPICAL THROUGHOUT.
- REPAIR AND REFINISH EXISTING OR DISTURBED PARTITIONS TO NEW CONDITION.
- CONTRACTOR SHALL SUBMIT TO THE OWNER A SCHEDULE FOR THE COMPLETION OF THE WORK.
- INSTALL ALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS UNLESS OTHERWISE SHOWN OR DIRECTED.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR THE OWNER'S REVIEW FOR ALL NEW CONSTRUCTION ASSEMBLIES.
- ARCHITECTURAL DRAWINGS SHALL SUPERSEDE ENGINEERING DRAWINGS IN ALL MATTERS PERTAINING TO LAYOUT.
- ALL PENETRATIONS/OPENINGS IN RATED PARTITIONS SHALL BE FIRE-CAULKED TO MAINTAIN FIRE RATING, TYPICAL THROUGHOUT.
- THE CONTRACTOR SHALL SURVEY AND INSPECT ALL EXISTING FINISHED SURFACES SCHEDULED TO REMAIN OR TO RECEIVE NEW FINISHES. ANY/ALL DEFECTIVE SURFACES, INCLUDING CRACKS, CHIPS, LOOSE MATERIAL, ETC. SHALL BE REPAIRED/REFINISHED TO NEW CONDITION OR TO SUITABLE CONDITION TO RECEIVE NEW FINISHES.
- CONTRACTOR SHALL CLEAN AND PREPARE ALL EXISTING DISTURBED SURFACES (WALLS, FLOORS, ETC.) TO RECEIVE NEW FINISH TO MATCH EXISTING - TYPICAL THROUGHOUT.
- CONTRACTOR TO REMOVE AND REPLACE EXISTING CONSTRUCTION AS NECESSARY TO ACCOMMODATE NEW WORK BY ANY TRADE. CONSTRUCTION SHALL INCLUDE ALL TRADES, WHETHER WITHIN THE DESIGNATED AREA OF CONSTRUCTION OR NOT, I.E., CEILINGS, PARTITIONS, EQUIPMENT, ETC.

NOTE:
CONTRACTOR SHALL RETAIN A LICENSED ASBESTOS CONSULTANT TO PERFORM A THOROUGH ASBESTOS SURVEY, PRIOR TO PERFORMING ANY DEMOLITION/ RENOVATION WORK, PER THE REQUIREMENTS OF THE CURRENT LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS.

LEGEND OF SYMBOLS



SEAL				
			AMG	APVD
			ALV	BY
			BUILDING DEPARTMENT COMMENT RESPONSES	
			REVISION	
		09-28-16		DATE
		1		NO.

CITY OF BOYNTON BEACH
HESTER COMMUNITY CENTER, BOYNTON BEACH, FL
MISCELLANEOUS IMPROVEMENTS
GENERAL NOTES, LEGENDS, AND ABBREVIATIONS


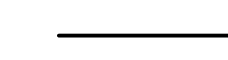
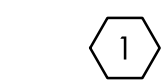
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APVD A. SLOCOMBE
PROJ 16-112
DATE SEPTEMBER 2, 2016
DWG

A-001

LEGEND:

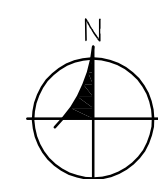
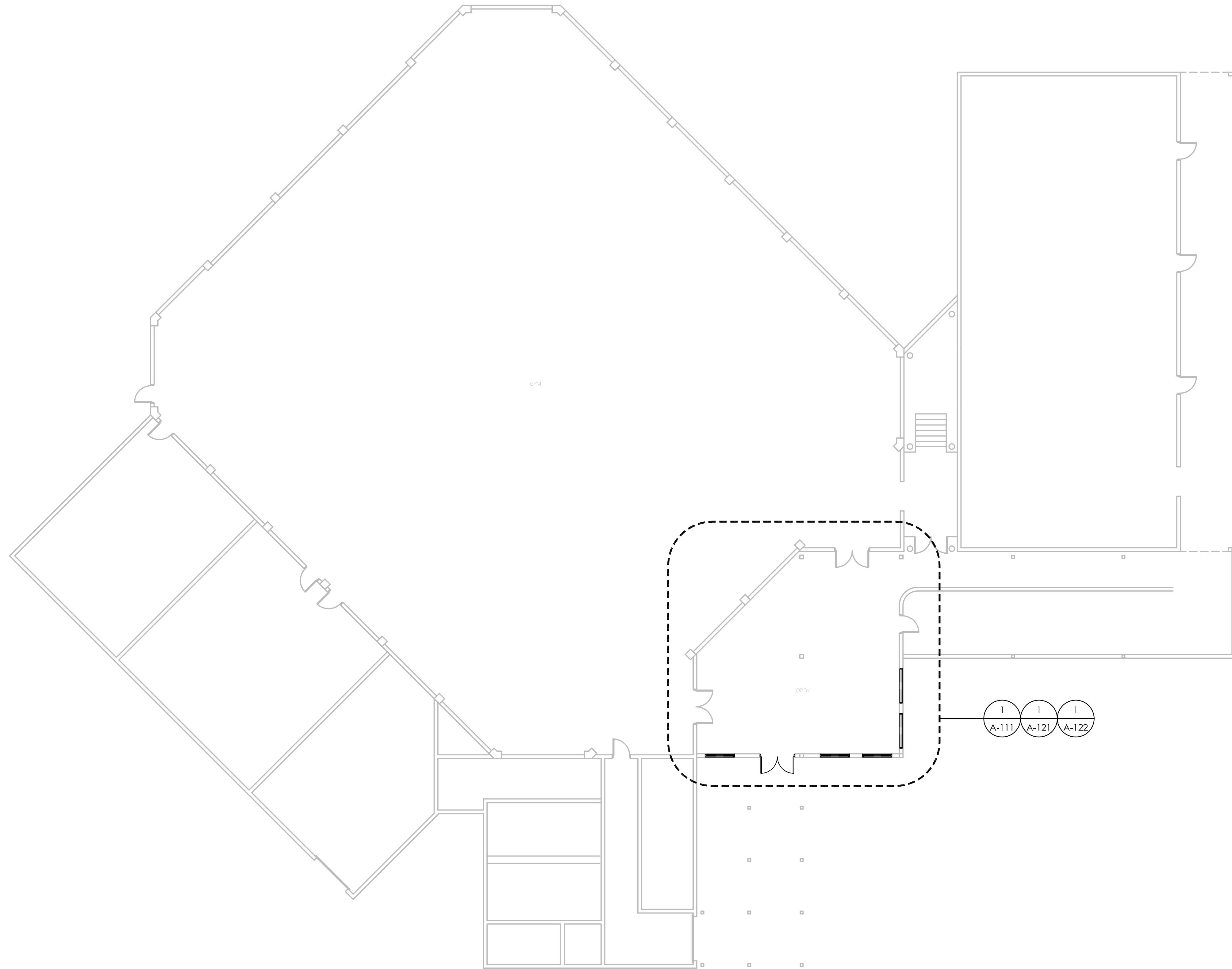
-  EXISTING CONSTRUCTION TO REMAIN.
-  NEW CONSTRUCTION.
-  KEYED CONSTRUCTION NOTE. SEE NOTES ON THIS DRAWING.

GENERAL NOTES:

1. -

KEYED CONSTRUCTION NOTES:

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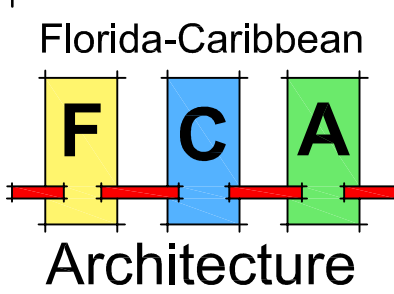
OVERALL FLOOR PLAN

3/32" = 1'-0"

