

GENERAL NOTES

- THE DRAWINGS PREPARED BY ACKAL ARCHITECT ARE FOR USE SOLELY WITH RESPECT TO THIS PROJECT. UNLESS OTHERWISE PROVIDED, ACKAL ARCHITECT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. ACKAL ARCHITECT'S DRAWINGS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS, UNLESS ACKAL ARCHITECT ACCEPTS BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION. DO NOT REPRODUCE THESE DRAWINGS WITHOUT WRITTEN APPROVAL OF ACKAL ARCHITECT.
- CONTRACTORS SHALL PERFORM ALL WORK AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE, AIA GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, RECOGNIZED INDUSTRY STANDARD, CRAFTSMANSHIP, STANDARDS IN THE AREA, ALL MANUFACTURER'S RECOMMENDATIONS AND ALL OTHER APPLICABLE CODES.
- THE ARCHITECT DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OR FOR THE SAFETY PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE CONTRACT DOCUMENTS AND ANY EXISTING CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, REFLECTORS, LIGHTS, ETC. DURING CONSTRUCTION. PROPERLY DEMARCATATE AREAS CLOSED TO THE PUBLIC.
- THE CONTRACTOR WILL REMOVE ALL RUBBLE AND DEBRIS FROM THE JOB SITE AND LEAVE THE BUILDING AND GROUNDS BROOM CLEAN UPON COMPLETION OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND COORDINATION OF ALL CONDUIT, PIPING, DUCTWORK, ETC. WITH THE VARIOUS TRADES.
- CONTRACTOR SHALL VISIT THE SITE AND ACQUAINT HIMSELF THOROUGHLY WITH ALL EXISTING FACILITIES AND CONDITIONS WHICH WOULD AFFECT HIS PORTION OF THE WORK. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF INSTALLING THE WORK TO MEET SAID CONDITIONS.
- WHENEVER THERE ARE DISCREPANCIES BETWEEN THE DRAWINGS, OR THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR SHALL ESTIMATE UPON THE BETTER QUALITY OR GREATER QUANTITY OF MATERIAL OF WORK CALLED FOR, AND IT SHALL BE SO FURNISHED UNLESS OTHERWISE ORDERED IN WRITING.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENTS. IF THE GENERAL CONTRACTOR IS UNCERTAIN OF THE DESIGN INTENT HE SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING. LACK OF UNDERSTANDING OF THE CONTRACT DOCUMENTS SHALL NOT BE AN EXCUSE FOR IMPROPER INSTALLATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND FEES.
- THE GENERAL CONTRACTOR AND MILLWORK CONTRACTOR SHALL VERIFY ALL APPLIANCES AND PLUMBING FIXTURE SPACE REQUIREMENTS WITH THE SUPPLIER AND OWNER PRIOR TO MANUFACTURING THE CABINETS. PROVIDE 2X12 BLOCKING BETWEEN WALL FRAMING AT TOP CABINETS AND COUNTER SUPPORTS. THE MILLWORK CONTRACTOR SHALL COORDINATE THESE LOCATIONS WITH THE GENERAL CONTRACTOR. THE MILLWORK CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH MILLWORK ELEVATIONS AND SECTIONS. CLARIFY ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO MANUFACTURING THE CABINETS.
- THE SIGN CONTRACTOR SHALL SEAL ALL PENETRATIONS REQUIRED FOR THE INSTALLATION OF TENANT FACADE SIGNAGE. PENETRATIONS MADE FOR THE MOUNTING AND POWER CONDUIT SHALL HAVE A WATERTIGHT SEAL. COORDINATE WITH ARCHITECT.
- CONTRACTOR TO VERIFY EXISTING DIMENSIONS WITH RENOVATION PLAN PRIOR TO START OF CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.

