

INTERIOR WINDOW ELEVATION
1/4" = 1'-0"

NOTES:
1.) Finish hollow metal per Door Schedule Note #1.

SUITE #3 (VACANT)

1/2" THICK X 4" VERTICAL WOOD TRIM ALIGNS WITH KNEEWALL AND EDGE OF SOFFIT ABOVE

FLOOR PLAN NOTES:

- Verify all dimensions/conditions in field and coordinate with equipment supplier for dimensions prior to construction.
- All work shall conform to applicable national, state, and local codes.
- Furnish and install all material, fasteners, etc. and labor for a complete installation of all work.
- Fire Extinguisher Schedule:
 - A) FE-1: Larsen MP-5 (2A10BC) with #1521 wall bracket.
 - B) FE-2: Larsen MP-10 (4A80BC) with #5525 wall bracket (kitchen).
 - C) FE-3: Larsen MP-5 (2A10BC) with 2409-5R cabinet (semi-recessed).
- Furnish and install solid wood blocking for shelves, plumbing fixtures, accessories, cabinets, moldings, trim, equipment, cabinets and shelving.
- Firestop all partitions at ceiling with continuous metal track.
- F.B.O. denotes "Items furnished by owner and installed by contractor".
- N.I.C. denotes "Items not in contract".
- Gypboard shall be finished to Level 4.
- All firestops shall be U.L. or G.A. approved.
- Toilet Room finishes shall comply with 2014 FBC 1210.1 and 1210.2 for surrounding material.
- New Knox-box shall be Knox Company #3200 TS - Furnished and installed by contractor. Mounting height shall have box key at maximum 52" above walkway. Print inside of glass flat black.
- Corner Guards:
 - CG - 90° corner guard - 4" x 4" x 18 gage s/s x 96" long (Bottom at top of base).
 - ECG - End wall corner guard - 18 gage s/s x 96" long (Bottom at top of base). Unit shall fit over partition with wall finish.
- Countertops at Pre-Order Area, Serving Line and Service Area (to Dining Area) shall be ADA accessible at maximum 34" A.F.F. and NSF approved.
- 1 1/2" thick X 8" wide stainless steel countertop on kneewall. Top of kneewall = 4'-0" A.F.F.
- Furnish and install R=4.2 rigid insulation at inside of CMU walls from floor to underside of roof deck behind chase partition.
- 1/2" gypboard on 3/4" metal furring at 24" o.c., with R=4.2 insulation, from floor to underside of roof deck at all exterior walls of Dining Area.
- 1/2" M/R gypboard on 3/4" metal furring from floor to 1/2" above ceiling, with R=4.2 insulation from floor to underside of roof deck at Toilet Room.
- 1/2" Dur-Rock from floor to 4'-0" A.F.F. with 1/2" M/R gypboard above to 1/2" above ceiling at Kitchen and 10'-0" A.F.F. at Janitor Closet with R=4.2 insulation from floor to underside of roof deck.
- 1/2" Dur-Rock from floor to 4'-0" with 1/2" M/R gypboard above to 10'-0" A.F.F.
- Furnish and install solid surface window sills. Material shall be minimum 1/2" thick with 1 1/2" dropped front/routed edge. Material allowance = \$10.00/lineal foot.
- 36" high aluminum railing with anodized finish. Allowance = \$100.00/lineal foot for material and installation. Design by owner.
- Kneewall construction: 1 layer 1/2" M/R gypboard each side 3/4" X 25 gage metal studs at 16" o.c. to height required or noted.
- ADA seating exceeds 5% of total seats per 2014 FBC-A Section 226.

