

GRADING PLAN
SCALE: 1" = 10'

LEGEND

- 19.72 * EXISTING GRADE
- DIRECTION OF FLOW
- 20.20 PROPOSED GRADE
- [Pattern] EXISTING ASPHALT TO REMAIN
- [Pattern] EXISTING CONCRETE TO REMAIN
- [Pattern] EXISTING CONCRETE TO BE REMOVED
- [Pattern] PROPOSED CONCRETE
- [Pattern] PROPOSED BUILDING ADDITION

- F.H. FIRE HYDRANT
- C.O. CLEANOUT
- M.H. MANHOLE
- C.B. CATCH BASIN
- C.I. CURB INLET
- U.E. UTILITY EASEMENT
- C.A.P. CORRUGATED ALUMINUM PIPE
- D.I.P. DUCTILE IRON PIPE
- P.V.C. POLYVINYL CHLORIDE
- C.P.P. CORRUGATED POLYETHYLENE PIPE
- D.D.C.V. DOUBLE DETECTOR CHECK VALVE

SURVEYING NOTES:
1. EXISTING ELEVATIONS AND CONDITIONS SHOWN HEREON WERE TAKEN FROM A SURVEY PREPARED BY JOHN A. GRANT, JR., INC.; JOB NO. JG-100-7658 ON 8/20/15; LAST UPDATED 5/19/2016.

2. ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).
3. REFERENCE BENCHMARK: "CITY OF BOCA RATON BENCH MARK NUMBER 293" - 100 FEET SOUTH OF THE CENTERLINE OF NORTHWEST 51ST STREET, 120 FEET EAST OF THE WEST PROPERTY LINE OF FIRST BAPTIST CHURCH, ON THE NORTHWEST CORNER OF WELL NUMBER 21. BOCA ROAD DEPARTMENT. ELEVATION = 20.145 FEET (NGVD 29).

4. THIS PROPERTY LIES IN FLOOD ZONES "B"
FLOOD INSURANCE RATE MAP INFORMATION
COMMUNITY NO.: 120195
PANEL NO.: 0005-C
MAP REVISED: SEPTEMBER 19, 1984

NOTES TO CONTRACTOR:

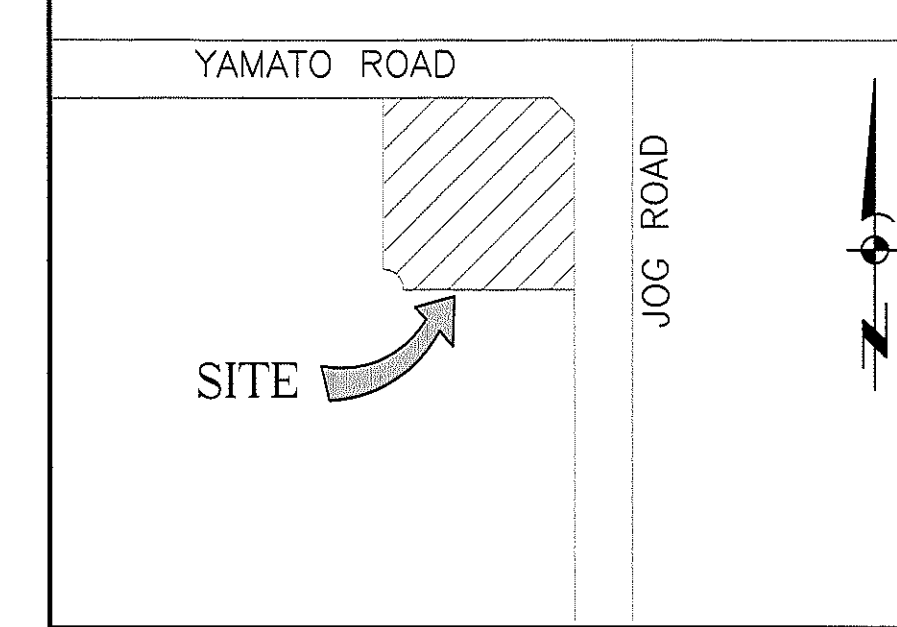
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES, DRAINAGE OR ROADWAY CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE CONFLICT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL MAINTAIN AND ADJUST ALL EXISTING MANHOLE COVERS, HANDHOLE BOXES, METER BOXES AND VALVE BOXES TO FINISHED GRADE AS REQUIRED.
- ALL ACCESSIBLE ROUTES SHALL NOT EXCEED A SLOPE OF 1:20 (5%) AND CURB CUT RAMPS SHALL NOT EXCEED A SLOPE OF 1:12 (8.33%). RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50 (2%).

ENVIRONMENTAL NOTES:

- ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN PER CODE SECTION 27-45.
- ALL TREES PLANTED IN ISLANDS CONTAINING HYDRANTS OR FDCs MUST COMPLY WITH FLORIDA FIRE PREVENTION CODE 18.3.4.1 - CLEARANCE OF 7'-6" IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT, WITH A 4' CLEARANCE TO THE REAR OF THE HYDRANT.
- METERS SHALL HAVE AT LEAST 3' OF UNOBSTRUCTED ACCESS TO AND VIEW OF THE MANHOLE OR METER FROM THE PUBLIC RIGHT-OF-WAY AND AT LEAST 5' OF VERTICAL CLEARANCE ABOVE THE MANHOLE OR METER PIT.
- ALL LIMESTONE AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TO THE LANDSCAPING OF THE SITE.
- THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED CITY OF BOCA RATON PERMIT. ANY SITE WORK MUST BE DONE UNDER AN ENVIRONMENTAL PERMIT PER CITY OF BOCA RATON CODE OF ORDINANCES.
- PLEASE CONSIDER THE MATURE SIZE OF TREES WHEN PLANNING LIGHTING POLES. SHORTER POLES MAY NEED TO BE INSTALLED AT CLOSER SPACING IN ORDER TO KEEP THE TREE CANOPY FROM BLOCKING THE LIGHT SOURCE.