SEAL

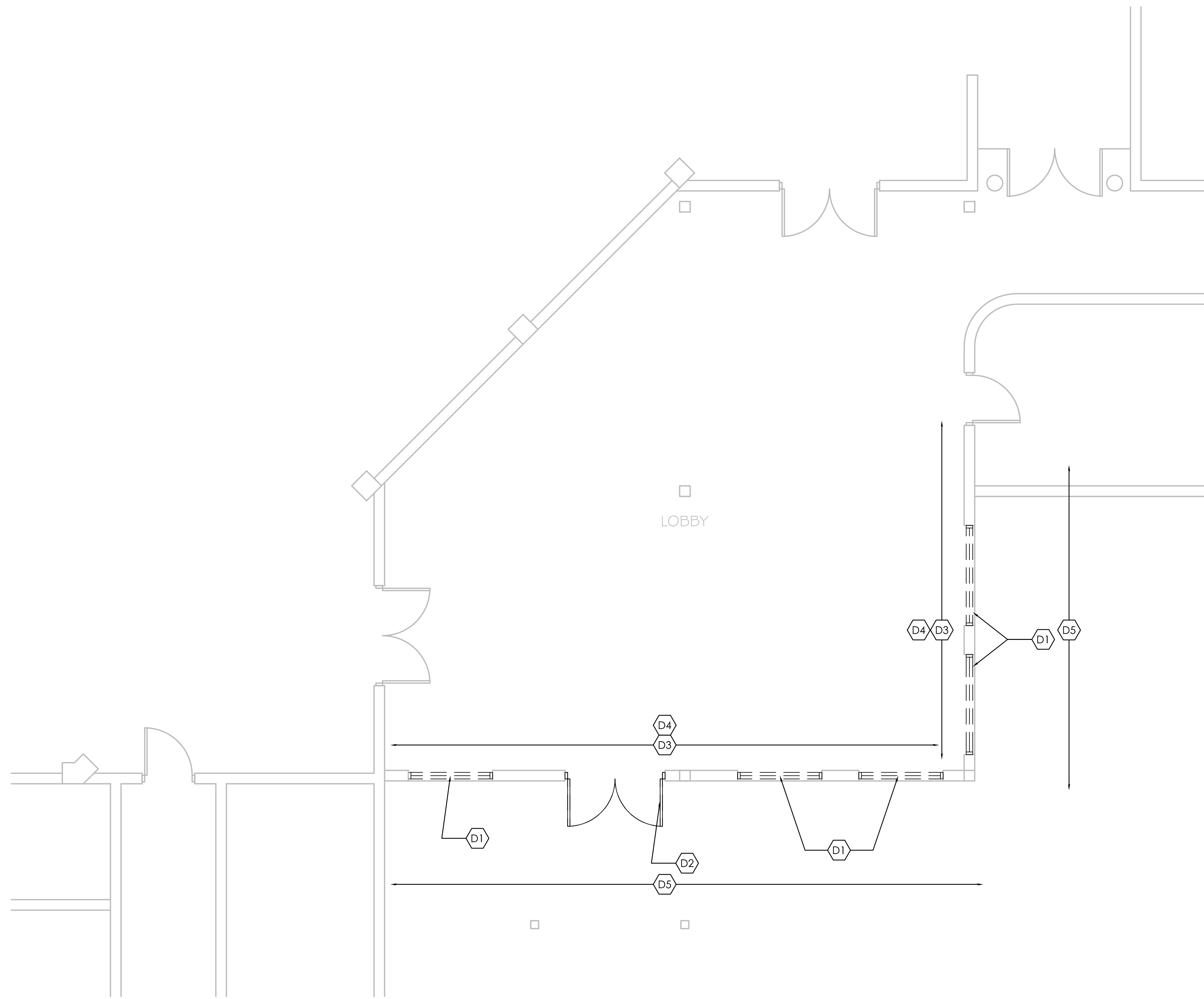
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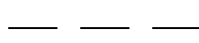
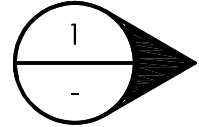



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




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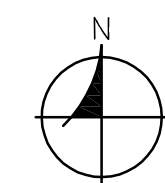
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-  REFERENCE PHOTO INDICATOR. ARROW INDICATES DIRECTION OF PHOTO.
-  KEYED DEMOLITION NOTE. SEE NOTES ON THIS DRAWING.

GENERAL DEMOLITION NOTES:

1. SEE GENERAL DEMOLITION NOTES ON DRAWING SHEET A-001
2. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCING WITH WORK.
3. AFTER DEMOLITION IS COMPLETE, PATCH AND REPAIR ALL DAMAGED SURFACES TO BE FLUSH AND LEVEL WITH ADJACENT SURFACES AND BE PREPARED TO RECEIVE NEW FINISHES.

KEYED DEMOLITION NOTES:

-  REMOVE EXISTING STOREFRONT WINDOW IN ITS ENTIRETY. PREPARE /ADJUST OPENING TO RECEIVE NEW IMPACT RESISTANT STOREFRONT WINDOW ASSEMBLY.
-  REMOVE EXISTING STOREFRONT DOOR ASSEMBLY AND PREPARE OPENING TO RECEIVE NEW IMPACT RESISTANT STOREFRONT DOOR ASSEMBLY.
-  REMOVE ALL EXISTING WATER DAMAGED WALL AND CEILING MATERIALS, DOWN TO THE EXISTING FRAMING, INCLUDING INSULATION. REPLACE DAMAGED/ DETERIORATED FRAMING AS REQUIRED AND INSTALL NEW WALL / CEILING MATERIAL AND INSULATION SIMILAR TO EXISTING AND REFINISH TO MATCH EXISTING ADJACENT.
-  REMOVE EXISTING FLOOR FINISHES AS NECESSARY TO ACCOMMODATE NEW WORK. REPLACE WITH NEW OR SIMILAR TO MATCH EXISTING. COORDINATE WITH OWNER (MAY HAVE TO REPLACE ENTIRE BANDING AROUND PERIMETER OF LOBBY AREA.
-  CLEAN AND PREPARE EXTERIOR WALL SURFACE TO RECEIVE NEW PAINT (MATCH EXISTING) ONCE NEW WORK IS COMPLETED.



1

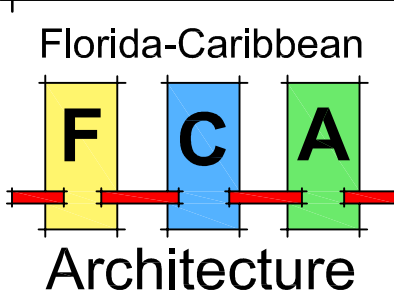
PARTIAL FLOOR PLAN - DEMOLITION

1/4" = 1'-0"

SEAL

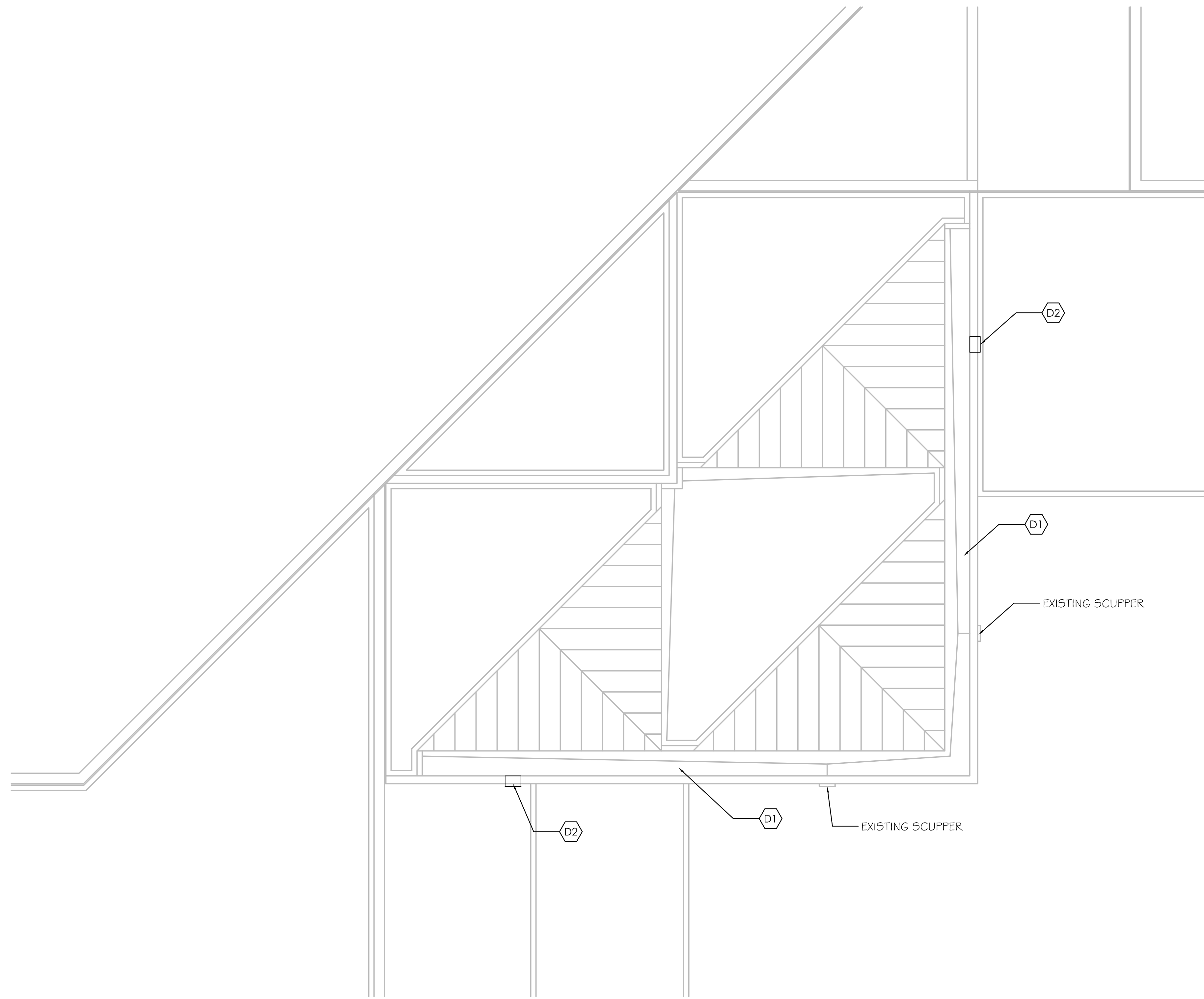
NO.	DATE	BY	APVD

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 PARTIAL FLOOR PLAN - DEMOLITION


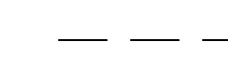
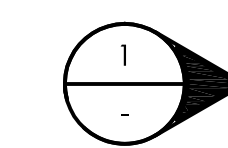
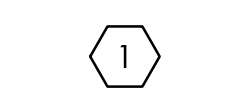


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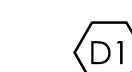
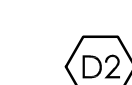
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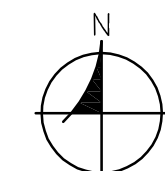
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-  EXISTING CONSTRUCTION TO BE DEMOLISHED.
-  REFERENCE PHOTO INDICATOR. ARROW INDICATES DIRECTION OF PHOTO.
-  KEYED DEMOLITION NOTE. SEE NOTES ON THIS DRAWING.

GENERAL DEMOLITION NOTES:

1. SEE GENERAL DEMOLITION NOTES ON DRAWING SHEET A-001
2. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCING WITH WORK.
3. AFTER DEMOLITION IS COMPLETE, PATCH AND REPAIR ALL DAMAGED SURFACES TO BE FLUSH AND LEVEL WITH ADJACENT SURFACES AND BE PREPARED TO RECEIVE NEW FINISHES.