FLOOR PLAN
1/4" = 1'-0"

DOOR SCHEDULE									
NO.	SIZE	DOOR PANEL	FRAME	HOUR	FIRE RATING	GLASS	REMARKS		
1	1 3/4" x 3'-0" x 8'-0"	S.C. FL. UD.	FL. LAM.	H.M.	PAINT	---	---	---	---
2	1 3/4" x 3'-0" x 8'-0"	S.C. FL. UD.	FL. LAM.	H.M.	PAINT	---	---	---	---
3	3'-0" x 7'-0"	ALUM. ALLOY	FL. LAM.	H.M.	PAINT BY MANUF.	---	PLASTIC	---	NOTE #17
4	3'-0" x 7'-0"	ALUM. ALLOY	FL. LAM.	H.M.	PAINT BY MANUF.	---	PLASTIC	---	NOTE #17
5	1 3/4" x 3'-0" x 8'-0"	S.C. FL. UD.	FL. LAM.	H.M.	PAINT BY MANUF.	---	PLASTIC	---	---
6	1 3/8" x 2'-0" x 8'-0"	S.C. FL. UD.	FL. LAM.	H.M.	PAINT	---	PLASTIC	---	---
7	EXIST. 3'-0" x 8'-0"	ALUMGLASS	ESP	ALUM.	ESP	---	---	---	EXISTING STOREFRONT, NOTE #14
8	EXIST. 3'-0" x 8'-0"	ALUMGLASS	ESP	ALUM.	ESP	---	---	---	EXISTING STOREFRONT, NOTE #14
9	EXIST. 3'-0" x 8'-0"	ALUMGLASS	ESP	ALUM.	ESP	---	---	---	EXISTING
10	EXIST. 3'-0" x 8'-0"	ALUMGLASS	ESP	ALUM.	ESP	---	---	---	EXISTING STOREFRONT, NOTE #14

HARDWARE GROUPS:

Group No. 1
2 pair butts
1 swing door operator (Note #16)
1 thumbturn latch with "occupied/un-occupied sign"
1 - 6" high clear plastic kickplate
3 silencers at jamb
1 - 6" high clear plastic kickplate
1 S/S push plate
1 S/S pull plate
1 wall stop

Group No. 6
1 1/2 pair butts
1 entrance lockset (free inside)
1 closer
3 silencers at jamb
1 - 6" high clear plastic kickplate
1 wall stop

Group No. 7
Existing storefront
New panic hardware

DOOR SCHEDULE NOTES:

- Finish interior hollow metal with 2 coats S/W Industrial Enamel B54 on touched up metal primer (verify sheen with tenant).
- New butts shall be 4 1/2" X 4 1/2". Butts shall not be painted. 1279 interior without closer and BB1279 interior with closer.
- Wall stops shall be Hager 236 (630 finish). Floor stops shall be Hager 243 (626 finish).
- Silencers shall Hager 307D at hollow metal frames.
- Interior door closers shall be LCN 1461 with FC option or Sargent 1431 Series.
- Push and pull plates shall be Hager 4" X 16". Pulls shall be Hager 4" X 16" Trimco, Ives & Rockwood are approved equals.
- All hardware shall be A.D.A. approved, conform to Chapter 553, Part 5 of Florida Statutes and NFPA 101 approved.
- Hollow metal frames shall be 16 gage, paintable galvanized steel, knock down units. Frames shall be Fleming "F" series or approved equal. Finish shall be factory primer.
- Interior doors shall be Maiman "LFDL" low pressure decorative laminate thermally fused flush wood doors. Door and edge finish shall be wood grain pattern.
- Keying shall be 6 Master keys for all Master or Grandmaster groups and 2 change keys per lock with a maximum of 4 keys for keyed alike sets.
- Submit door, frame, hardware and paint shop drawings to architect prior to construction.
- Equal substitution will be considered. Submit proposed substitutions to architect prior to bid.
- Verify hardware finish with owner prior to bid and construction.
- Panic hardware not required per 2012 NFPA 101 12.2.2.2.3 and 12.2.2.2.4 for less than 100 occupants. Panic hardware required per 2014 FBC-B 1008.1.10 for occupant load of 50 or more. Post signs on Doors #7 & 8 stating: "Doors shall remain unlocked during business hours" as directed by Fire Department.
- Panic hardware not required at main entrance per 2014 FBC-B 1008.1.10 "Exception in compliance with 1008.1.9.3 (item #2).
- Stanley "Magic Force" full energy, semi-recessed unit with swing-guard sensor, SU-100 Activation and two HC/PTO square press switches. Furnish and install all material and labor for a complete installation. Unit shall be ADA compliant. Submit shop drawings to architect for review.
- Doors #3 & 4 shall be Eliason SP-8 with 9" X 14" plastic window, two 18" high S/S kickplates, hinge system and plastic laminate finish (color selected by owner).