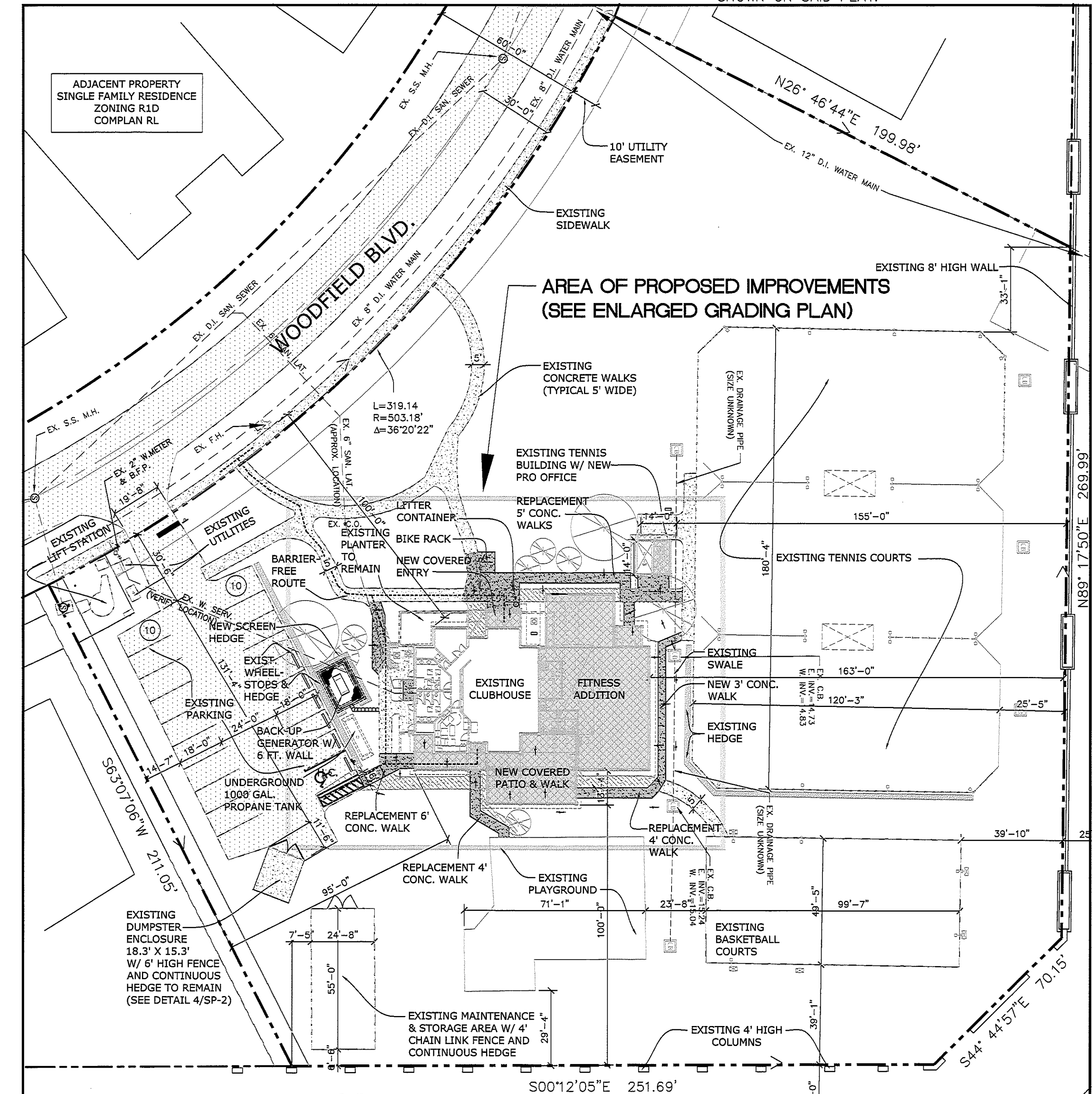
PLANS ARE COMPLIANT WITH ALL ACCESSIBILITY REQUIREMENTS PER THE 2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
PLANS ARE IN CONFORMANCE WITH THE APPROVED DEVELOPMENT ORDER: SPA-15-17/15-97500019.
RESOLUTION NO. 2016-002 CONDITIONS OF APPROVAL:

- THIS APPROVAL IS BASED ON A SITE PLAN ENTITLED "WOODFIELD HUNT CLUB CLUBHOUSE RENOVATION AND EXPANSION" SUBMITTED BY SLATTERY & ASSOCIATES, INC., DATE STAMPED RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON JANUARY 21, 2016 ("AMENDMENT TO THE SITE PLAN").
- THE CLUBHOUSE SHALL NOT BE OPEN TO THE GENERAL PUBLIC AND IS FOR THE USE OF WOODFIELD HUNT CLUB RESIDENTS AND THEIR GUESTS ONLY.
- THE PLANS AND DRAWINGS MAY BE MODIFIED AS REQUIRED BY THE CODE OF ORDINANCES OR BY THE COMMUNITY APPEARANCE BOARD ACTING WITHIN THE SCOPE OF ITS POWERS AND DUTIES WHICH ARE LIMITED TO REVIEW OF THE BUILDING PERMIT APPLICATION FOR CONSISTENCY WITH THE APPROVED PLANS.
- PRIOR TO ISSUANCE OF THE MAIN USE BUILDING PERMIT, THE OWNER SHALL:
 - SUBMIT WATER, SEWER, PAVING AND DRAINAGE PLANS FOR ON-SITE AND OFF-SITE IMPROVEMENTS WHICH SHALL BE REVIEWED AND APPROVED BY CITY STAFF RESPONSIBLE FOR PUBLIC WORKS REVIEW AND OTHER REQUIRED GOVERNMENTAL AGENCIES.
 - PROVIDE A LETTER OF CREDIT OR CASH BOND, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, IN AN AMOUNT EQUAL TO 110% OF THE COST OF CONSTRUCTION, FOR ALL OFF-SITE CONSTRUCTION ACTIVITY AND CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY.
 - PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION, THE OWNER SHALL COMPLETE ALL IMPROVEMENTS SHOWN ON THE APPROVED PUBLIC WORKS REVIEW PLANS, INCLUDING BOTH OFF-SITE AND ON-SITE IMPROVEMENTS SHALL BE CONSTRUCTED AND ACCEPTED BY THE CITY.



LOCATION SKETCH
SECTION 10, TOWNSHIP 47S, RANGE 42E
N.T.S.

PROPERTY DESCRIPTION
TRACT F OF WOODFIELD HUNT CLUB II, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, PAGES 149 THROUGH 153, INCLUSIVE OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, INCLUDING ALL PRIVATE ROAD RIGHT-OF-WAYS AS SHOWN ON SAID PLAT.