KEYED DEMOLITION NOTES:

-  REMOVE EXISTING DEBRIS AT ROOF GUTTER AND PREPARE GUTTER TO RECEIVE NEW SPRAY APPLIED WATERPROOFING MEMBRANE/ COATING.
-  SAW-CUT AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO CREATE NEW SCUPPER THROUGH WALL. OPENING SHALL BE SIZED AND FLASHED/ SEALED TO MATCH/ SIMILAR TO EXISTING.

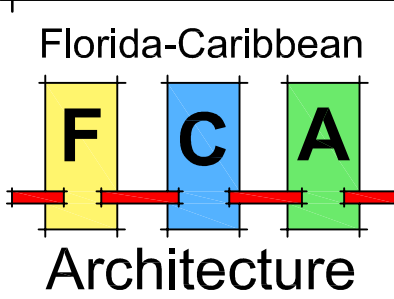


1 PARTIAL ROOF PLAN - DEMOLITION

1/4" = 1'-0"

SEAL	BY	APVD
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		DATE
		NO.

CITY OF BOYNTON BEACH
 HESTER COMMUNITY CENTER, BOYNTON BEACH, FL
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1 PHOTO



2 PHOTO



3 PHOTO



4 PHOTO



5 PHOTO



6 PHOTO



7 PHOTO



8 PHOTO



9 PHOTO

GENERAL DEMOLITION NOTES:

1. SEE GENERAL DEMOLITION NOTES ON DRAWING SHEET A-001
2. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCING WITH WORK.
3. AFTER DEMOLITION IS COMPLETE, PATCH AND REPAIR ALL DAMAGED SURFACES TO BE FLUSH AND LEVEL WITH ADJACENT SURFACES AND BE PREPARED TO RECEIVE NEW FINISHES.

LEGEND:

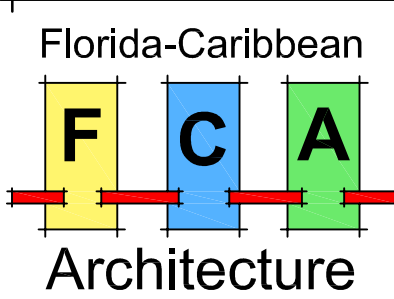
D1 KEYED DEMOLITION NOTE. COORDINATE WITH SHEET AD-101, AD-102, AND AD-201.

KEYED DEMOLITION NOTES:

- D1 REMOVE EXISTING STOREFRONT WINDOW IN ITS ENTIRETY. PREPARE /ADJUST OPENING TO RECEIVE NEW NEW IMPACT RESISTANT STOREFRONT WINDOW ASSEMBLY.
- D2 REMOVE EXISTING STOREFRONT DOOR ASSEMBLY AND PREPARE OPENING TO RECEIVE NEW IMPACT RESISTANT STOREFRONT DOOR ASSEMBLY.
- D3 REMOVE ALL EXISTING WATER DAMAGED WALL AND CEILING MATERIALS, DOWN TO THE EXISTING FRAMING, INCLUDING INSULATION. REPLACE DAMAGED/ DETERIORATED FRAMING AS REQUIRED AND INSTALL NEW WALL AND CEILING MATERIAL SIMILAR TO EXISTING AND REFINISH TO MATCH EXISTING ADJACENT.
- D4 REMOVE EXISTING DEBRIS AT ROOF GUTTER AND PREPARE GUTTER TO RECEIVE NEW SPRAY APPLIED WATERPROOFING MEMBRANE/ COATING.
- D5 SAW-CUT AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO CREATE NEW SCUPPER THROUGH WALL. OPENING SHALL BE SIZED AND FLASHED/ SEALED TO MATCH/ SIMILAR TO EXISTING.

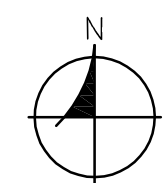
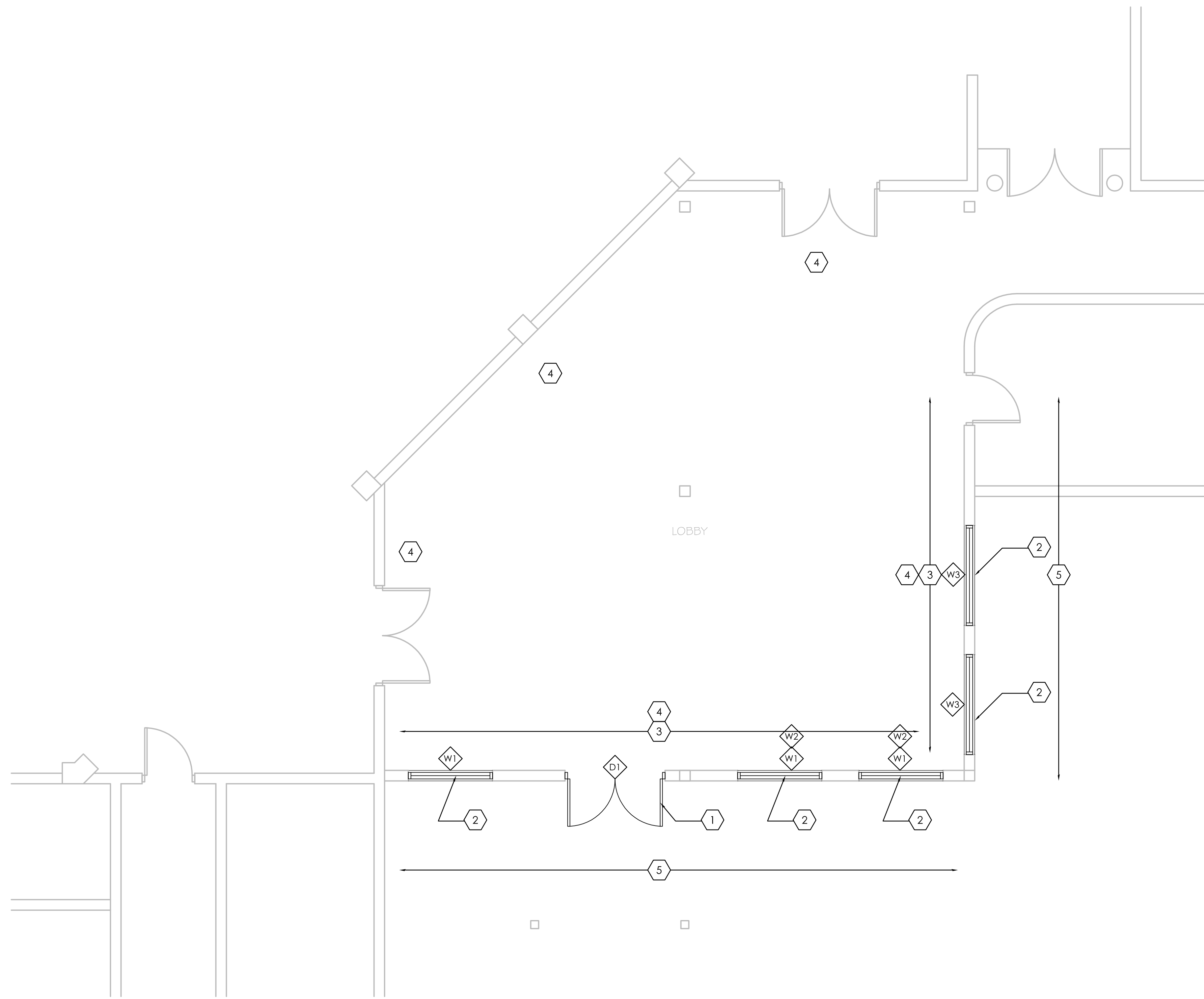
SEAL	AS	APVD
	AV	BY
	OWNER REQUESTED REVISIONS	REVISION
	NO.	DATE
	1	09/28/15

CITY OF BOYNTON BEACH
 HESTER COMMUNITY CENTER, BOYNTON BEACH, FL
 MISCELLANEOUS IMPROVEMENTS
 DEMOLITION PHOTOS



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D5GN	
DRWN	
APVD	
PROJ	16-112
DATE	SEPTEMBER 2, 2016
DWG	A-104



1 PARTIAL FLOOR PLAN
1/4" = 1'-0"

LEGEND:

- EXISTING CONSTRUCTION TO REMAIN.
- NEW CONSTRUCTION.
- REFERENCE PHOTO INDICATOR. ARROW INDICATES DIRECTION OF PHOTO.
- KEYED CONSTRUCTION NOTE. SEE NOTES ON THIS DRAWING.
- 100'-0" FINISHED FLOOR ELEVATION
- WINDOW / DOOR TAG. COORDINATE WITH SHEET A-501

GENERAL NOTES:

1. SEE GENERAL DEMOLITION AND CONSTRUCTION NOTES ON DRAWING A-001.
2. DOOR AND WINDOW LAYOUT AND DETAILS INDICATED REPRESENT THE ARCHITECT'S DESIGN INTENT AND MINIMUM STANDARD OF QUALITY ONLY. DOOR/ WINDOW SYSTEM AND ALL ASSOCIATED COMPONENTS AND FLASHING SHALL BE INSTALLED PER THE APPROVED PRODUCT APPROVAL, AND THE MANUFACTURER'S STANDARD DETAILS AS REQUIRED TO ACHIEVE APPLICABLE CODE REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL COMPONENTS REQUIRED FOR A COMPLETE WEATHER RESISTANT INSTALLATION WHETHER SPECIFICALLY INDICATED ON THE DOCUMENTS OR NOT. COORDINATE W/ DETAILS ON DRAWING A-501.
3. EXISTING GUTTER FLASHING SHALL BE REPAIRED WHERE APPLICABLE AND PREPARED FOR NEW WATERPROOFING APPLICATION. PROVIDE NEW SCUPPER FLASHING PER DETAILS ON SHEET A-501

