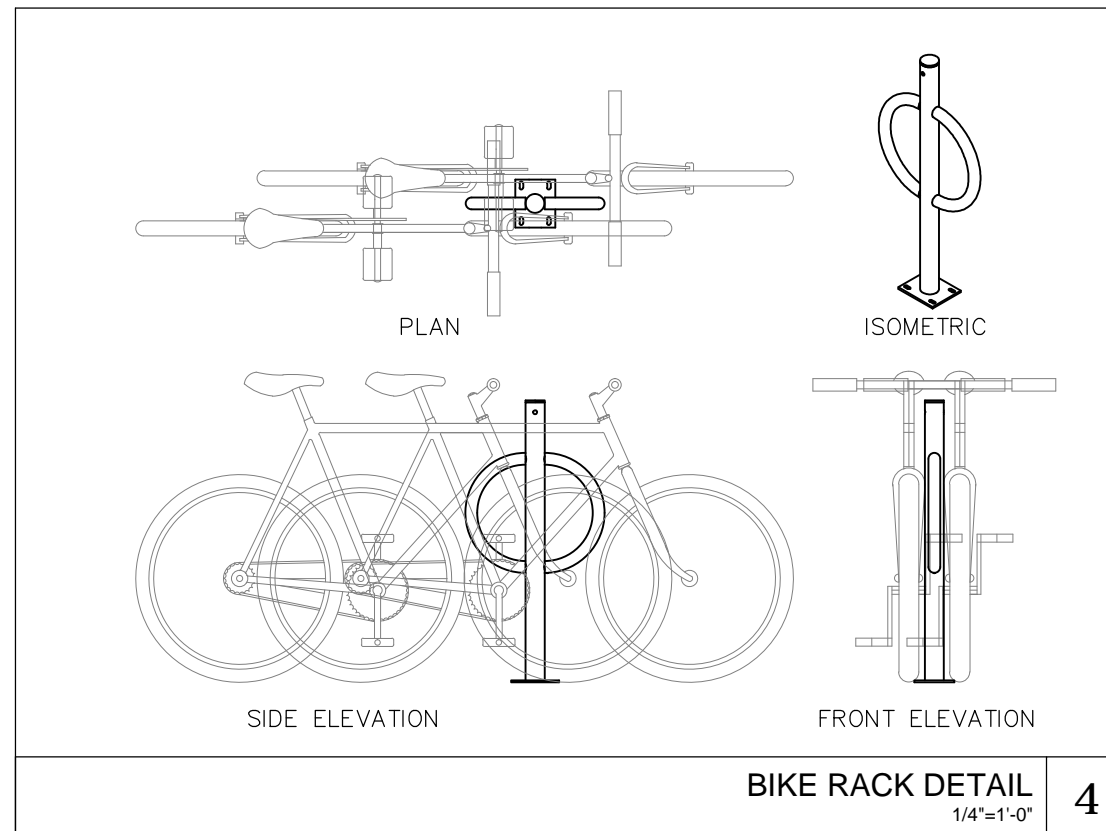
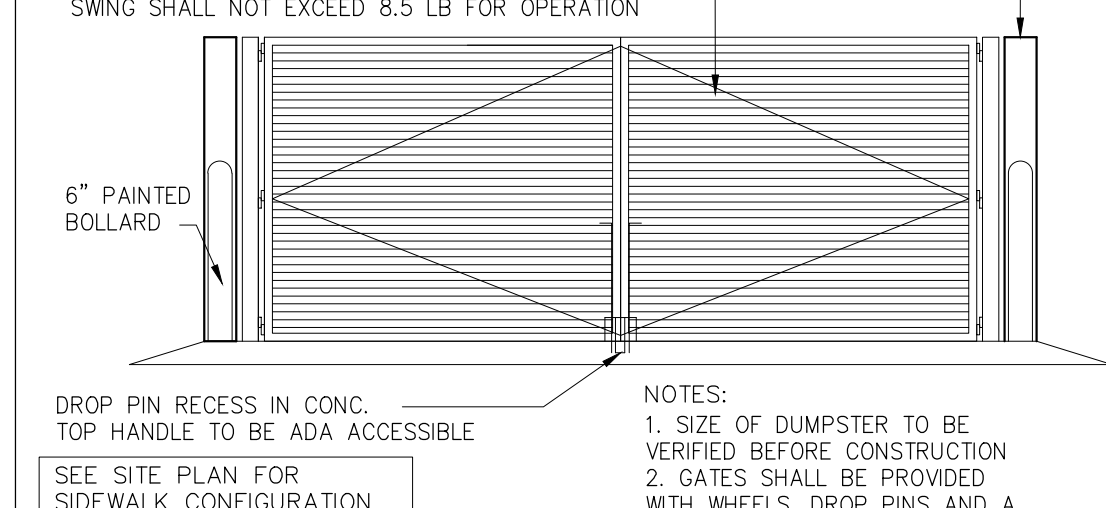