EXISTING WATER DEMAND: 2,271 SF X 0.10 GPD/SF = 227.1 GPD
PROPOSED WATER DEMAND: 4,844 SF X 0.10 GPD/SF = 484.4 GPD
INCREASE IN WATER DEMAND = 257.3 GPD

NOTE: THIS CLUBHOUSE IS LOCATED WITHIN AN EXISTING ESTABLISHED SINGLE FAMILY RESIDENTIAL MPUD COMMUNITY WITH A FIXED NUMBER OF HOMES AND RESIDENTS.

DISCLAIMER: INFORMATION SHOWN ON THIS PLAN IS A GRAPHIC REPRESENTATION ONLY, AND IS NOT TO BE USED IN LIEU OF A HORIZONTAL CONTROL PLAN.

48 HOURS BEFORE DIGGING
BROWARD • PALM BEACH • INDIAN RIVER • ST. LUCIE • MARTIN COUNTIES
CALL TOLL FREE
1-800-432-4770
FOR UNDERGROUND UTILITIES NOTIFICATION AND LOCATION

OVERALL SITE
SCALE: 1" = 30'
CITY OF BOCA RATON
PROJECT #45-16-19

NEAL B. JANOV #21998

DIVERSIFIED CONSTRUCTION
DCES
& ENGINEERING SERVICES
2295 N.W. CORPORATE BLVD., #125, BOCA RATON, FL 33431
561-750-3717 FAX 561-750-3686
EB #6459

REVISIONS	DATE	DWN. BY	CHK. BY
1. REVISED PER 7/15/16 PER COMMENTS	7/22/16	S.T.	
2.			
3.			
4.			
5.			
6.			
7.			
8.			

WOODFIELD HUNT CLUB CLUBHOUSE RENOVATION AND EXPANSION
4420 WOODFIELD BLVD.
BOCA RATON, FLORIDA
SITE ENGINEERING PLAN

DCES
SCALE: VARIES
DATE: 6-2-16
DWN. BY: S.T.
CHK. BY: N.B.J.
F.B. PG.
JOB NO.: 2121-15
SHEET: C-1 OF 2

GENERAL NOTES

- ALL MATERIAL, INSTALLATION, TESTING AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF BOCA RATON, THE CITY OF BOCA RATON UTILITIES DEPARTMENT AND THE PALM BEACH COUNTY HEALTH DEPARTMENT.
- LOCATION OF EXISTING UNDERGROUND UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL PERTINENT UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.
- DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO ANSI/AWWA C151/A21.51-02, AND SHALL BE CEMENT LINED AND SEAL COATED IN ACCORDANCE WITH ANSI/AWWA C104/A21.4-08. MAINS SHALL BE DESIGNATED AS PRESSURE CLASS 350, PER ANSI/AWWA C150/A21.50-08.
- NO CONNECTION SHALL BE MADE TO EXISTING LINES UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF BOCA RATON AND THE PALM BEACH COUNTY HEALTH DEPARTMENT.
- WATER SAMPLES FOR BACTERIOLOGICAL ANALYSIS SHALL BE TAKEN ONLY AFTER THE PRESSURE TESTS HAVE BEEN APPROVED BY CITY OF BOCA RATON UTILITIES DEPARTMENT.
- ALL PIPE, FITTINGS, ETC. SHALL BE TESTED UNDER A CONSTANT PRESSURE OF 150 P.S.I. FOR 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENT AS PER ANSI/AWWA C600-10 STANDARD.

MAXIMUM ALLOWABLE LEAKAGE RATE:
 $L = \frac{(S)(D)^2 P}{148,000}$
L = ALLOWABLE LEAKAGE, GALLONS PER HOUR
S = LENGTH OF PIPE TEST SECTION, IN FEET
D = NOMINAL DIAMETER OF PIPE, IN INCHES
P = AVERAGE TEST PRESSURE, IN POUNDS PER SQUARE INCH.
- COMPLIANCE TO THE "TRENCH SAFETY ACT" IS REQUIRED FOR ALL EXCAVATION IN ACCESS OF FIVE FEET DEEP.
- MINIMUM PIPE COVER SHALL BE 30" FOR D.I.P.
- THE WATER SYSTEM SHALL BE CLEANED AND DISINFECTED ACCORDING TO AWWA C651-05.
- WATER MAIN INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 62-555.320 OF THE F.A.C.
- CONTRACTOR SHALL COORDINATE WITH CITY OF BOCA RATON UTILITY SERVICES AND HAVE A CITY REPRESENTATIVE PRESENT WHEN OPERATING ANY WATER MAIN OR FORCE MAIN VALVES. THE CLOSING OF VALVES THAT INTERRUPT SERVICE TO ADJACENT PROPERTIES MUST BE PRE-APPROVED BY THE CITY OF BOCA RATON UTILITY SERVICES DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF WATER MAIN AND FORCE MAIN LINE STOPS TO CONTROL FLOWS DURING CUTTING, PLUGGING, OR ABANDONMENT OF EXISTING MAINS.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF BOCA RATON UTILITY SERVICES TWO WEEKS PRIOR TO THE INSTALLATION OF ANY LINE STOPS. THE CITY RESERVES THE RIGHT TO HAVE A REPRESENTATIVE PRESENT DURING THE LINE STOP(S) INSTALLATION.
- CONTRACTOR TO MAINTAIN AND ADJUST ALL EXISTING SANITARY MANHOLE COVERS, WATER METER BOXES AND VALVES BOXES TO FINISHED GRADE.