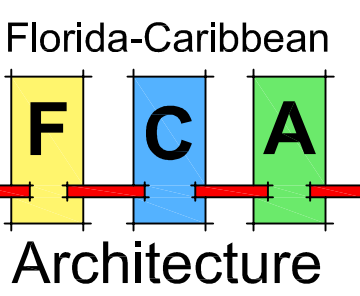
KEYED CONSTRUCTION NOTES:

- 1 NEW IMPACT RESISTANT OUT SWINGING ALUMINUM ENTRANCE STOREFRONT DOORS. BASIS OF DESIGN PRODUCT - MODEL 350IR AS MANUFACTURED BY KAWNEER COMPANY INC. FLORIDA PRODUCT APPROVAL # FL8786-R7. PROVIDE "STANDARD FRAMES " PER N.O.A. DESIGN. HARDWARE FUNCTION SHALL BE SIMILAR TO EXISTING. PROVIDE ALL HARDWARE PER N.O.A. DESIGN INCLUDING PANIC/EXIT HARDWARE ON BOTH DOORS. COORDINATE KEYING REQUIREMENTS WITH OWNER.
- 2 NEW IMPACT RESISTANT ALUMINUM STOREFRONT WINDOW SYSTEM. BASIS OF DESIGN PRODUCT - MODEL IR500 AS MANUFACTURED BY KAWNEER COMPANY INC. FLORIDA PRODUCT APPROVAL # FL8787-R6
- 3 INSTALL NEW WALL, CEILING, INSULATION AND FRAMING MATERIALS (WHERE REQUIRED) TO MATCH/ SIMILAR TO EXISTING ADJACENT AND REFINISH AND PAINT TO MATCH EXISTING.
- 4 INSTALL NEW FLOOR FINISHES TO MATCH/ SIMILAR TO EXISTING. REPLACE ENTIRE FLOOR FINISH AT THE PERIMETER OF THE LOBBY AREA IF EXISTING FLOOR FINISH CANNOT BE MATCHED. COORDINATE WITH OWNER.
- 5 PAINT EXTERIOR WALL SURFACE TO MATCH EXISTING. PROVIDE A GOOD QUALITY EXTERIOR PAINT - SHERWIN WILLIAMS IS NOTED AS A BASIS OF DESIGN.

SEAL

NO.	1	09.28.16	DATE
BY	AV		
APVD	AMS		
REVISION	BUILDING DEPARTMENT COMMENT RESPONSES		

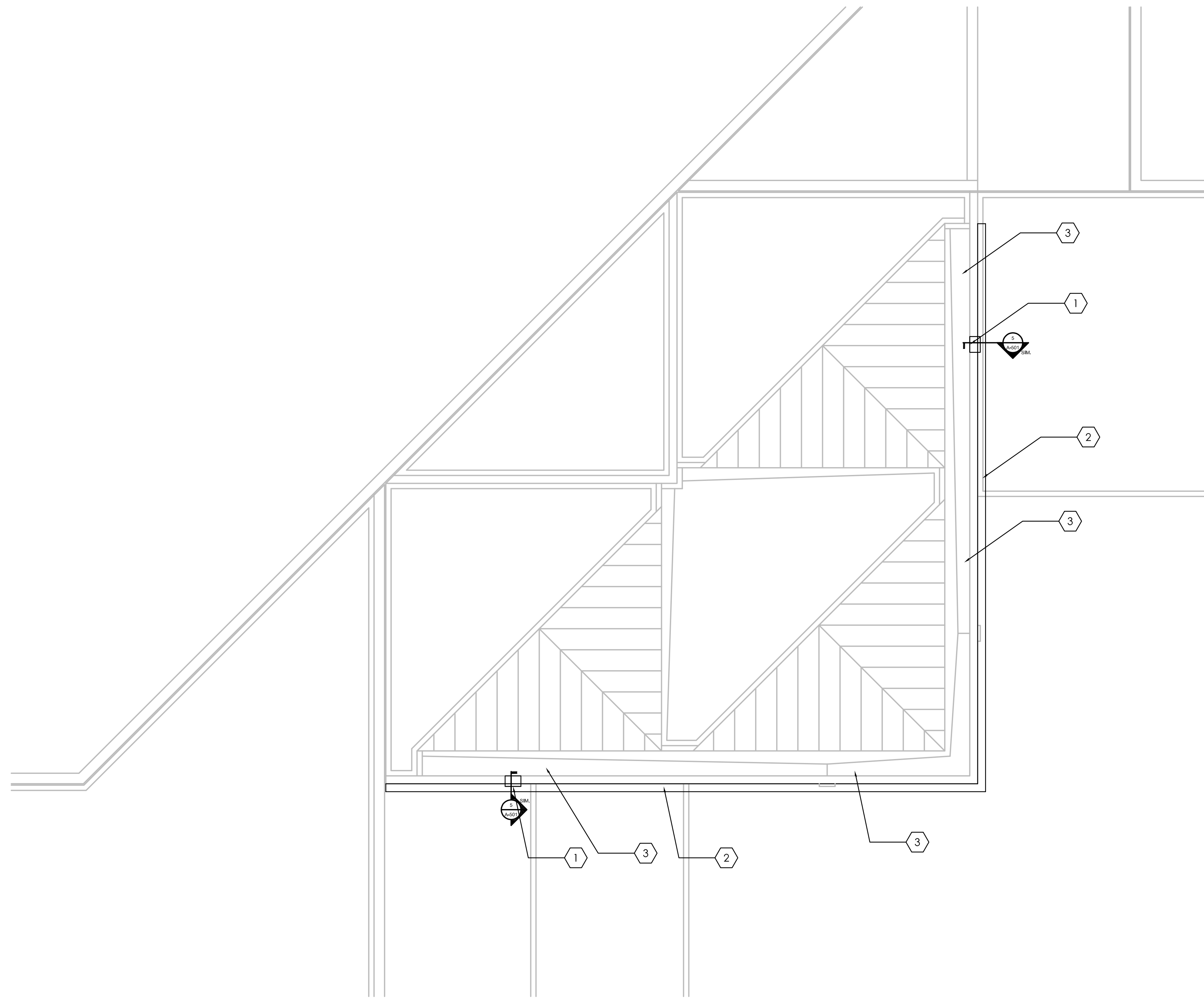
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PARTIAL FLOOR PLAN





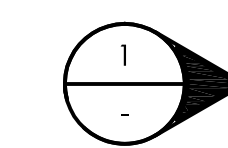
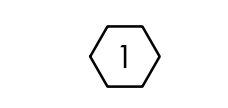
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DRWN	A. VANHOOSER
APVD	A. SLOCOMBE
PROJ	16-112
DATE	SEPTEMBER 2, 2016
DWG	

A-111



LEGEND:

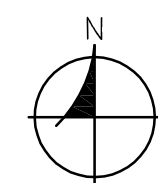
-  EXISTING CONSTRUCTION TO REMAIN.
-  NEW CONSTRUCTION.
-  REFERENCE PHOTO INDICATOR. ARROW INDICATES DIRECTION OF PHOTO.
-  KEYED CONSTRUCTION NOTE. SEE NOTES ON THIS DRAWING.

GENERAL NOTES:

1. SEE GENERAL DEMOLITION AND CONSTRUCTION NOTES ON DRAWING A-001.
2. GUTTER/ DOWNSPOUT AND SCUPPER LAYOUT AND DETAILS INDICATED REPRESENT THE ARCHITECT'S DESIGN INTENT AND MINIMUM STANDARD OF QUALITY ONLY. GUTTER/DOWNSPOUT AND SCUPPER SYSTEM AND ALL ASSOCIATED COMPONENTS AND FLASHING SHALL BE INSTALLED PER THE APPROVED PRODUCT MANUFACTURER'S STANDARD DETAILS AS REQUIRED TO ACHIEVE APPLICABLE CODE REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL COMPONENTS REQUIRED FOR A COMPLETE WEATHER RESISTANT INSTALLATION WHETHER SPECIFICALLY INDICATED ON THE DOCUMENTS OR NOT. COORDINATE W/ DETAILS ON DRAWING A-501.
3. EXISTING GUTTER FLASHING SHALL BE REPAIRED WHERE APPLICABLE AND PREPARED FOR NEW WATERPROOFING APPLICATION. PROVIDE NEW SCUPPER FLASHING PER DETAILS ON SHEET A-50.

KEYED CONSTRUCTION NOTES:

- 1 NEW SCUPPER. FLASH AND SEAL TO MATCH/ SIMILAR TO EXISTING. PROVIDE ALL COMPONENTS REQUIRED FOR A COMPLETE AND WATERTIGHT INSTALLATION.
- 2 NEW ALUMINUM GUTTER (6"x6") AND DOWNSPOUT (4"x6"). PROVIDE ALL COMPONENTS REQUIRED FOR A COMPLETE INSTALLATION, INCLUDING SPLASH BLOCK BELOW DOWNSPOUT. FIELD COORDINATE EXACT LOCATION OF DOWNSPOUTS W/ OWNER.
- 3 PROVIDE AND INSTALL SPRAY APPLIED WATERPROOFING SEALANT/ COATING AT EXISTING GUTTER. FLEX SEAL IS LISTED AS A BASIS OF DESIGN. APPLY MINIMUM OF 2 COATS AND PROPER COVERAGE TO ELIMINATE ANY POTENTIAL LEAKS AT THE EXISTING GUTTER.

