

COMMERCIAL GENERAL NOTES:

- The architect will not be responsible for and will not have control or charge of construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, and he will not be responsible for the contractor's failure to carry out the work in accordance with the contract documents. The architect will not be responsible for or have control or charge over the acts or omissions of the contractor, subcontractors, or any of their agents or employees, or any other persons performing any of the work.
- All codes having jurisdiction shall be observed strictly in the construction of the project, including all applicable state, city, and county building, zoning, electrical, mechanical, plumbing, fire codes. Contractor shall verify all code requirements and the construction documents.
- Errors and omissions which may occur in contract documents shall be brought to the attention of the architect in writing and written instructions shall be obtained before proceeding with the work. The contractor will be held responsible for the results of any errors, discrepancies, or omissions which the contractor failed to notify the architect of before construction and /or fabrication of the work.
- Contractor and subcontractors are to verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of work. Do not scale drawings. Architect shall be notified in writing, prior to commencing any work, of any errors or discrepancies in drawings or between prepared drawings and field conditions.
- It is the purpose of these plans and specifications to describe a complete and finished project other than items marked "N.I.C." (not in contract).
- The contractor shall maintain the premises clean and free of all trash, debris and shall protect all adjacent work from damage, soiling, paint overspray, etc. All fixtures, equipment, glazing, floors, etc. shall be left clean and ready for occupancy upon completion of the project.
- All work is to be done under the supervision of the general contractor, in accordance with the owner-contractor agreement.
- All wood in contact with concrete or masonry or below finished floor is to be pressure treated.
- All materials and products used for and in construction are required to have applicable products control code approval.(NOA)
- Contractor shall carry all necessary insurance as required by law and hold harmless the owner or architect from any loss, liability, claim or demand for damages arising out of or relating to the performance of the work as described by these drawings.
- The owner shall effect and maintain fire, extended coverage and vandalism insurance for 100% of the insurable value of all construction on the site.
- The general contractor shall guarantee all work specified and/or described by these drawings free from any defects or malfunctions for a period of one year commencing from the substantial completion date or from the time of occupancy, whichever occurs first. The general contractor is responsible for all work executed by subcontractors or other trades, plumbing equipment.
- The contractor shall acquire all permits and licenses and pay all fees necessary for the execution of the work.

DOOR SCHEDULE VERIFY ALL EXIST. OPENINGS (WIDTH/HEIGHT)

MARK	SIZE	THK.	TYPE	MAT.	FIN.	WIND PRESS.	NOA	REMARKS
1	3080	2"	STOREFRONT	ALUMN/GL	WHITE	-37.0 33.8	YES	EXTERIOR DOOR
2	3068	1-3/4"	SOLID CORE/FLUSH	WOOD	PAINT		NO	ADA HDWR.
3	3068	1-3/4"	SOLID CORE/FLUSH	WOOD	PAINT		NO	ADA HDWR.
4	3068	1-3/4"	SOLID CORE/FLUSH	WOOD	PAINT		NO	ADA HDWR.
5	8080	2"	SGD 2 PC.	ALUMN/GL	WHITE	-39.3 32.1	YES	VERIFY HEIGHT OPNG
6	10080	2"	SGD 3 PC.	ALUMN/GL	WHITE	-31.4 28.2	YES	VERIFY HEIGHT OPNG

NOTES:
 1. All closer & hardware to comply with Florida Accessibility Code.
 2. Contractor to verify wood / rough openings for all windows and doors and adjust framing as required.
 3. Contractor to verify that all existing panic hardware on existing egress doors are in working conditions

ETH EXISTING TO REMAIN

FIRE EXTINGUISHERS: F.E.