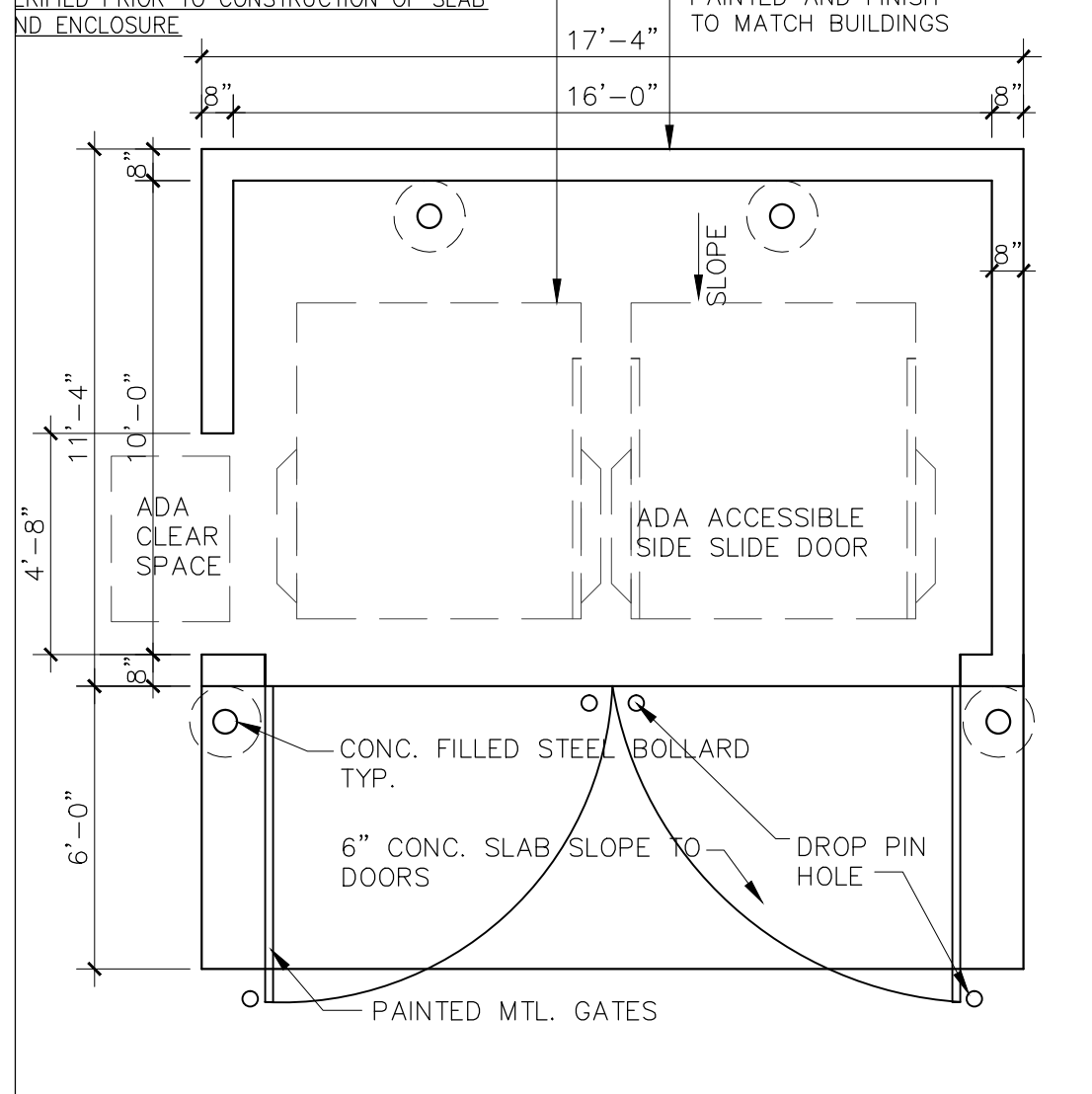
MASTER SITE PLAN 7



BIKE RACK DETAIL 4



DUMPSTER ENCLOSURE 3



PEDESTRIAN ZONE

THE PEDESTRIAN ZONE IN FRONT OF COMMERCIAL BUILDINGS SHALL BE A MINIMUM OF EIGHT (8) FEET IN WIDTH AND AN AVERAGE OF AT LEAST THIRTEEN (13) FEET IN WIDTH. A MINIMUM OF TWENTY-FIVE (25) PER CENT OF THE FRONT PEDESTRIAN ZONE SHALL BE EXPOSED, AT GRADE, LANDSCAPE PLANTERS OR CURBED LANDSCAPED AREAS.