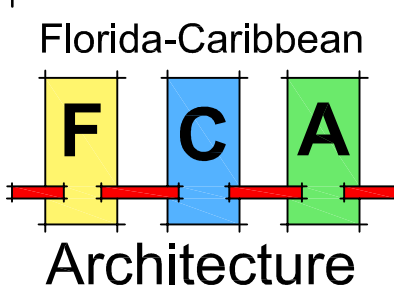


1 PARTIAL ROOF PLAN
1/4" = 1'-0"

SEAL

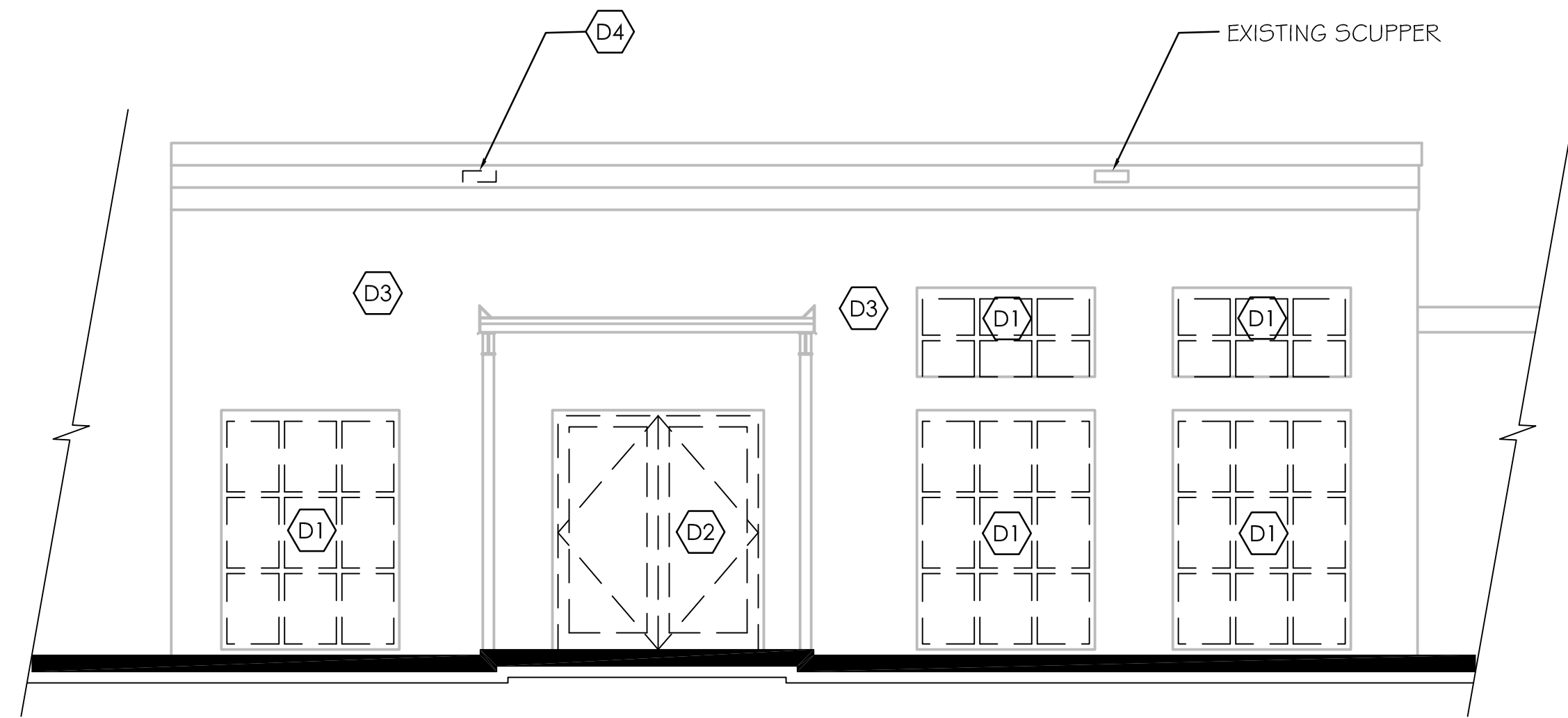
NO.	DATE	REVISION	BY	APVD

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PARTIAL ROOF PLAN

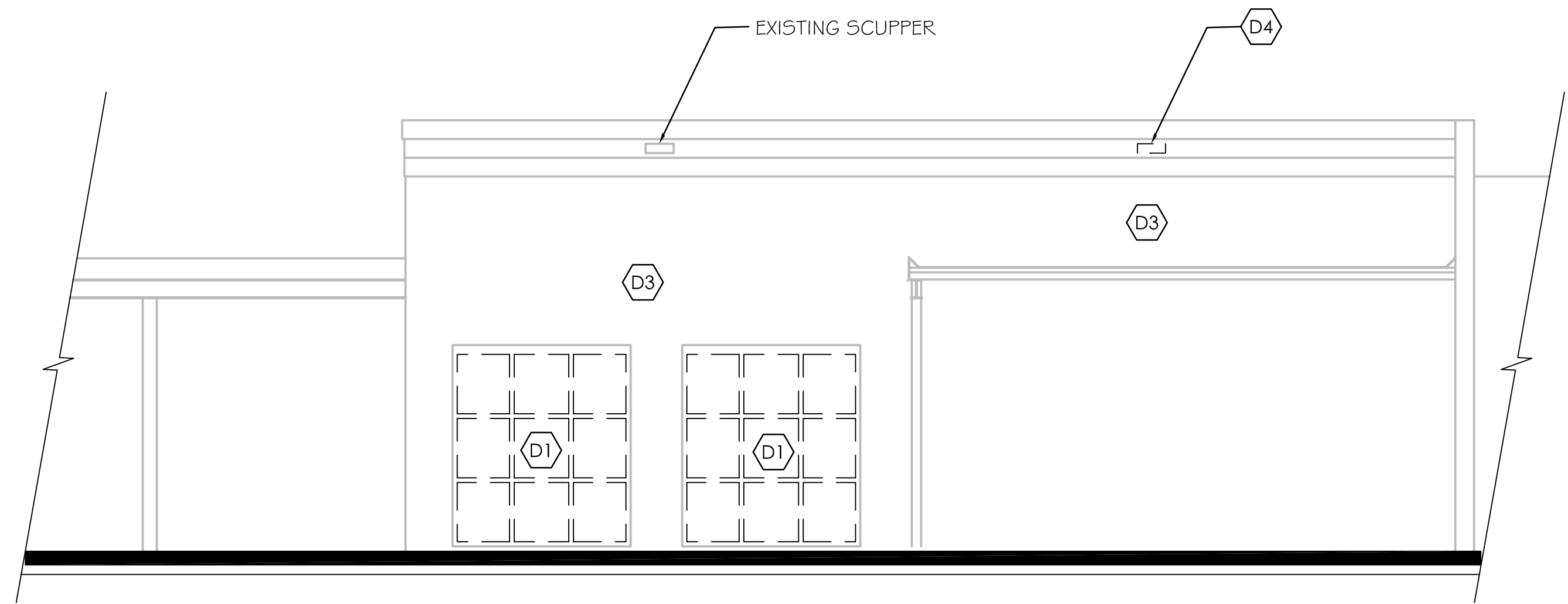


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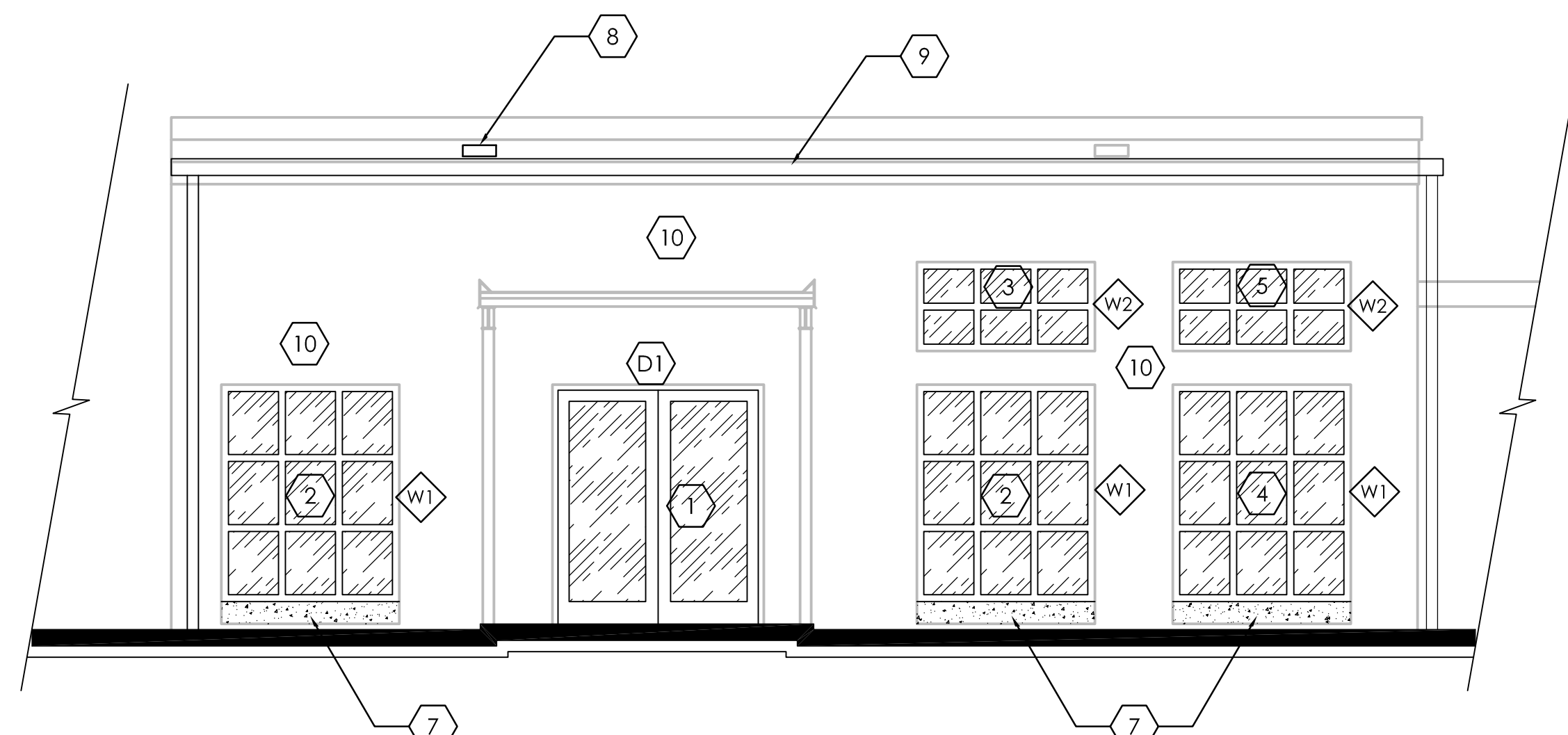
D5GN	A. SLOCOMBE
DRWN	A. VANHOOSER
APVD	A. SLOCOMBE
PROJ	16-112
DATE	SEPTEMBER 2, 2016
DWG	A-112