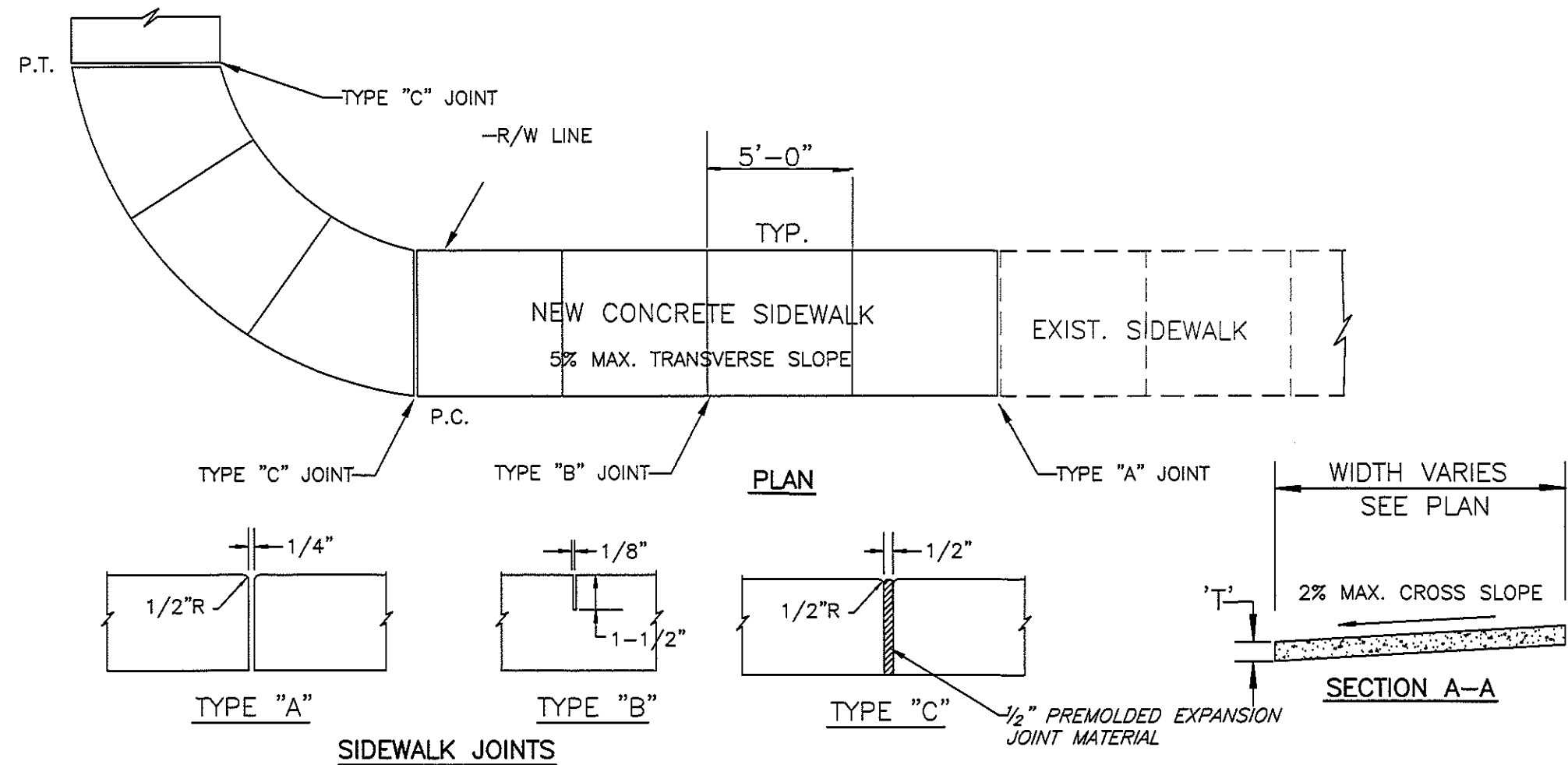
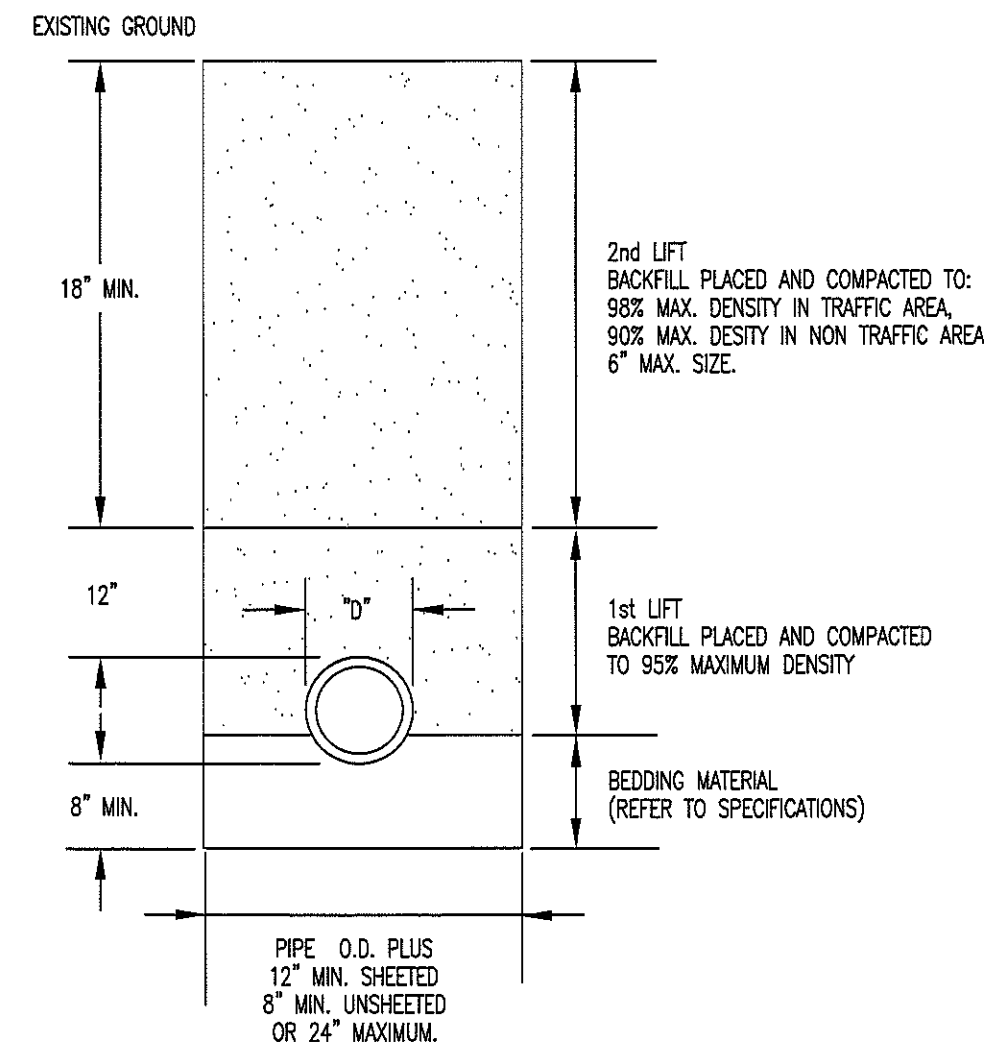


TABLE OF SIDEWALK THICKNESS		TABLE OF SIDEWALK JOINTS	
LOCATION	T"	TYPE	LOCATION
OTHER	4"	"A"	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS
AT DRIVES & 5' EACH SIDE	6"	"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
		"C"	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES