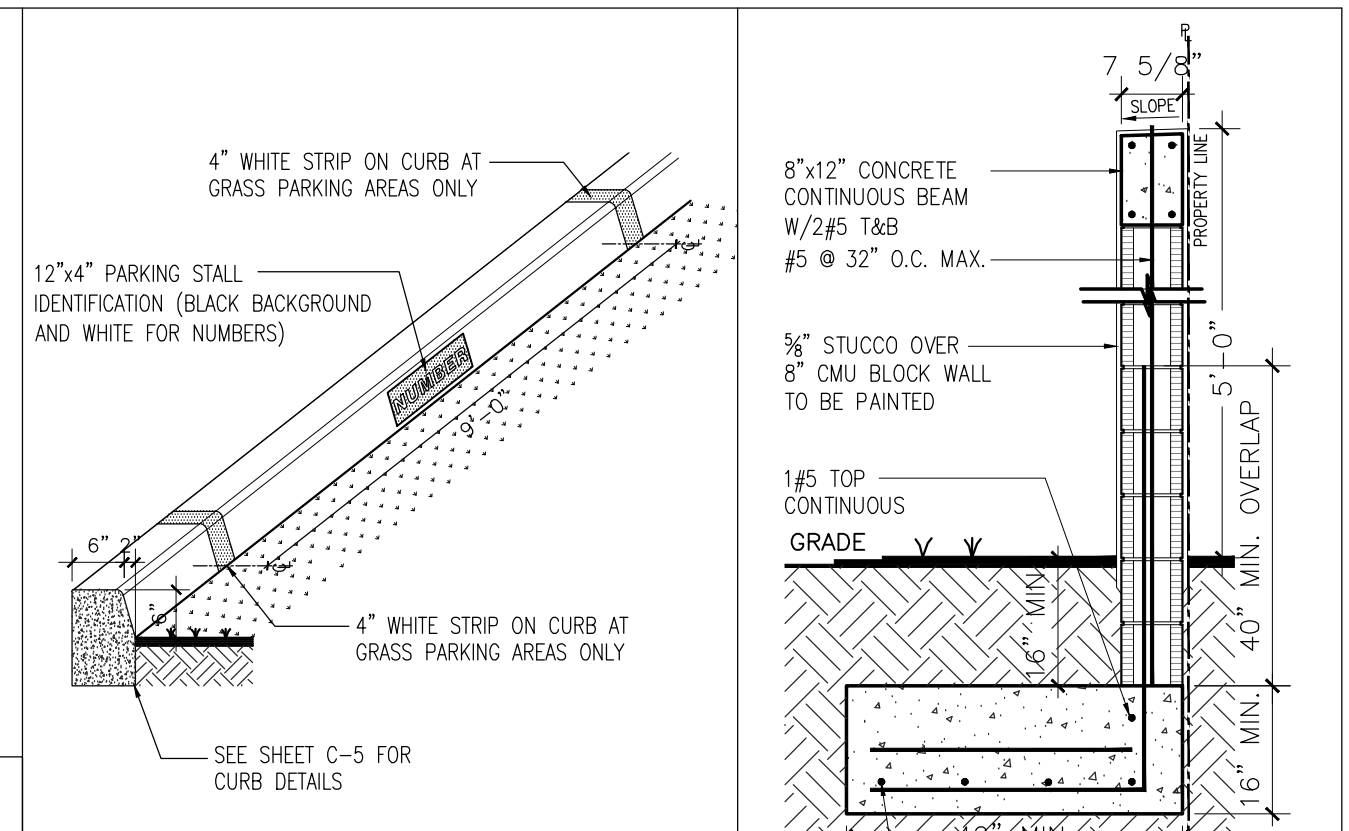
AREA (13' X 161'-7") REQUIRED (25% MIN) PROVIDED (30.12%)  
 2,100.58 SQ.FT. 525.14 SQ.FT. 632.82 SQ.FT.