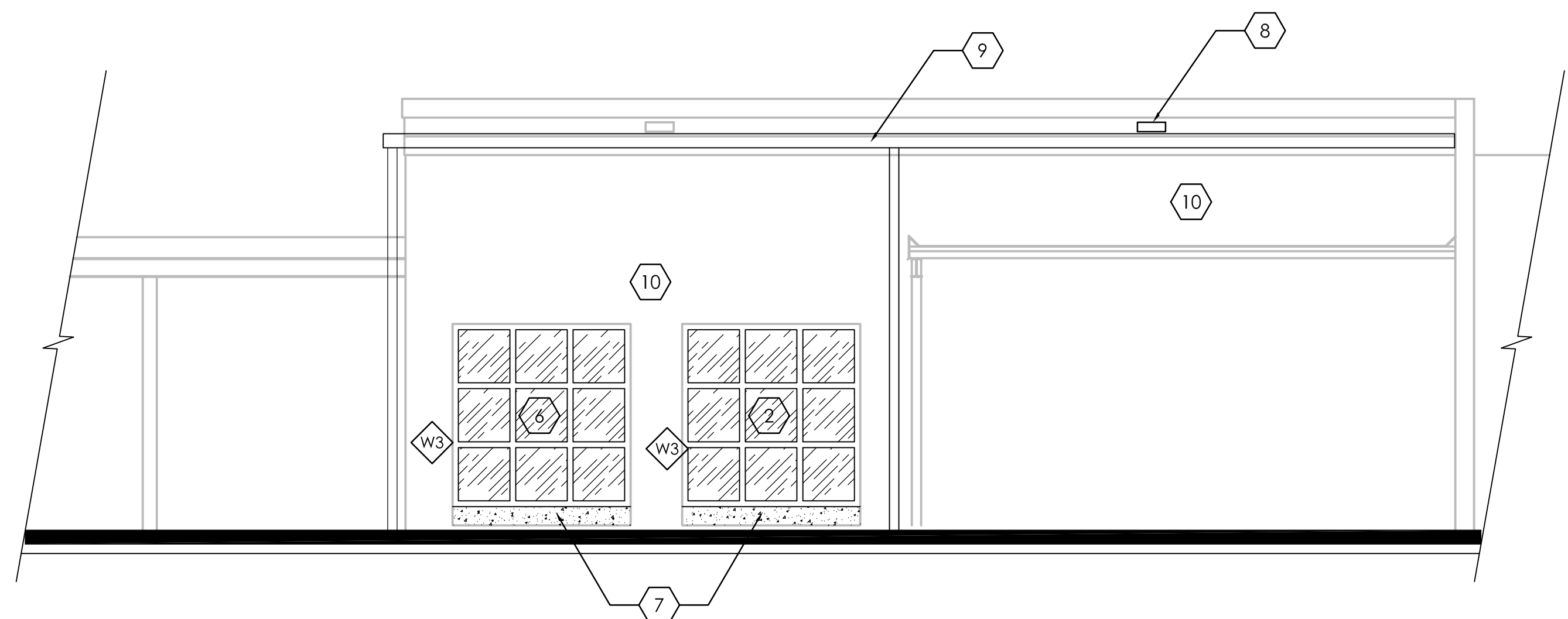
1 PARTIAL ELEVATION - DEMOLITION
1/4" = 1'-0"



2 PARTIAL ELEVATION - DEMOLITION
1/4" = 1'-0"



3 PARTIAL NEW ELEVATION
1/4" = 1'-0"



4 PARTIAL NEW ELEVATION
1/4" = 1'-0"

KEYED DEMOLITION NOTES:

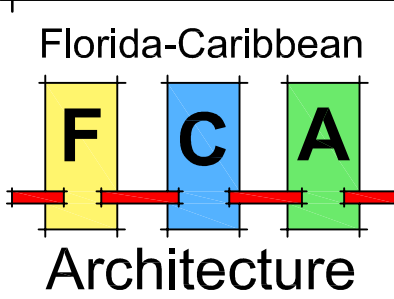
- D1 REMOVE EXISTING STOREFRONT WINDOW IN ITS ENTIRETY. PREPARE /ADJUST OPENING TO RECEIVE NEW IMPACT RESISTANT STOREFRONT WINDOW ASSEMBLY.
- D2 REMOVE EXISTING STOREFRONT DOOR ASSEMBLY AND PREPARE OPENING TO RECEIVE NEW IMPACT RESISTANT STOREFRONT DOOR ASSEMBLY.
- D3 CLEAN AND PREPARE EXTERIOR WALL SURFACE TO RECEIVE NEW PAINT (MATCH EXISTING) ONCE NEW WORK IS COMPLETED.
- D4 SAW-CUT AND REMOVE EXISTING CONSTRUCTION AS NECESSARY TO CREATE NEW SCUPPER THROUGH WALL. OPENING SHALL BE SIZED AND FLASHED/ SEALED TO MATCH/ SIMILAR TO EXISTING.

KEYED CONSTRUCTION NOTES:

- 1 NEW IMPACT RESISTANT OUTSWINGING ALUMINUM ENTRANCE DOORS. DESIGN PRESSURE: ZONE 4 (+34.11, -37.33)
- 2 NEW IMPACT RESISTANT ALUMINUM STOREFRONT WINDOW SYSTEM. DESIGN PRESSURE: ZONE 4 (+34.11, -37.33)
- 3 NEW IMPACT RESISTANT ALUMINUM STOREFRONT WINDOW SYSTEM. DESIGN PRESSURE: ZONE 4 (+36.37, -39.58)
- 4 NEW IMPACT RESISTANT ALUMINUM STOREFRONT WINDOW SYSTEM. DESIGN PRESSURE: ZONE 5 (+34.11, -42.80)
- 5 NEW IMPACT RESISTANT ALUMINUM STOREFRONT WINDOW SYSTEM. DESIGN PRESSURE: ZONE 5 (+36.37, -47.31)
- 6 NEW IMPACT RESISTANT ALUMINUM STOREFRONT WINDOW SYSTEM. DESIGN PRESSURE: ZONE 5 (+34.11, -42.80)
- 7 NEW INFILL CONCRETE CURB- 8"x8"x LENGTH OF OPENING. INSTALL WITH EPOXY ANCHORS/ DOWELS INTO THE EXISTING FLOOR / SLAB AND WALLS. COORDINATE WITH DETAIL ON SHEET A-501.
- 8 NEW SCUPPER. FLASH AND SEAL TO MATCH/ SIMILAR TO EXISTING. PROVIDE ALL COMPONENTS REQUIRED FOR A COMPLETE AND WATERTIGHT INSTALLATION.
- 9 NEW ALUMINUM GUTTER (6"x6") AND DOWNSPOUT (4"x6"). PROVIDE ALL COMPONENTS REQUIRED FOR A COMPLETE INSTALLATION, INCLUDING SPLASH BLOCK BELOW DOWNSPOUT. FIELD COORDINATE EXACT LOCATION OF DOWNSPOUTS W/ OWNER.
- 10 PAINT EXTERIOR WALL SURFACE TO MATCH EXISTING. PROVIDE A GOOD QUALITY EXTERIOR PAINT - SHERWIN WILLIAMS IS NOTED AS A BASIS OF DESIGN.