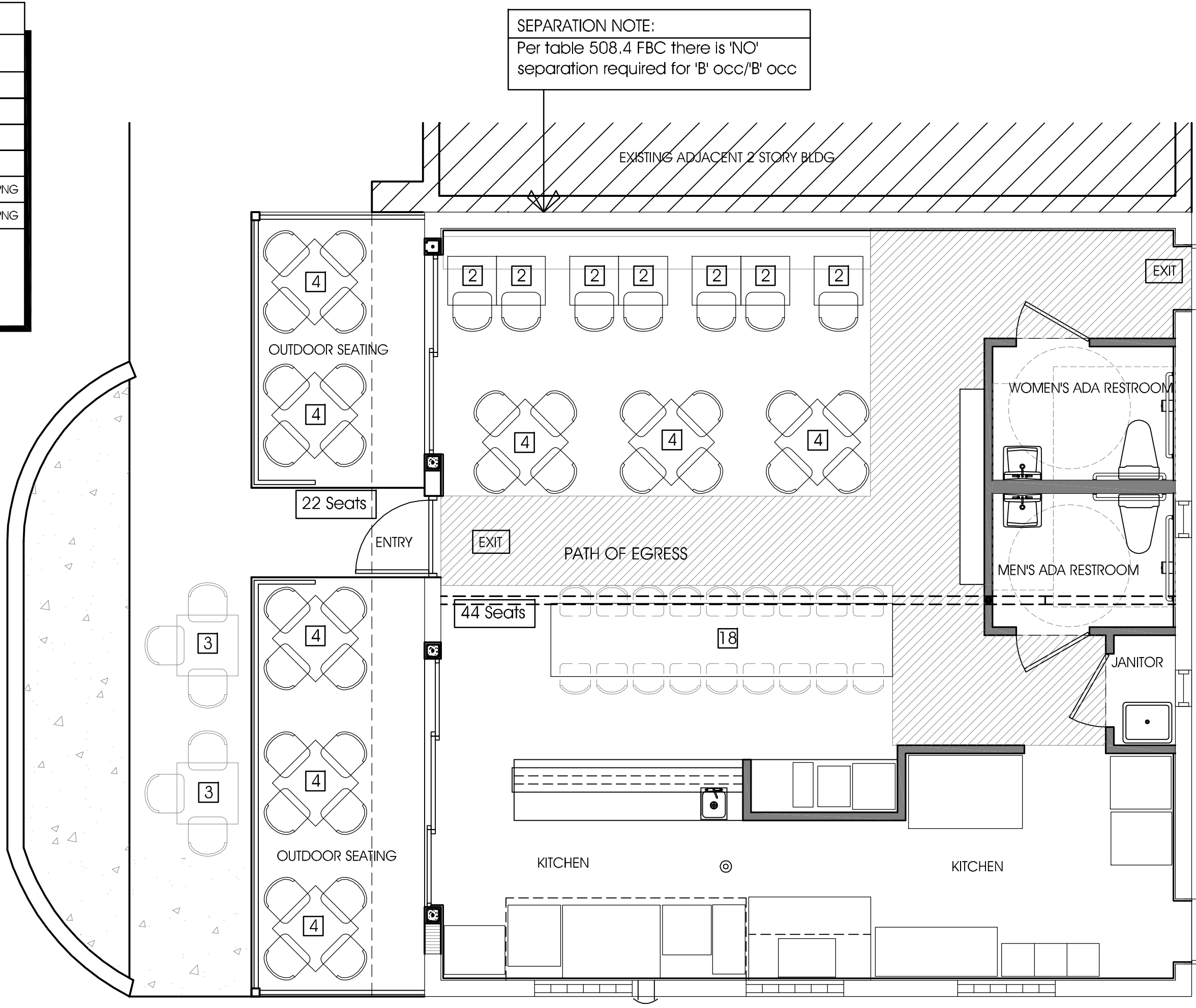
Provide fire extinguishers with a minimum rating of 2-A, 10BC where indicated on plans. Extinguishers are to be located at each exit and with a maximum travel distance of 50'-0" between. Fire extinguishers are to be on site and at the locations shown from start of construction. Construction personnel shall be instructed in the use of the equipment.
 Provide 2-A, 10BC fire extinguishers at locations determined by the Fire Marshall for light (low) hazard occupancy. Each corridor location shall also have a sign mounted above the fire extinguisher cabinet and perpendicular to the wall identified as 'extinguishers' per code and requirements of fire Marshall.

COLUMN SCHEDULE

MARK	TYPE	MATERIAL	REINFORCING
C1	8"x8"x8" CONCRETE BLOCK	#5 @ 12" IN 3000 PSI GROUT FILLED CELL SEE DETAIL	
C2	EXIST. CMU VERIFY OPEN CELL	#5 @ 12" IN 3000 PSI GROUT FILLED CELL SEE DETAIL	

FINISH SCHEDULE :