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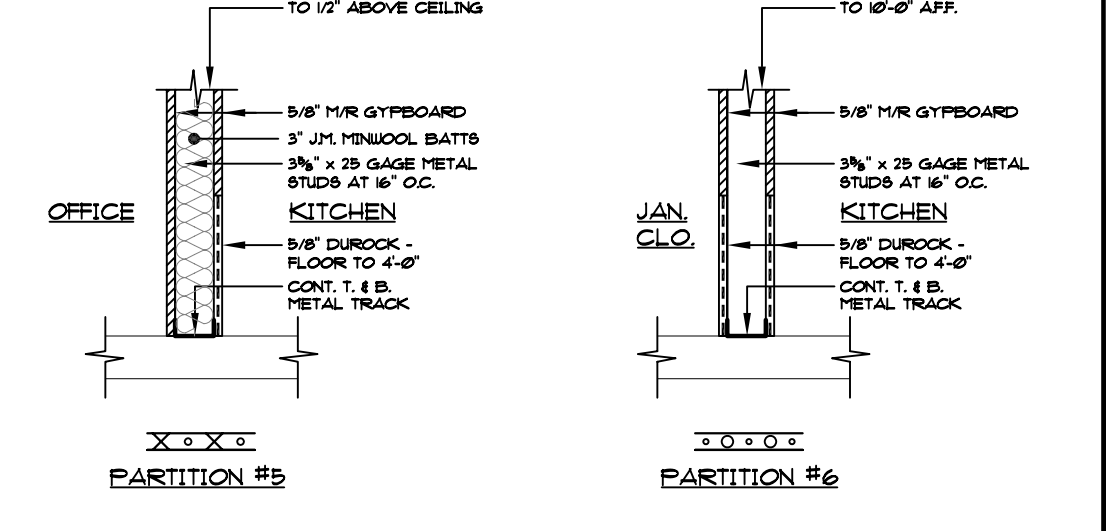
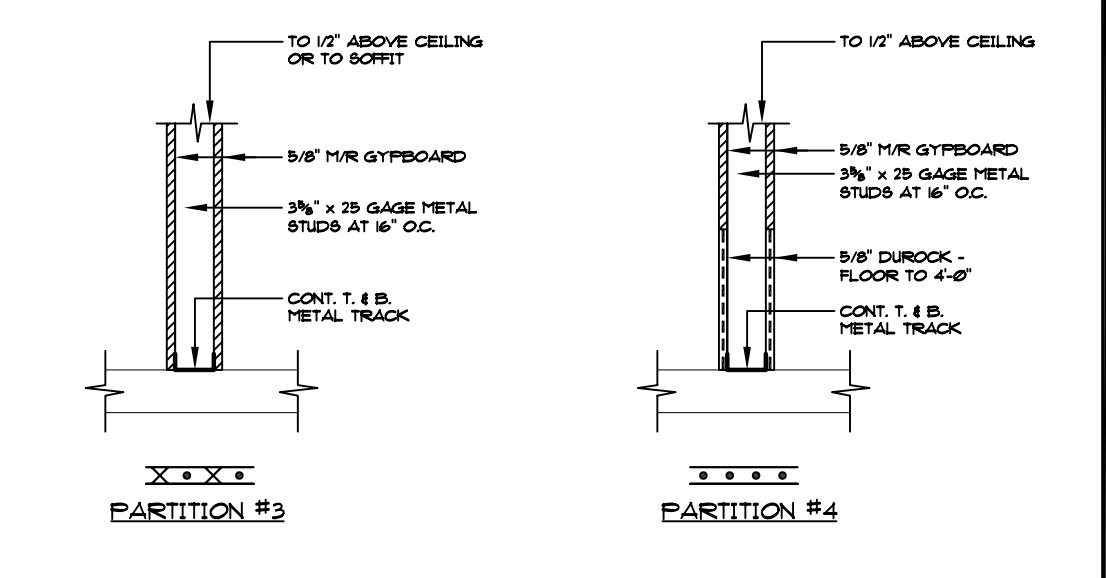
