ZONING DATA:

LAND USE DESIGNATION: CITY LAUDERDALE LAKES B-2 COMMUNITY BUSINESS DISTRICT

PARKING:

REQUIRED: NONE AFFECTED

BUILDING CLASSIFICATION FOR GARAGE AND OFFICE:

OCCUPANCY TYPE: FLORIDA BUILDING CODE 5TH EDITION, SECTION 304- GROUP B - BUSINESS 2014 FLORIDA EDITION OF NFPA 101: CHAPTER 39 - EXISISTING BUSINESS OCCUPANCY

BUILDING FIRE PROTECTION:

AREA SPRINKLERED:

BUILDING IS NOT SPRINKLERED

BUILDING CONSTRUCTION TYPE: IIA PER 2014 FBC 5TH EDITION

REQUIRED ASSEMBLY RATINGS: CONSTRUCTION TYPE

PER FBC TABLE 601

STRUCTURAL FRAME 1HOUR

BEARING WALLS - EXTERIOR 1 HOUR INTERIOR 1 HOUR

NON-BEARING WALLS, INTERIOR PARTITIONS 0 HOUR

FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 1 HOUR ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 1 HOUR

FIRE EXTINGUISHER NOTES:

ANY EXISTING PORTABLE FIRE EXTINGUISHERS, FIRE HOSE CABINETS OR FIRE EXTINGUISHER CABINETS ARE EXISTING TO

REMAIN UNLESS OTHERWISE NOTED.

CONTRACTOR TO VERIFY THAT EXTINGUISHER IS ABC TYPE AND BE IN COMPLIANCE WITH NFPA 10 "STANDARD FOR PORTABLE FIRE EXTINGUISHERS AND BE RATED FOR LIGHT / LOW HAZARD OCCUPANCY WHERE NEEDED AS MINIMUM RATING 2A .ALSO COMPLY WITH FBC 906.

BUILDING INFORMATION:

NUMBER OF STORIES: 4 STORY

BUILDING HEIGHT: TO TOP OF PARAPET +/- 40'-0"

AREA OF WORK: 2100 SQFT.

GOVERNING CODES AND REGULATIONS:

FLORIDA BUILDING CODE (2014 5TH EDITION) INCLUDING: FLORIDA ACCESSIBILITY CODE FLORIDA ENERGY CODE

FBC TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES (2014 5TH EDITION)

FBC MECHANICAL CODE (2014 5TH EDITION)

FBC PLUMBING CODE (2014 5TH EDITION)

FBC FUEL GAS CODE (2014 5TH EDITION)

FLORIDA ADMINISTRATIVE CODES (INCLUDING LIFE SAFETY CODE):

CHAPTER 69A-3.012: STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION AND OTHER STANDARDS ADOPTED

FLORIDA FIRE PREVENTION CODE (2014) WHICH INCLUDES:

FLORIDA STATUTES, CHAPTER 633: FIRE PREVENTION AND CONTROL

FLORIDA ADMINISTRATIVE CODE, CHAPTER 69A

FLORIDA ADMINISTRATIVE CODE, CHAPTER 69A-60: FLORIDA FIRE PREVENTION CODE

NFPA 1, UNIFORM FIRE CODE (2014 FLORIDA EDITION)

NFPA 101, LIFE SAFETY CODE (2014 FLORIDA EDITION) FEDERAL CODES AND REGULATIONS:

THE AMERICANS WITH DISABILITIES ACT (ADA) AND ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (2012).

FAIR HOUSING

PROJECT DESCRIPTION

THIS IS A PROJECT TO REDESIGN EXISTING OFFICE SPACE.