NOTE:
CONCRETE SHALL HAVE 28 DAYS COMPRESSIVE STRENGTH OF 2500 PSI. ALL WALKS SHALL BE MARKED IN SECTIONS NOT TO EXCEED FIVE FEET. THE EDGE OF THE SIDEWALK SHALL HAVE A RADIUS OF 1/2". A SLOPE OF 1/4" PER FOOT SHALL BE MAINTAINED TOWARD THE STREET. JOINT FILLERS OF 1/4 INCH THICKNESS SHALL BE PLACED AT 30' CENTERS. THE SURFACE SHALL HAVE A BROOM FINISH. A PERMIT IS REQUIRED BEFORE STARTING CONSTRUCTION. THE BASE SHALL BE STABILIZED AND DAMPENED PRIOR TO PLACEMENT OF THE CONCRETE. PROFILE GRADE IS THE CROWN OF THE ROAD, UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS.

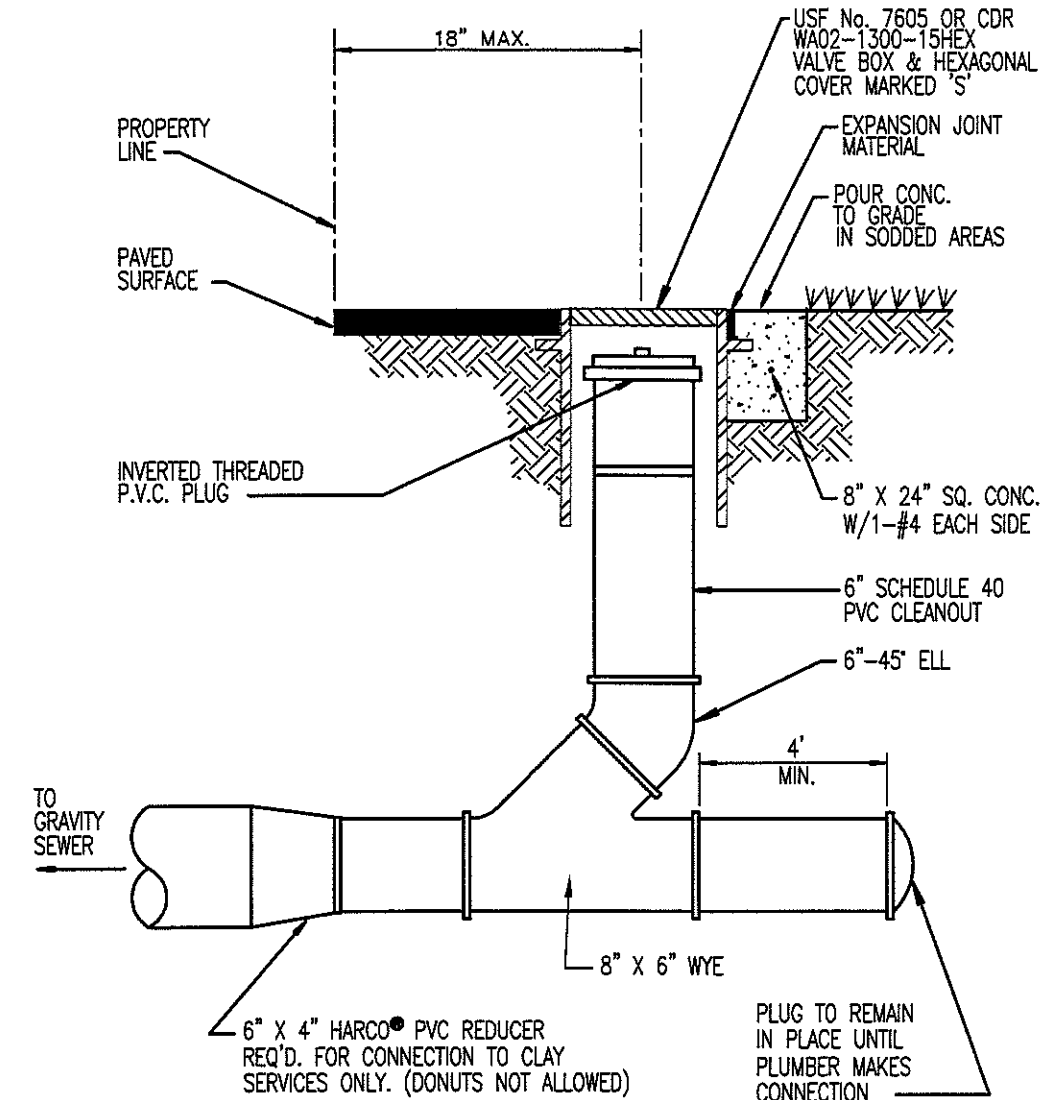
SIDEWALK DETAIL

N.T.S.