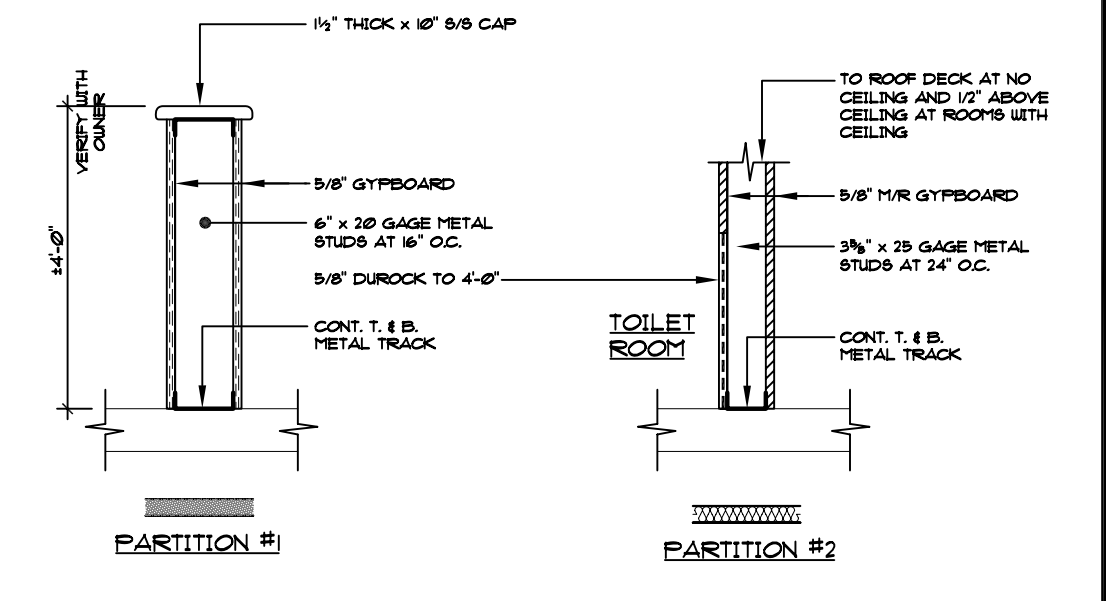
A-1 FLOOR PLAN WITH DOOR SCHEDULE
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E-2 LIGHTING PLAN WITH SCHEDULE