F1	1/4" DECORATIVE URETHANE COMPOSITE FLOORING SYSTEM WITH SEAMLESS COVE BASE OVER ENTIRE FLOOR EXISTING SLAB. MOSAIX CEMENTIGHT BY DUREX COLOR 'JUNGLE'. INSTALL PER MFG. STRICT INSTRUCTIONS.
F2	WHITE CERAMIC TILE TO CEILING ON WALL
F3	STAINLESS STEEL BACKSPLASH
F4	M.R. GLOSS WASHABLE PAINT G.W.BD. ON WALLS
F5	M.R. GLOSS WASHABLE PAINT G.W.BD. ON CEILING
F6	OUTDOOR SEATING AREA: OVERPOUR EXIST. CONC. WALK WITH EXTERIOR SELF-LEVELING TOPPING BY ARDEX (K301) OR APPROVED EQUAL. PLACE PER MFG. STRICT INSTALL REQUIREMENTS. COVER WITH WATER BOURNE SCALER



Proposed Seating Plan
1/4" SC

WALL LEGEND

- Existing exterior wall to remain
- New exterior Infill concrete block wall
- Indicates new interior non-bearing wood stud partition

FIRE DEPARTMENT NOTES:

- FD-1 Florida Fire Prevention Code 5th Edition.
- FD-2 Will provide Life Safety plan @ Building Permit.
- FD-3 Knox Box @ +6' Ab. Fin. Walk.
- FD-4 Min. 6'H. Bldg. Numbers (see elevations)
- FD-5 9"X9" REFL. TRUSS SIGN

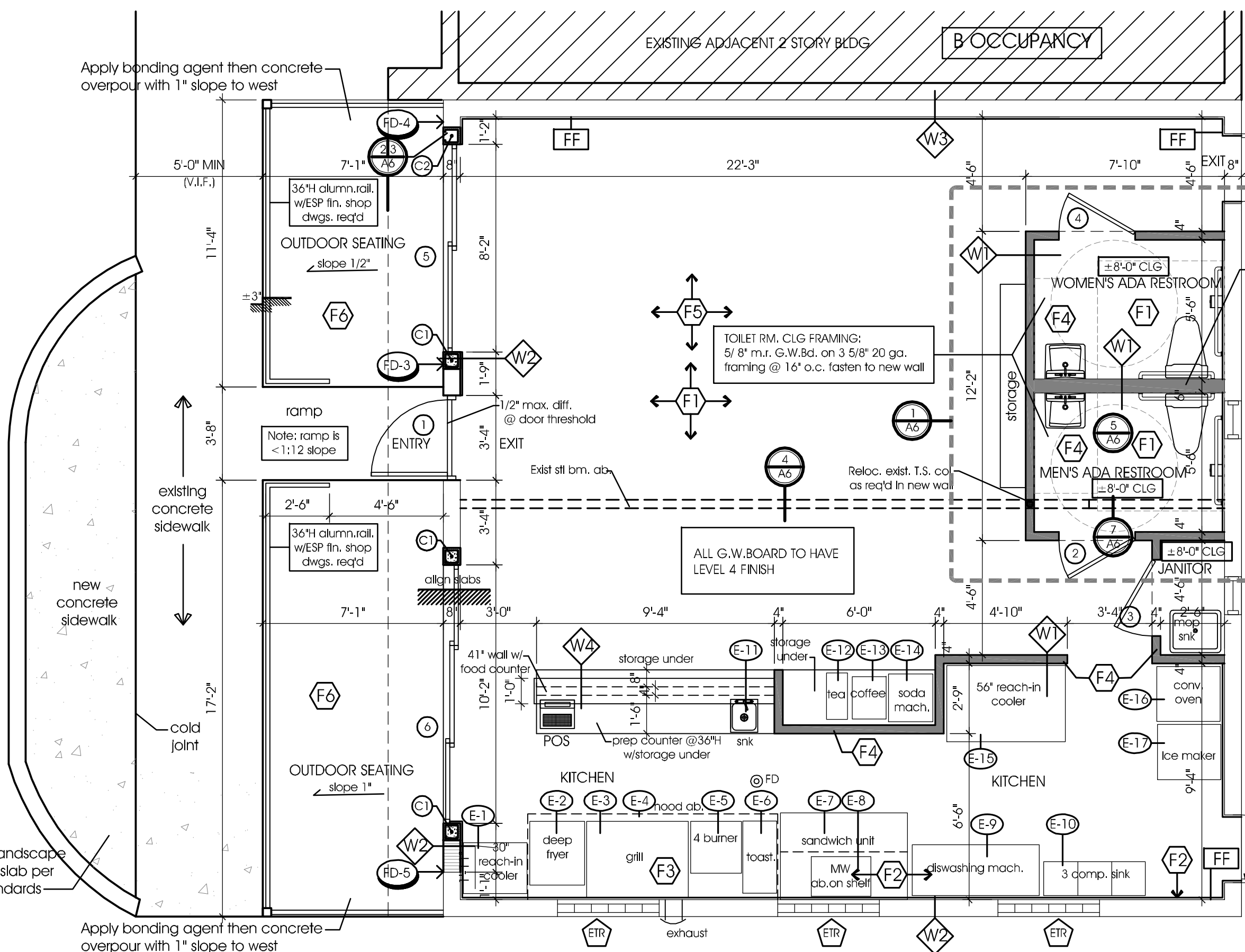
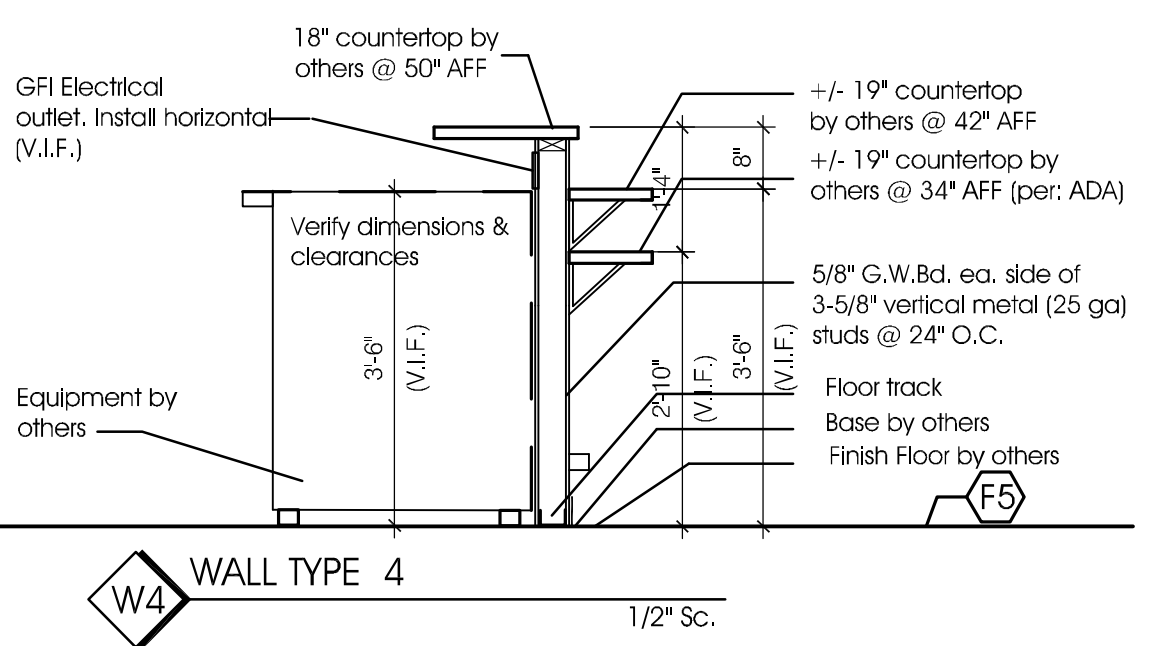
PER NFPA 101/FPC