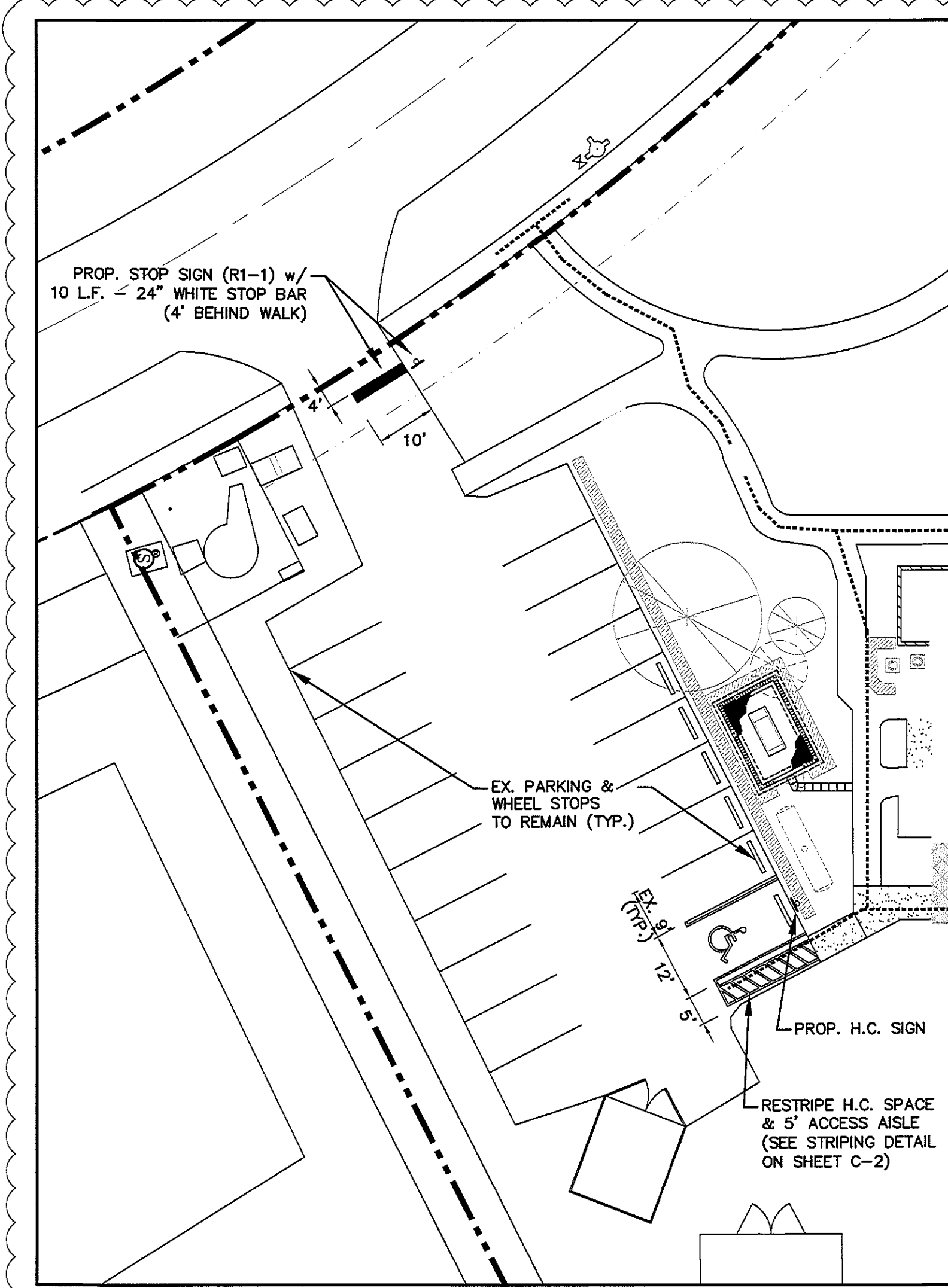
- FOR EXCAVATION AND BACKFILL AROUND MANHOLES, APPURTENANCES, OR IN WATER, REFER TO PROVISIONS WITHIN THE SPECIFICATIONS.
- UNLESS OTHERWISE SPECIFIED, BEDDING MATERIAL SHALL CONSIST OF WASHED AND GRADED LIMEROCK (3/8"-7/8").
- WHERE REQUIRED, SHEETING AND SHORING SHALL BE IN ACCORDANCE WITH SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR EXCAVATION IN MUCK OR OTHER UNSUITABLE MATERIAL.

TYPICAL TRENCH EXCAVATION



NOTE:
INVERTED BRASS CAP SHALL BE USED IN GRASS AREAS LUE OF CASTING AND CONE COLLAR.

TYPICAL CLEANOUT DETAIL

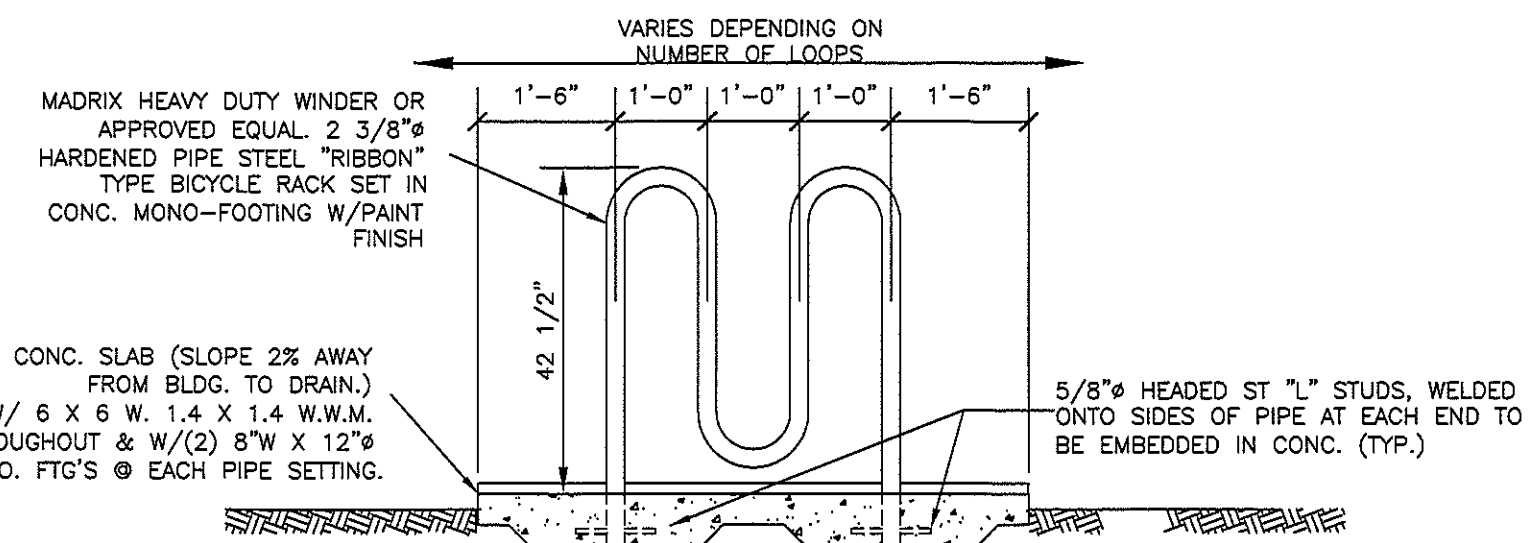
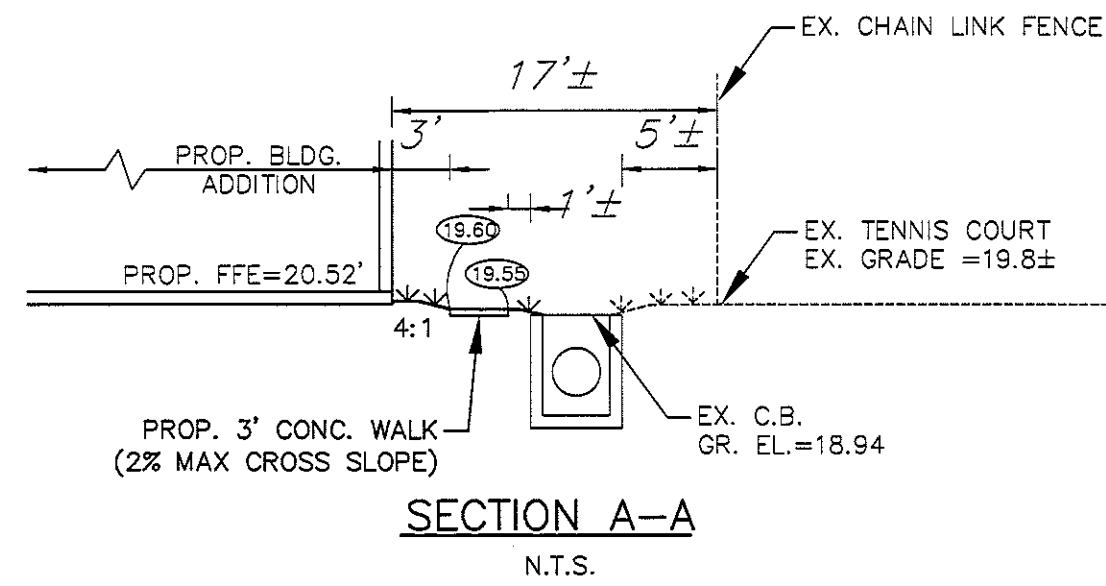