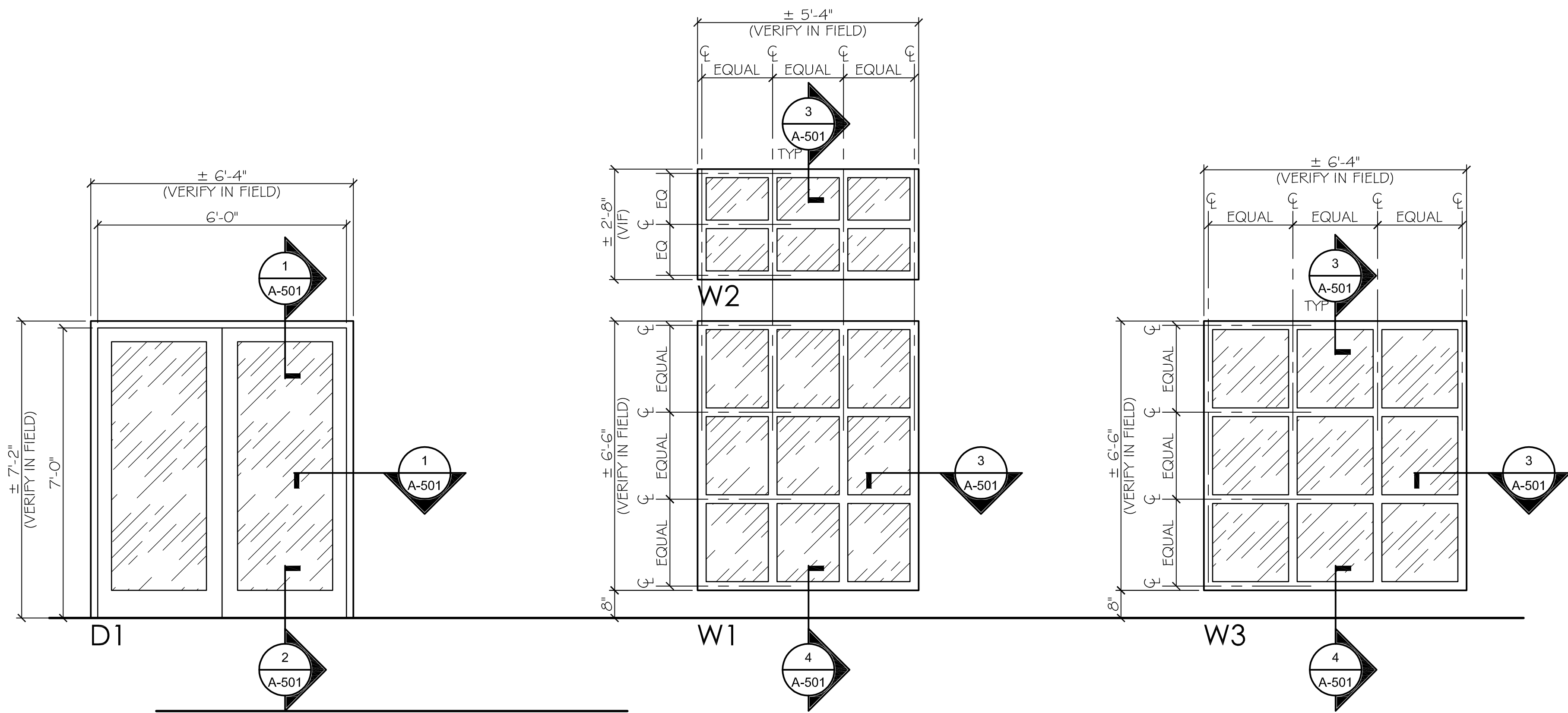
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	REVISION	
	DATE	
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MISCELLANEOUS IMPROVEMENTS
PARTIAL EXTERIOR ELEVATIONS



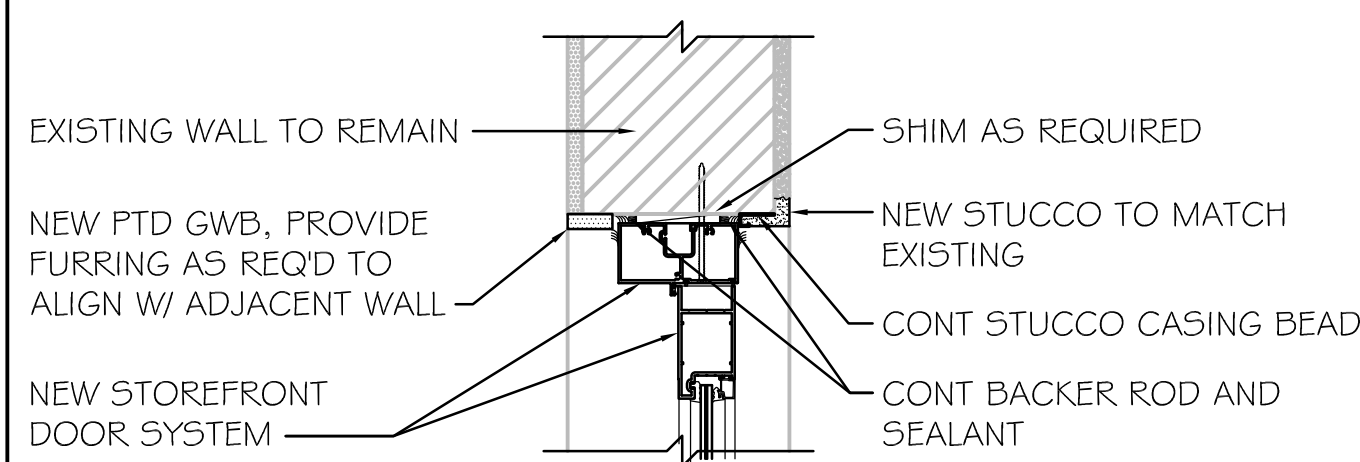
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DATE	SEPTEMBER 2, 2016
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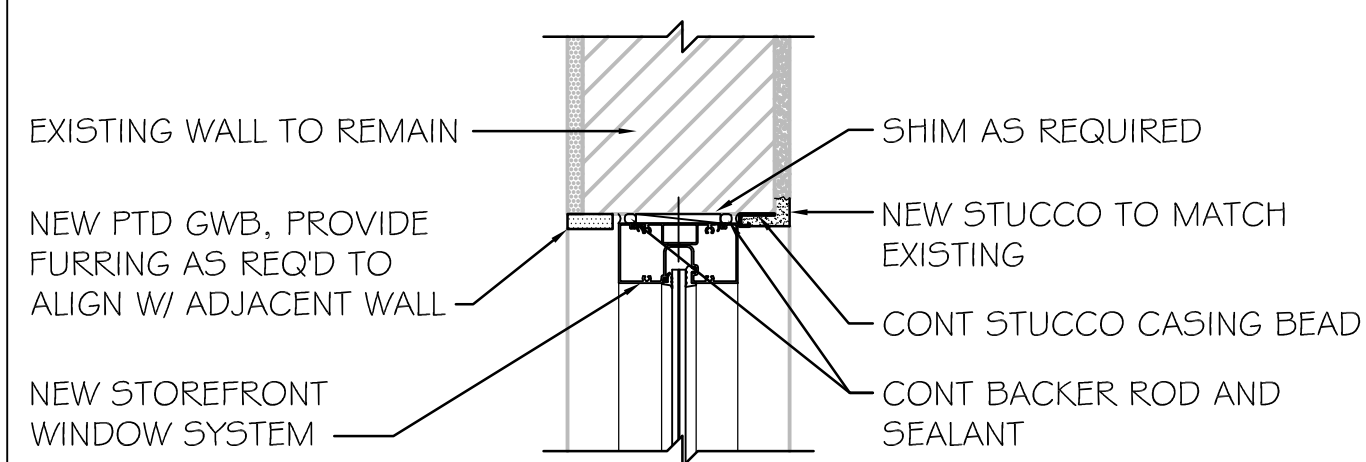


WINDOW AND DOOR ELEVATIONS

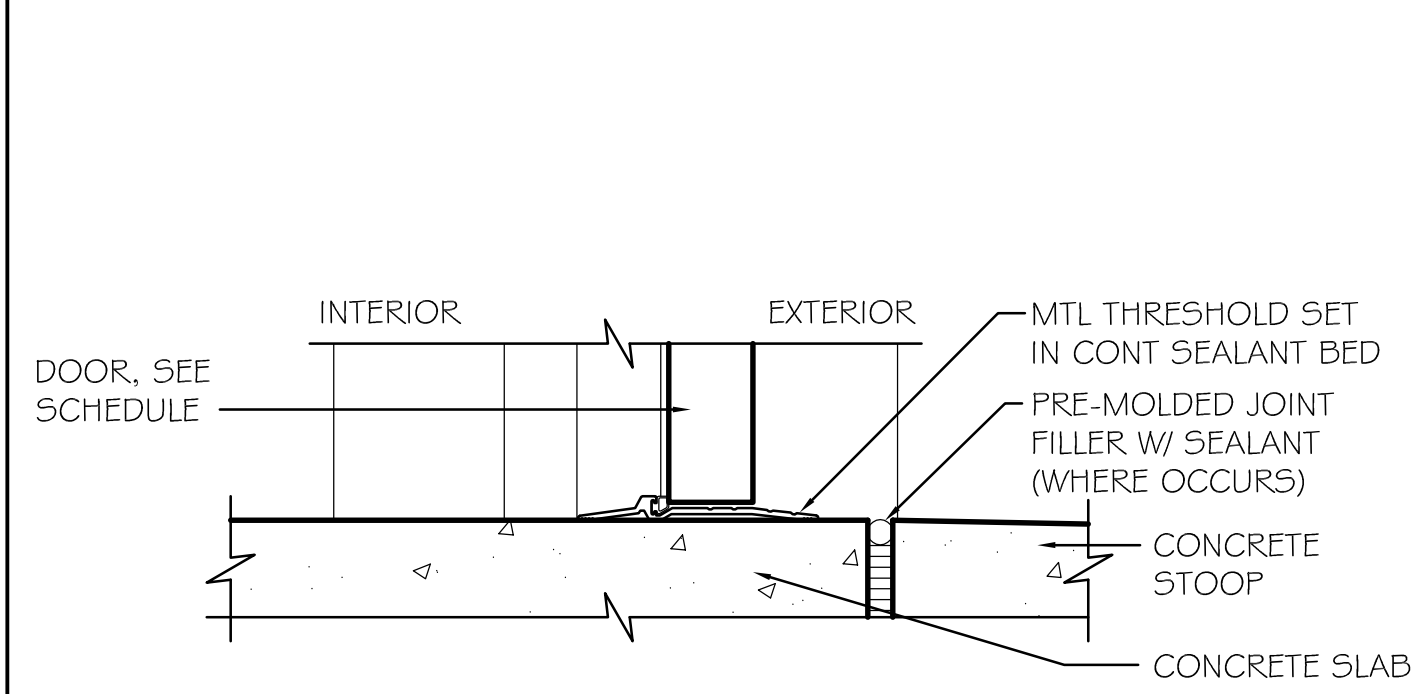
1/2" = 1'-0"