SPRAY FOAM INSULATION SCHEDULE (WALLS/CLG)

INDICATION	TYPE	THICK	'R'
LDI - 5 1/2"	Light Density Spray Foam Insulation	5 1/2"	20.3
FF	Fl-Foil AA2 Vapor Shield	2 layers	4.1

Medium Density MD-R-200
 Light Density LD-C-50-V2
 Designation Based on Isylene
 ROOF/ EXTERIOR WALL SPRAY FOAM NOTE:
 Apply min. 2" med. density SF to connection of all joists to sheathing followed by 5/2" of light density SF
 Intumescent barrier use no burn plus XD spray applied per mfg. application recommendation

Facade Modification and Level II Alteration
Green Owl Restaurant
 11 SE 4th Ave.
 Delray Beach, Florida
 RBA.PN.10116.01



Partial Site Plan/Proposed Floor Plan
1/4" SC

WALL LEGEND

- Existing exterior wall to remain
- New exterior Infill concrete block wall
- Indicates new interior non-bearing wood stud partition

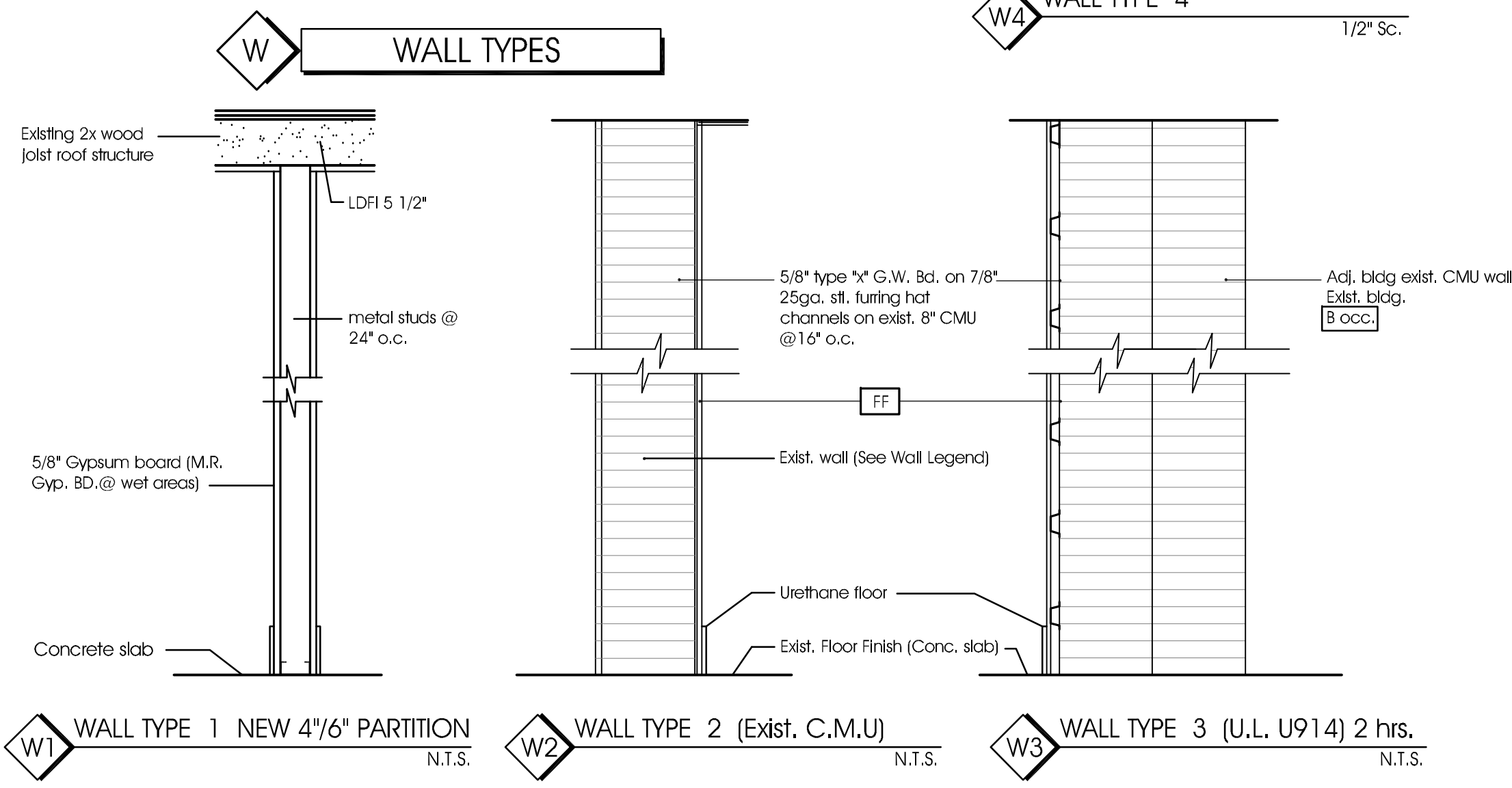
KITCHEN EQUIPMENT SCHEDULE:

Item#	Qty.	Description
E-1	1	30" Reach-in cooler
E-2	1	Deep Fryer
E-3	1	Grill
E-4	1	Vent Hood (Per shop dwgs)
E-5	1	4 Burner
E-6	1	Toaster
E-7	1	Sandwich Prep Unit
E-8	1	Microwave
E-9	1	Dishwashing Machine
E-10	1	3-Compartment Sink
E-11	1	Hand Sink
E-12	1	Tea Machine
E-13	1	Coffee Machine
E-14	1	Soda Fountain Machine
E-15	1	56" Reach-in cooler
E-16	1	Convection Oven
E-17	1	Ice Maker

NOTE: All equipment by owner except hood.



Proposed Floor Plan
1/4" SC



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Issued:
 Permit Set
 G.C. Bid Set
 4/15/16: Review Set

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