PAVEMENT MARKING AND SIGNAGE NOTES

- PAVEMENT MARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION "TRAFFIC OPERATIONS STANDARDS" MANUAL AND THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" AND CITY OF BOCA RATON TRAFFIC ENGINEERING REQUIREMENTS.
- ALL PAVEMENT MARKINGS SHALL BE PAINTED UNLESS OTHERWISE NOTED.

GENERAL NOTES:

- ALL MATERIAL, INSTALLATION, TESTING AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF BOCA RATON STANDARDS AND THE GOVERNING, PERMITTING AND LICENSING AGENCIES WHERE APPLICABLE.
- ALL ELEVATIONS REFER TO N.G.V.D., NATIONAL GEODETIC VERTICAL DATUM.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON PLANS HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION AND DEPTH OF ALL PERTINENT UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS TO NOT INTERFERE WITH EXISTING OR NEW UTILITIES, DRAINAGE, OR ROADWAY CONSTRUCTION.
- EXCAVATION SHALL BE SLOPED OR OTHERWISE SUPPORTED IN A SAFE MANNER IN ACCORDANCE WITH APPLICABLE STATE SAFETY REQUIREMENTS AND REQUIREMENTS OF OSHA SAFETY AND HEALTH STANDARD FOR CONSTRUCTION (29 CFR 1926).
- PRIOR TO THE CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD FOR THE FOLLOWING: MANHOLES, CATCH BASINS, FIRE HYDRANTS, VALVES, PIPE MATERIAL AND ALL REQUIRED ACCESSORIES FOR FIRE, WATER, STORM & SANITARY SEWER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS, IF REQUIRED.
- THE FOLLOWING INFORMATION SHALL BE PROVIDED AT THE PRE-CONSTRUCTION MEETING:
 - STAGING PLAN FOR MATERIALS AND EQUIPMENT
 - PARKING PLAN FOR ALL CONSTRUCTION VEHICLES DURING CONSTRUCTION
 - TIME SCHEDULE FOR CONSTRUCTION
 - MAINTENANCE OF PEDESTRIAN AND VEHICLE TRAFFIC PLAN