OFF STREET PARKING CODE:  
 SEC. 250814 (7) (B) EIGHTY (80) % OF THE REQUIRED OFF-STREET PARKING FACILITIES MAY BE PROVIDED THROUGH THE UTILIZATION OF A GRASS OR LAWN PARKING SURFACE AREA WHEN THE USE OF THE PROPERTY FOR WHICH THE OFF-STREET PARKING IS REQUIRED IS FOR THE FOLLOWING:  
 CHURCH  
 • FUNERAL HOME  
 • STADIUM OR OTHER SPORTS FACILITY  
 SEC. 250816 (3) (C) PLACES OF WORSHIP: ONE (1) PARKING SPACE FOR EACH FIFTY (50) SQUARE FEET OF AUDITORIUM, CHAPEL AREA AND PLACES OF PUBLIC ASSEMBLY, NOT INCLUDING THE FOLLOWING USES WHEN ACCESSORY TO THE PLACE OF WORSHIP:  
 RELIGIOUS SCHOOL CLASSROOMS.  
 OFFICES.

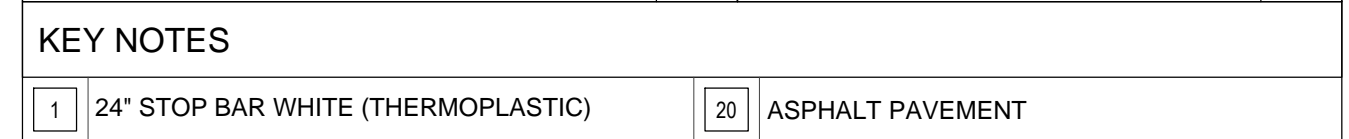
| ASSEMBLY AREAS CALCULATION | NET AREA (SQ.FT.) |
|----------------------------|-------------------|
| AREA                       | 1,017             |
| LOBBY AREA                 | 2,396             |
| MULTIPURPOSE ROOM          | 192               |
| CAFE AREA                  | 3,605             |
| TOTAL AREA PHASE I         | 6,305             |
| FUTURE BUILDING PHASE II   | 2,695             |
| TOTAL ASSEMBLY AREA        | 6,300             |

PARKING DATA  
 6,300 SF/50 SF= 126 SPACES REQUIRED  
 ASSEMBLY AREA @ 1 SPACE /50 SF  
 (SEE FOOTNOTES: OFF-STREET PARKING CODE SEC 250816 (3) (C))  
 80% (UP TO 100 SPACES) ON GRASS PARKING ALLOWED

| PARKING           | REQUIRED | PROVIDED         |                | TOTAL |
|-------------------|----------|------------------|----------------|-------|
|                   |          | ON ASPHALT (56%) | ON GRASS (44%) |       |
| TOTAL REQUIRED    | 126      | 71               | 55             | 126   |
| LOADING AREA      | 1        | 1                | -              | 1     |
| ACCESSIBLE SPACES | 5        | 6                | -              | 6     |
| BICYCLE SPACES    | 5        | -                | -              | 6     |



STENCIL NUMBER ON CURB DETAIL 5



TYP. WALL SECTION 6

KEY NOTES  
 1 24" STOP BAR WHITE (THERMOPLASTIC)  
 2 2-4" WHITE STRIPES (TYP AT PARKING SPACES)  
 3 TRAFFIC ARROWS PAINTED WHITE  
 4 (2) 6" YELLOW STRIPES  
 5 A.D.A. PARKING AS PER DETAIL  
 6 A.D.A. SIGN 7'-0" A.F.P.  
 7 STANDARD F.D.O.T "DO NOT ENTER" SIGN (R5-1) (SEE DETAIL 5/A1.1)  
 8 STANDARD F.D.O.T HIGH INTENSITY "STOP" SIGN (R1-1) (SEE DETAIL 5/1.1)  
 9 18" YELLOW STRIPES @ 45° AT 4" O.C (THERMOPLASTIC)  
 10 6" YELLOW STRIPES (THERMOPLASTIC)  
 11 STANDARD F.D.O.T HIGH INTENSITY "RIGHT TURN ONLY" SIGN (R3-SR) (SEE DETAIL 5/A1.1)  
 12 6" WHITE STRIPES @ 2" O.C PER F.D.O.T INDEX N° 17346  
 13 8" SOLID WHITE STRIPES (THERMOPLASTIC) W/18" WHITE CHEVRONS PER F.D.O.T INDEX N° 17346  
 14 8" SOLID WHITE STRIPES (THERMOPLASTIC) CHEVRONS PER F.D.O.T INDEX N° 17346  
 15 18" SOLID YELLOW STRIPES @ 45° AT 4" O.C (THERMOPLASTIC)  
 16 PEDESTRIAN CROSSING (6" WIDE-12" WHITE @ 3" O.C 5% MAX SLOPE, 2% MAX CROSS SLOPE)  
 17 PEDESTRIAN CROSSING SIGN (W11A-2) (SEE DETAIL 5/A1.1)  
 18 "NO PARKING-LOADING ZONE" SIGN (R7-6) (SEE DETAIL 5/A1.1)  
 19 6" WHITE STRIP (THERMOPLASTIC)