PROJECT DESIGN TEAM

ARCHITECTURE & INTERIORS

CCS ARCHITECTURE

AND INTERIOR DESIGN 499 EAST PALMETTO PARK ROAD SUITE 204 BOCA RATON, FL 33432 TEL 561-479-9884

ELECTRICAL, MECHANICAL, PLUMBING ENGINEERING

TEL 954-471-8657

UNITED AMERICAN ENGINEERS CONSULTING ENGINEERS 4508 SW 24TH STREET FORT LAUDERDALE, FL 33317

WWW.CCSARCH.COM AA26001852

PROJECT DRAWING INDEX		
Sheet Number	Sheet Name	

ARCHITECTURE GN-001 COVER SHEET PROJECT INFORMATION A1.0 DEMOLITION AND KEY PLAN A2.0 NEW WORK FLOOR PLAN

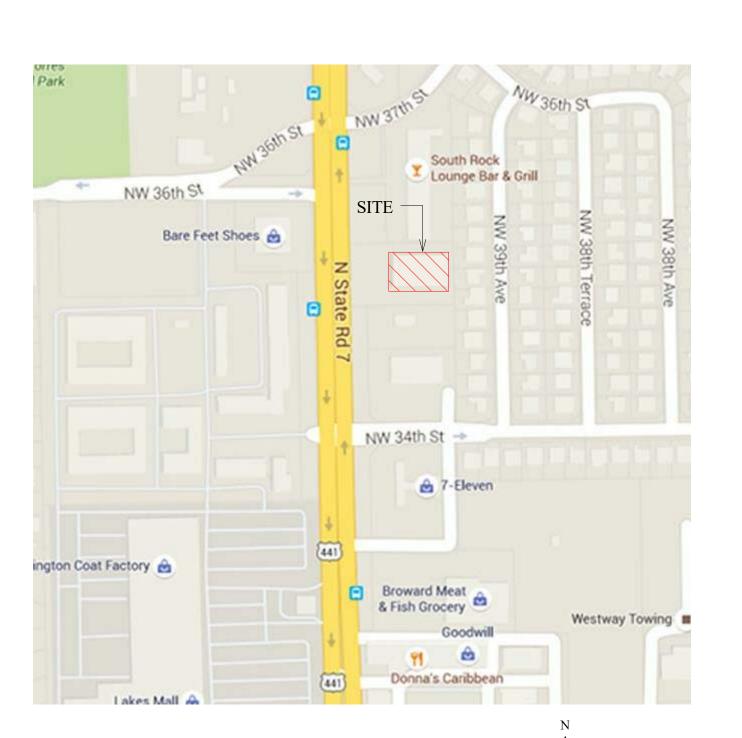
,	
A3.0	REFLECTED CEILING PLAN
A8.0	CONSTRUCTION DETAIL
A9.0	DOOR AND HARDWARE SCHEDULE
A10.0	PROJECT SPECIFICATIONS
A10.1	PROJECT SPECIFICATIONS
A10.2	PROJECT SPECIFICATIONS
A10.3	PROJECT SPECIFICATIONS
A4.0	INTERIOR ELEVATION
A10.4	PROJECT SPECIFICATIONS
A10.5	PROJECT SPECIFICATIONS