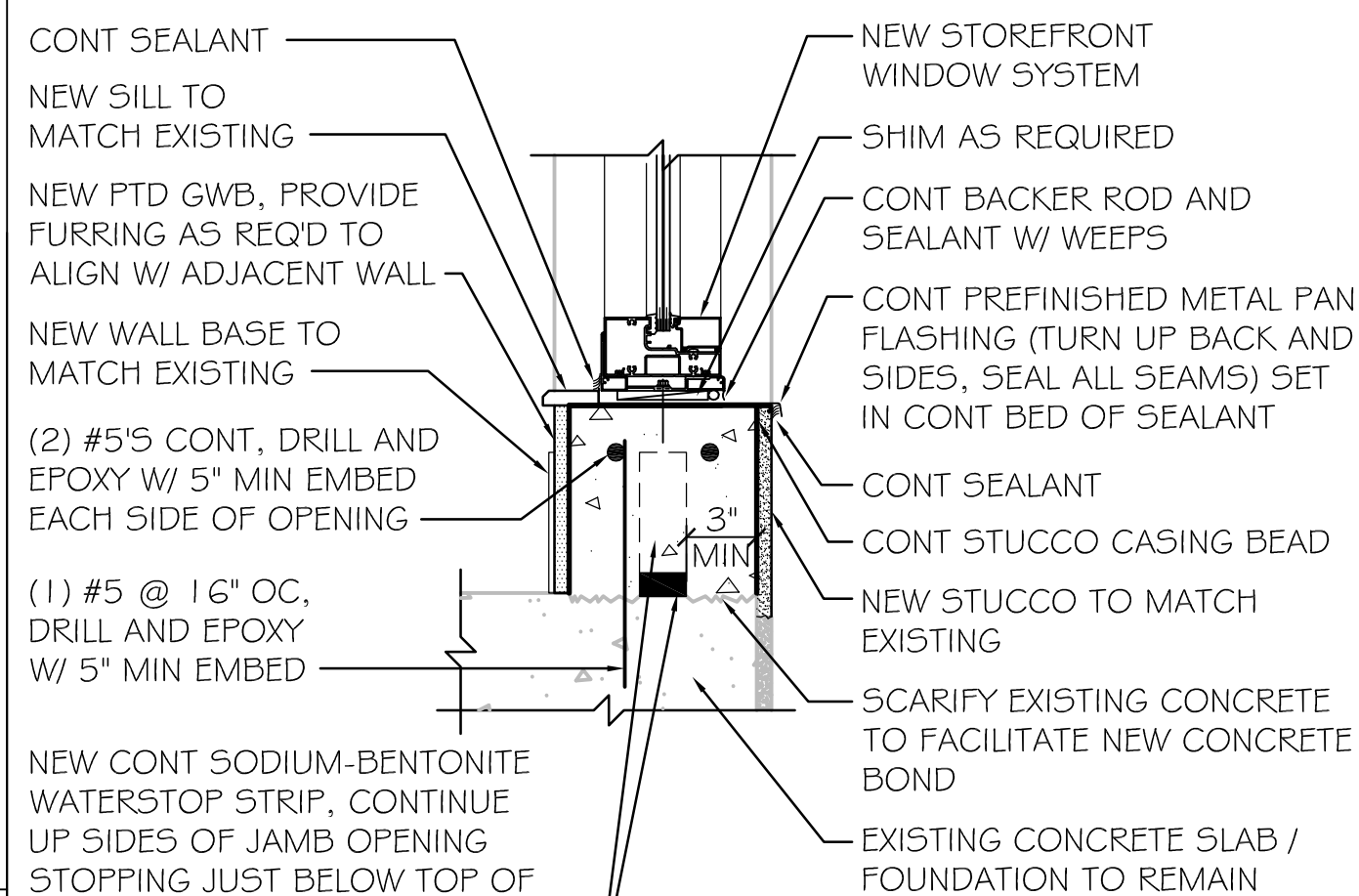
1 HEAD DETAIL
1-1/2" = 1'-0"



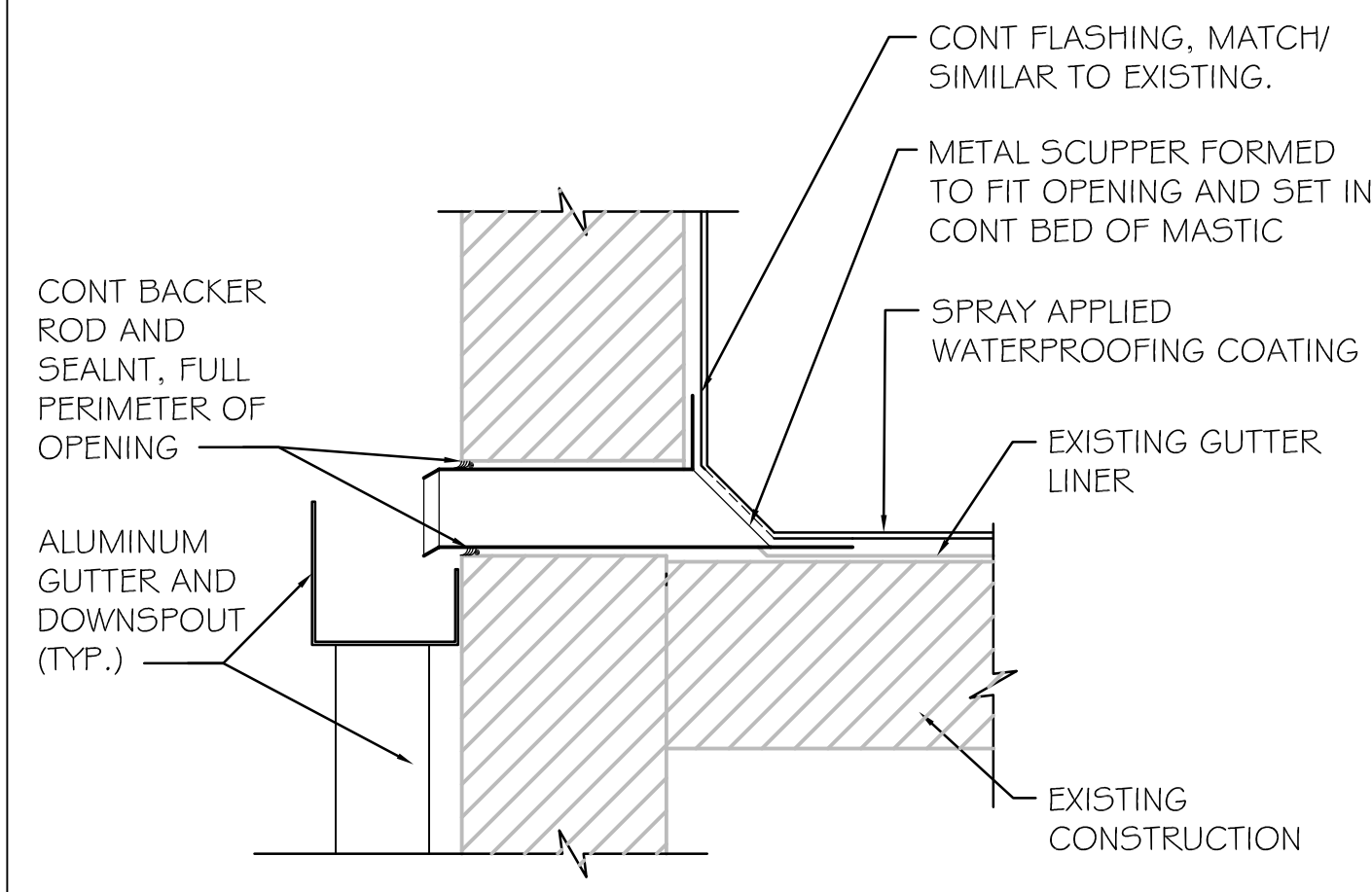
3 HEAD DETAIL
1-1/2" = 1'-0"



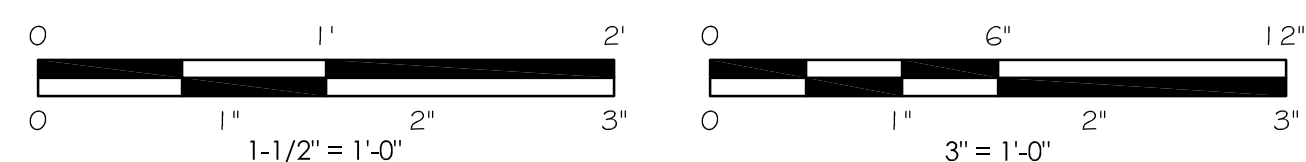
2 THRESHOLD DETAIL
3" = 1'-0"



4 SILL DETAIL
1-1/2" = 1'-0"

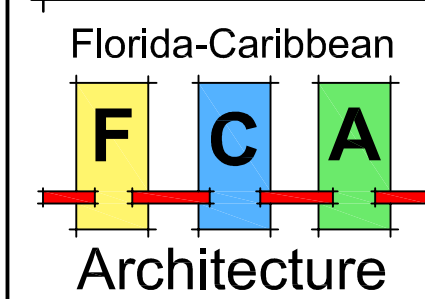


5 TYP SCUPPER FLASHING DETAIL AT EXIST. GUTTER
1-1/2" = 1'-0"



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