|   |   |
|---|---|
| 20 ASPHALT PAVEMENT   | 21 LANDSCAPE AREA                                 |
| 22 BRICK PAVERS   | 23 P.C.C CONCRETE SIDEWALK                        |
| 24 BAHIA GRASS  | 25 6" P.C.C TYPE 'D' CURB                         |
| 26 DUMPSTER ENCLOSURE W/ ALUM LOUVERED GATES (SEE DETAIL 3/A1.0)        | 27 6" MIN THICKNESS CONC SLAB (SEE DETAIL 5/A1.1) |
| 28 BICYCLE RACK "BIKE HITCH" BY DERO (SEE DETAIL 4/A1.0) - WWW.DERO.COM | 29 BICYCLE PARKING SIGN                           |
| 30 PARKING LIGHTS   | 31 SITE LIGHTS                                    |
| 32 BENCH  | 33 TREE PLANTER WITH GRATES                       |
| 34 ADDRESS LOCATION   | 35 CONCRETE WHEEL STOP                            |
| 36 ROOF ACCESS LADDER W/ SECURITY DOOR                                  | 37 4" Ø STEEL BOLLARD 48" HEIGHT                  |

PLAN AND KEY NOTES 2

LEGAL DESCRIPTION  
 FOLIO N° 48-41-17-06-1490 OR BOOK 37215 PAGE 1531, B.C.R. THE SOUTH 380.00 FEET OF PARCEL "B" CASTLEWOOD ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 71, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, F.; LESS THE WEST 490.50 FEET.

ZONING DATA  
 AREA OF SITE 118,346.7 SF (2.71 ACRE)  
 GROSS AREA OF BUILDING 10,500 SQ.FT. (PROPOSED FOOTPRINT)  
 ZONING CLASSIFICATION COMMUNITY BUSINESS (B-2) DISTRICT  
 LAND USE COMMERCIAL  
 TOTAL S.F. OF PERVIOUS AREA 62,468.09 SF (52.8%)  
 TOTAL S.F. OF IMPERVIOUS AREA 55,878.61 SF (47.2%)  
 FLOOD ZONE AH  
 BASE FLOOD ZONE +11'-0"  
 ALLOWABLE BUILDING HEIGHT 100'  
 PROPOSED BUILDING HEIGHT ± 30'-0" HIGH POINT OF ROOF DECK  
 ABUTTING PROPERTIES ZONING/LAND USE (REFER TO ZONING MAP 2/A1.0)

BUILDING DATA  
 MAXIMUM ALLOWABLE HEIGHT 55'-0"  
 NUMBER OF STORIES 2 STORY  
 MAXIMUM ALLOWABLE AREA PER FLOOR 9,500 S.F. x 3 = 28,500 S.F.  
 PROPOSED BUILDING AREA 10,500 S.F.  
 FUTURE BUILDING AREA 5,172 S.F.  
 CONSTRUCTION TYPE II B (EQUIPPED WITH AUTOMATIC SPRINKLER)  
 OCCUPANCY TYPE A3 ASSEMBLY (PLACES OF RELIGIOUS WORSHIP)

| SETBACKS  | REQUIRED | PROVIDED |
|-----------|----------|----------|
| FRONT     | 65'-0"   | 188'-10" |
| EAST SIDE | 0'-0"    | 32'-2"   |
| WEST SIDE | 0'-0"    | 116'-3"  |
| REAR      | 25'-0"   | 97'-0"   |

PROJECT DATA 1

REVISIONS  
 1.  
 2.  
 3.  
 4.  
 5.  
 6.  
 7.  
 8.  
 9.  
 10.

ALL AREAS DENOTED, DIMENSIONS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE KEPT IN CONFIDENCE AND NOT REPRODUCED OR USED IN CONNECTION WITH THE SPECIFIED PROJECT, NONE OF WHICH SHALL BE MADE, ARRANGEMENTS AND PLANS SHALL BE USED OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION OF RWB LINARES ARCHITECTURE, INC.

LIFE FELLOWSHIP  
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RWB  
 Linares  
 ARCHITECTURE

PROJECT # 14067  
 DATE 05-19-16  
 SHEET #

S1.0  
 JUAN C. LINARES

AA26000640