LEGEND	
[Symbol]	EXISTING EXTERIOR CMU OR CONCRETE WALL
[Symbol]	NEW DOOR
[Symbol]	EXISTING DOOR
[Symbol]	HANDICAPPED PLUMBING FIXTURE
[Symbol]	FIRE EXTINGUISHER
[Symbol]	NEW TWO HOUR TENANT SEPARATION PARTITION - SEE SECTION A/AS



PARTITION ELEVATIONS
NO SCALE

PROJECT DATA AT THIS TENANT:

CONSTRUCTION TYPE: TYPE 5B, UNPROTECTED, UNSPRINKLED.

FLOOR AREA = 2,680 S.F.

OCCUPANT LOAD = 80 7 - 1,364 S.F. KITCHEN (1/200 S.F.)
73 - 1,100 S.F. UNCONCENTRATED ASSEMBLY (1/115 S.F.)

OCCUPANCY = ASSEMBLY (A-2)

EXITS = TWO REQUIRED PER TABLE 1015.1

FIRE RATED CORRIDORS = N/A PER TABLE 1018.1

MAXIMUM DEAD END = 20 FEET PER 1018.4

MAXIMUM TRAVEL = 200 FEET PER TABLE 1016.2

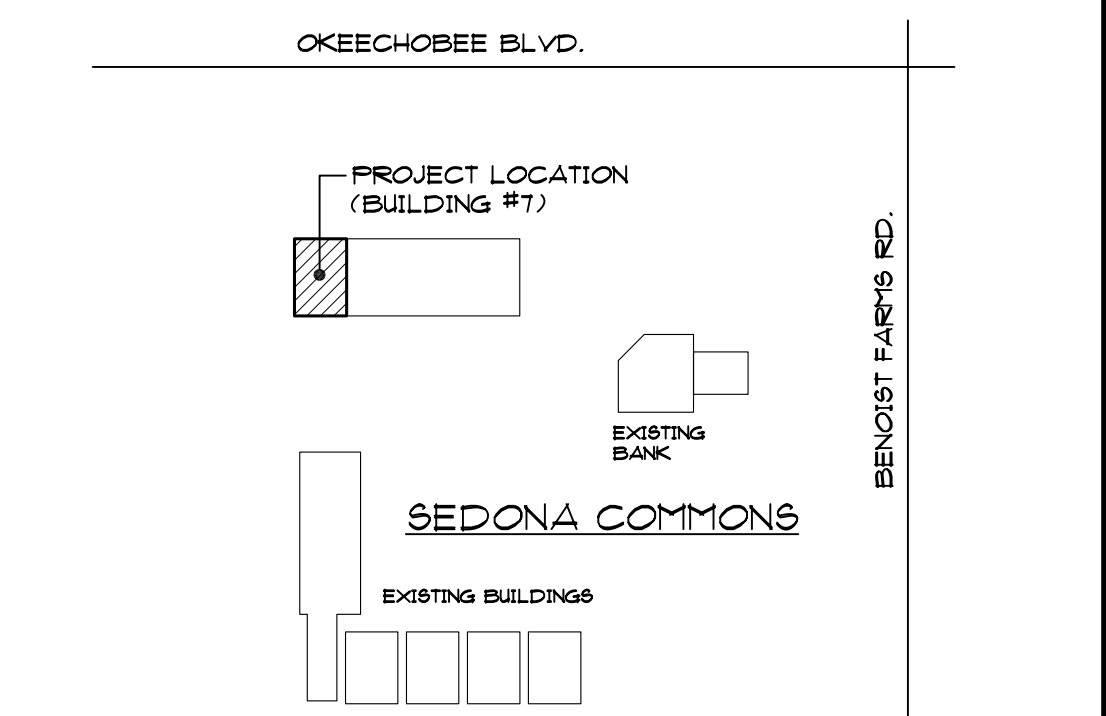
MAXIMUM COMMON TRAVEL = 75 FEET PER 1014.3

CODE REFERENCES:

- 2014 Florida Building Code
- 2014 Florida Building Code - Existing Building
- 2014 Florida Building Code - Plumbing
- 2014 Florida Building Code - Mechanical
- 2014 Florida Building Code - Energy
- 2014 Florida Building Code - Accessibility
- 2012 NFPA 101
- 2011 NEC (NFPA 72)
- 2012 Florida Fire Prevention Code
- 2014 FLORIDA BUILDING CODE - LEVEL 3 ALTERATIONS

SEATING CAPACITY = 50

PUBLIC WATER & SEWER AT THIS PROJECT



PROJECT LOCATION MAP
NO SCALE

REVISIONS	BY

KUOPPALA & ASSOCIATES, P.A.
ARCHITECTS
FLORIDA ARCHITECT #9481
925 SOUTH MILITARY TRAIL, SUITE D-10
WEST PALM BEACH, FLORIDA 33415
(561) 682-1909 - OFF.
(561) 682-1975 - FAX.

INTERIOR IMPROVEMENTS

FIRE UP PIZZA

8170 OKEECHOBEE BLVD. - SUITES 1 & 2
SEDONA COMMONS - BUILDING #7
WEST PALM BEACH, FLORIDA

DRAWN BY
CHECKED
DATE
SCALE
AS NOTED
COMM. NO.
SHEET

APRIL 21, 2016

A-1

5 SHEETS