ELECTRICAL	
E-1	

E-1	ELECTRICAL PLAN
E-2	ELECTRICAL RISER, PANEL, SCHEDULES

MECHANICAL SPECIFICATIONS

M-1 MECHANICAL PLAN



LOCATION MAP



GENERAL NOTES FOR PROJECT

- 001. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE DRAWINGS AND THE PROJECT MANUAL (SPECIFICATIONS, SCHEDULES, ETC.). THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THESE DRAWINGS AND THE PROJECT SPECIFICATIONS AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES THAT HE DISCOVERS.
- PROVIDE CONTINUOUS SEALANT TO PROVIDE "WATER-TIGHT" AND "AIR-TIGHT" CONDITION AT THE PERIMETERS OF ALL DOOR FRAMES. INTERIOR WINDOW FRAMES, EXTERIOR WINDOW FRAMES, WINDOW STOOLS, CABINETS, CASEWORK, COUNTERTOPS, PLUMBING FIXTURES, TOILET ACCESSORIES (BOTH RECESSED & SURFACE MOUNTED), FIRE EXTINGUISHER CABINETS, FIRE DEPARTMENT VALVE CABINETS, ETC. (EVEN WHEN THE JOINT AT THE PERIMETER IS EITHER HIDDEN OR NOT READILY VISIBLE).
- EQUIPMENT INDICATED WITH DASHED LINES SHALL BE FURNISHED BY THE TENANT/OWNER AND RECEIVED/STORED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE TENANT/OWNER AND LANDLORD FOR THE DELIVERY AND INSTALLATION OF ALL TENANT/OWNER FURNISHED EQUIPMENT/FURNITURE.
- THE CONTRACTOR SHALL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT ALL PHASES OF CONSTRUCTION. ALL EXISTING STAIRWAYS (IF ANY)AND RATED EXIT PASSAGEWAYS SHALL BE MAINTAINED SO THAT THEY ARE CLEAR AND ACCESSIBLE: AND THE INTEGRITY OF THE DESIGNATED RATED ENCLOSURE AROUND THEM SHALL ALSO BE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.
- THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED SO AS TO PROVIDE WATER-TIGHT, WEATHER-TIGHT AND CONDITIONED EXISTING SPACE AT ALL TIMES THROUGHOUT ALL PHASES OF CONSTRUCTION. PROVIDE TEMPORARY ENCLOSURES AS REQUIRED. PROVIDE PORTABLE HEATING UNITS AND/OR COOLING UNITS TO MAINTAIN 70 DEGREES F. (INSIDE TEMPERATURE) IN OCCUPIED SPACES, UNLESS OTHERWISE DIRECTED BY THE TENANT AND/OR OWNER.
- ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS OR RESTRICTIONS, WHETHER INDICATED OR NOT.
- 007. GC SHALL COORDINATE ALL THE WORK OF THE TRADES.
- 008. CONSTRUCTION SHALL FOLLOW THE 2010 FLORIDA BUILDING CODE AND ALL OTHER APPLICABLE CODES.
- 009. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO STARTING ANY WORK AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY IN WRITING OR THE GENERAL CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS. DO NOT SCALE DRAWINGS. GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING IF ADDITIONAL INFORMATION IS REQUIRED TO OBTAIN A BUILDING PERMIT.
- 010. THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE FLORIDA ENERGY CODE. CONTRACTOR SHALL BE FAMILIAR WITH THE GOVERNING CODE IN ITS ENTIRETY AND AND BUILD IN ACCORDANCE WITH THE PROVISION OF THE CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND IN THE NOTES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL OR NON-STRUCTURAL ELEMENTS DURING
- 012. PROJECT SUBMITTAL S AND SHOP DRAWINGS ARE TO BE PROVIDED TO THE ARCHITECT AS PER THE PROJECT SPECIFICATIONS SECTION 01 33 00 LISTED IN THE PLANS.
- PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL SUPPLY THE ARCHITECT WITH A COMPLETE LIST OF ITEMS REQUIRING ARCHITECTURAL, ELECTRICAL, MECHANICAL AMD PLUMBING REVIEW ALONG WITH THE DATES BY WHICH THEIR REVIEW MUST BE COMPLETED.
- 014. ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVING THEIR BUILDING DEBRIS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE JOBSITE AS WELL AS ALL ADJACENT AREAS AFFECTED BY CONSTRUCTION BROOM CLEAN AT ALL TIMES. IF THIS REQUIREMENT IS NOT COMPLETED ON A DAILY BASIS THEN THE ARCHITECT SHALL DEDUCT THE COST OF MAINTAINING A CLEAN JOBSITE DIRECTLY FROM THE CONTRACT RETAINAGE.

499 East Palmetto Park Rd. Suite 204 Boca Raton, FL 33432

T 561.479.9884 www.ccsarch.com Florida Registration Number AA26001852

CONSULTANTS:

ELECTRICAL, MECHANICAL, PLUMBING:

AMERICAN UNITED ENGINEERS 4508 SW 24TH STREET FORT LAUDERDALE, FL 33317 PHONE: (954) 471-8657

Project Name

SUITE 300 WORLD EXECUTIVE CENTER 3500 N STATE ROAD 7 LAUDERDALE LAKES, FL 33319

INTERIOR IMPROVEMENTS

FINAL CONTRACT DOCUMENTS

PROJECT NUMBER: 1602 MAY 11,2016

Description

ADDENDA/REVISION

SEAL:

CYNTHIA C. SPRAY, AIA AR-94167 DRAWING TITLE:

> **PROJECT** INFORMATION

DRAWING NO:

X1