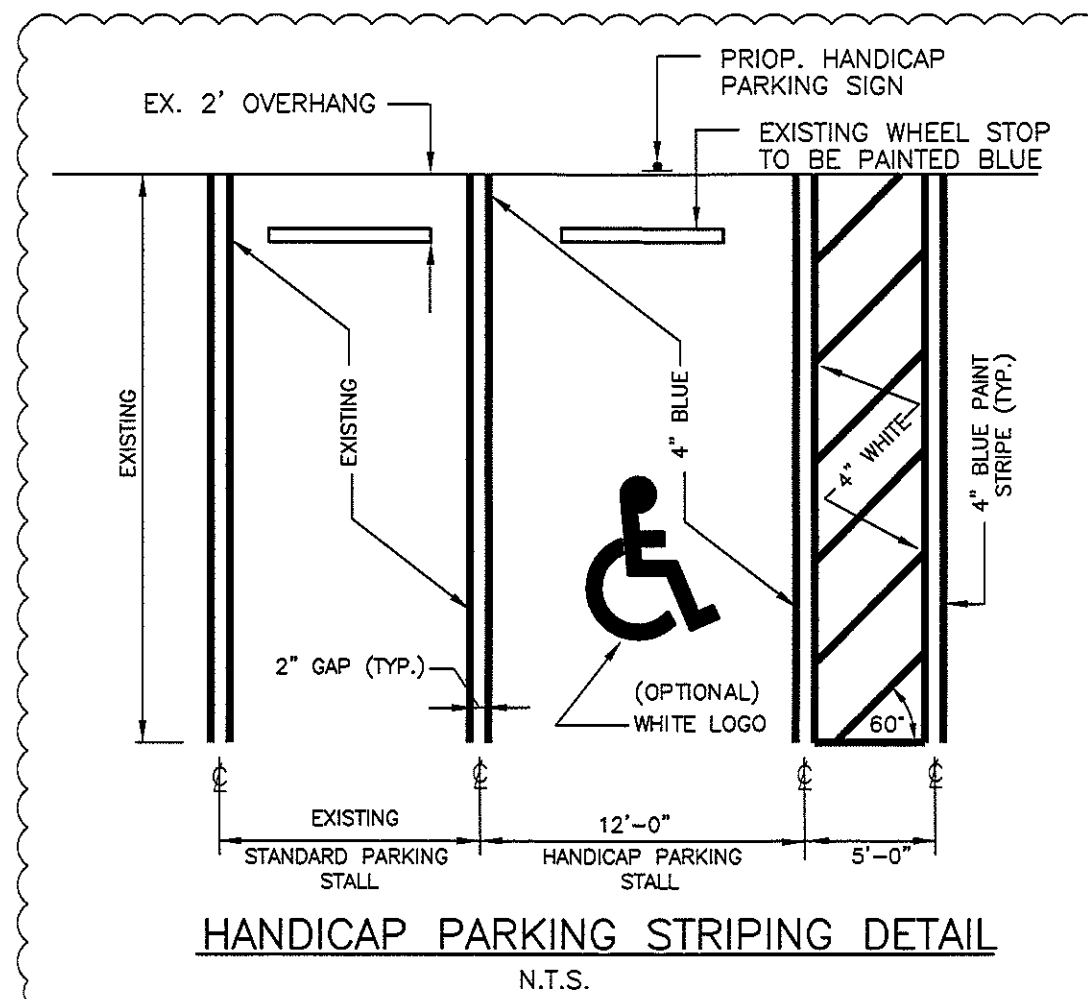
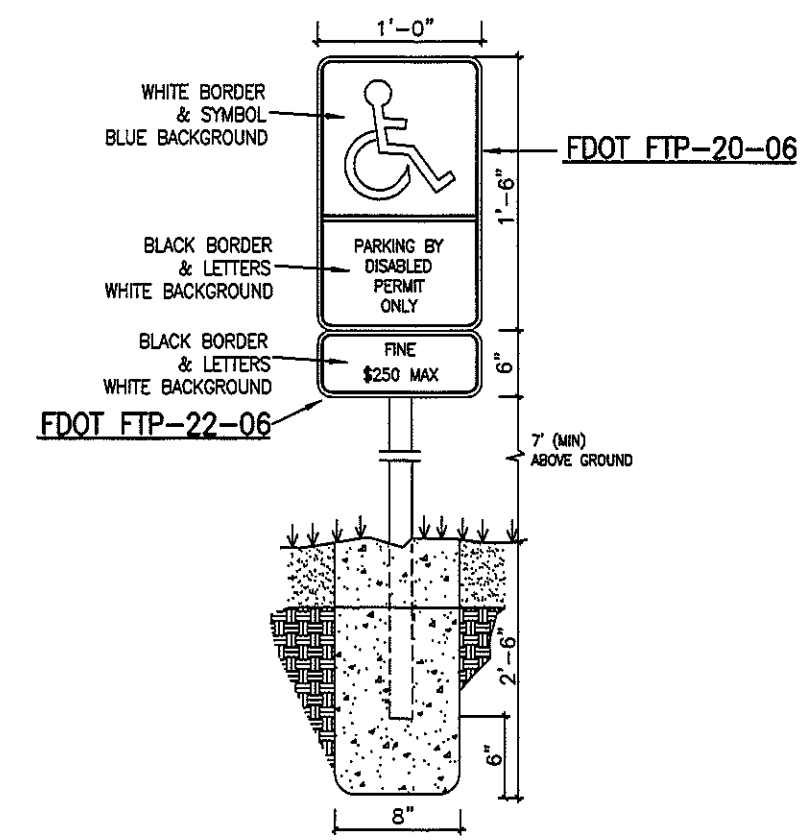
SHORT TERM BICYCLE PARKING DETAIL (TYP.)

NOTES:

- ALL SHORT TERM BICYCLE PARKING SPACES SHALL INCLUDE A STATIONARY PARKING DEVICE ON A CONCRETE SURFACE WHICH ADEQUATELY SUPPORTS THE BICYCLE AND MUST HOLD AT LEAST 180 DEGREES OF THE WHEEL ARC.
- ALL LONG TERM FACILITIES SHALL CONSIST OF A FULLY ENCLOSED LOCKABLE SPACE ACCESSIBLE ONLY TO OWNER/OPERATOR OF THE BICYCLE, OR ATTENDANT PARKING WITH A CHECK-IN SYSTEM ACCESSIBLE ONLY TO THE ATTENDANT(S), OR A LOCKED ROOM OR OFFICE INSIDE THE BUILDING.
- WHERE NOT SPECIFIED, EITHER SHORT TERM OR LONG TERM PARKING IS PERMISSIBLE.
- EACH SHORT TERM BICYCLE PARKING SPACE SHALL BE A MINIMUM OF TWO FEET WIDE AND SIX FEET LONG, AND SHALL HAVE A MINIMUM OF EIGHT FEET OF OVERHEAD CLEARANCE.
- ALL REQUIRED PARKING FACILITIES SHALL BE FROM AN APPROVED LIST OF BICYCLE PARKING DEVICES MAINTAINED BY THE MUNICIPAL SERVICES DEPARTMENT. ALTERNATIVE BICYCLE PARKING DEVICES MAY BE USED IF ESTABLISHED AS AN APPROVED EQUIVALENT IN FUNCTION, QUALITY AND CONSTRUCTION.
- FIXED OBJECTS WHICH ARE INTENDED TO SERVE AS BICYCLE PARKING FACILITIES SHALL BE CLEARLY LABELED AS AVAILABLE BICYCLE PARKING.
- BICYCLE PARKING SHALL BE CONSISTENT WITH SURROUNDINGS IN COLOR AND DESIGN AND BE INCORPORATED WHENEVER POSSIBLE INTO BUILDING OR STREET FURNITURE DESIGN.
- BICYCLE PARKING SHALL BE LOCATED AS NEAR THE PRINCIPAL ENTRANCE OF THE BUILDING AS PRACTICABLE.
- BICYCLE PARKING SHALL BE LOCATED IN A CONVENIENT, HIGHLY VISIBLE, ACTIVE, WELL LIGHTED AREA.
- BICYCLE PARKING SHALL BE LOCATED SO AS NOT TO IMPEDE PEDESTRIAN MOVEMENT.

BIKE RACK DETAIL

N.T.S.



DIVERSIFIED CONSTRUCTION
DCES
& **ENGINEERING SERVICES**
2295 N.W. CORPORATE BLVD, #125, BOCA RATON, FL 33431
561-750-3717 FAX 561-750-3686
EB #6459

CHK.	DWN.	DATE	REVISIONS
	S.T.	7-22-16	REVISED PER 7/12/16 PWR COMMENTS
1			
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WOODFIELD HUNT CLUB
CLUBHOUSE RENOVATION AND EXPANSION
4420 WOODFIELD BLVD.
BOCA RATON, FLORIDA
SITE ENGINEERING DETAILS

DCES
SCALE: NONE
DATE: 6-2-16
DWN. BY: S.T.
CHK. BY: N.B.J.
F.B. PG.
JOB NO.: 2121-15
SHEET: C-2 OF 2