GENERAL INFORMATION

GENERAL ARCHITECTURAL

- BUILDINGS OR PORTIONS OF BUILDINGS SHALL BE PERMITTED TO BE OCCUPIED DURING CONSTRUCTION, REPAIR, ALTERATIONS, OR ADDITIONS ONLY IF ALL MEANS OF EGRESS AND ALL FIRE PROTECTION FEATURES ARE IN PLACE AND CONTINUOUSLY MAINTAINED FOR THE PORTION OCCUPIED.
- ALL DOOR HANDLES SHALL COMPLY WITH ADA AND BE LEVER OPERATED UNLESS OTHERWISE SPECIFIED.
- INTERIOR CEILING SHALL BE CLASS 'A' FLAME SPREAD RATING OF 0-25; SMOKE DEVELOPMENT OF 0-450.
- INSULATION AND INSULATION ASSEMBLIES SHALL MEET THE REQUIREMENTS OF IBC.
- TOP OF FIRE EXTINGUISHER HAVING A GROSS WEIGHT LESS THAN 40 LBS. SHALL NOT BE MORE THAN 5 FEET ABOVE THE FLOOR; 3-1/2 FEET IF GROSS WEIGHT 40 LBS. OR GREATER.
- A REQUIRED FIRE SEPARATION SHALL BE CONTINUOUS FROM FOUNDATION THROUGH ALL INTERVENING CONSTRUCTION TO THE ROOF DECK, FROM OUTSIDE WALL TO OUTSIDE WALL OR FROM FIRE BARRIER TO FIRE BARRIER. PROVIDE UL OR FM LISTED ASSEMBLY.
- PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN TESTED IN ACCORDANCE WITH ASTM-E814.

GENERAL ADAAG

- PROVIDE HANDICAPPED ACCESSIBILITY IN ACCORDANCE WITH ADAAG
 - GROUND AND FLOOR SURFACES (SLIP RESISTANT UNDER ALL WEATHER CONDITIONS).
 - DOOR HANDICAP SHALL COMPLY WITH THIS SECTION. HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.
 - SIGNAGE, WHERE PROVIDED AT PERMANENT ROOMS AND SPACES AND OTHER SIGNS WHICH PROVIDE DIRECTION TO OR INFORMATION ABOUT FUNCTIONAL SPACES OF THE BUILDING, SHALL BE IN ACCORDANCE WITH ADA (RAISED CHARACTER, LETTER SIZE, MOUNTING).

GENERAL PLUMBING

- ALL PLUMBING WORK SHALL BE ACCOMPLISHED THROUGH THE USE OF A LICENSED CONTRACTOR OF THE TRADE IN A PROFESSIONAL AND WORKMAN LIKE MANNER.
- ALL PLUMBING WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE, REGIONAL, STATE AND OR LOCAL HEALTH DEPARTMENT, AND BUILDING CODES FOR THE GEOGRAPHICAL AREA OF CONSTRUCTION.
- ALL WATER LINES (HOT AND COLD) AND ALL WASTE LINES SHALL BE PRESSURE TESTED PRIOR TO CONCRETE PLACEMENT.
- INSTALL SANITARY HUBS AS PER MUNICIPAL AND STATE HEALTH DEPARTMENT REGULATIONS AND AS ILLUSTRATED HEREIN, AND PRESSURE TESTED PRIOR TO CONCRETE PLACEMENT.
- IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO INSURE THAT NO EXISTING UTILITIES ARE INTERRUPTED BY THE CONTRACTED EXCAVATION.

GENERAL MECHANICAL

- COORDINATE ALL DUCTWORK WITH ELECTRICAL LIGHTING PLAN.
- ALL DUCT WORK SHALL CONFORM WITH THE LOCAL MECHANICAL CODE.
- AIR CONDITIONING, HEATING, VENTILATION DUCT WORK AND RELATED EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH NFPA REGULATIONS.
- SMOKE DETECTORS WILL BE INSTALLED IN ALL UNITS OVER 2000 CFM'S ACCORDING TO LOCAL MECHANICAL CODE.
- PROVIDE FIRE DAMPERS IN AIR TRANSFER OPENINGS IN PARTITIONS REQUIRED TO BE FIRE RATED.

GENERAL ELECTRICAL

- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT ED, NFPA ELECTRICAL CODE, THE IECC, AND ALL RULES AND OR REGULATIONS HANDED DOWN BY THE STATE, LOCAL OR OTHER REGULATING AUTHORITY FOR THE END PROJECT.
- THE ELECTRICAL SUBCONTRACTORS SHALL VERIFY ALL ASPECTS OF THE ELECTRICAL WORK WITH THE LOCAL UTILITY COMPANY PROVIDING THE SERVICES TO THE PROPOSED BUILDING. INSURE THAT THE GENERAL INTENT OF THE DRAWINGS IN ACCORDANCE WITH THE LOCAL ELECTRICAL CODE IS APPLIED AND CONSIDERED WITH THE INITIAL BID PROPOSAL.

PROJECT DIRECTORY

PROJECT TITLE: INTERIOR TENANT IMPROVEMENT FOR: IMMUNOTEK BIO CENTERS, LLC.

LOCATION: 4560 LAKE WORTH ROAD OFFICE DEPOT PLAZA, SUITE B-5 LAKE WORTH, PALM BEACH, FL 33463

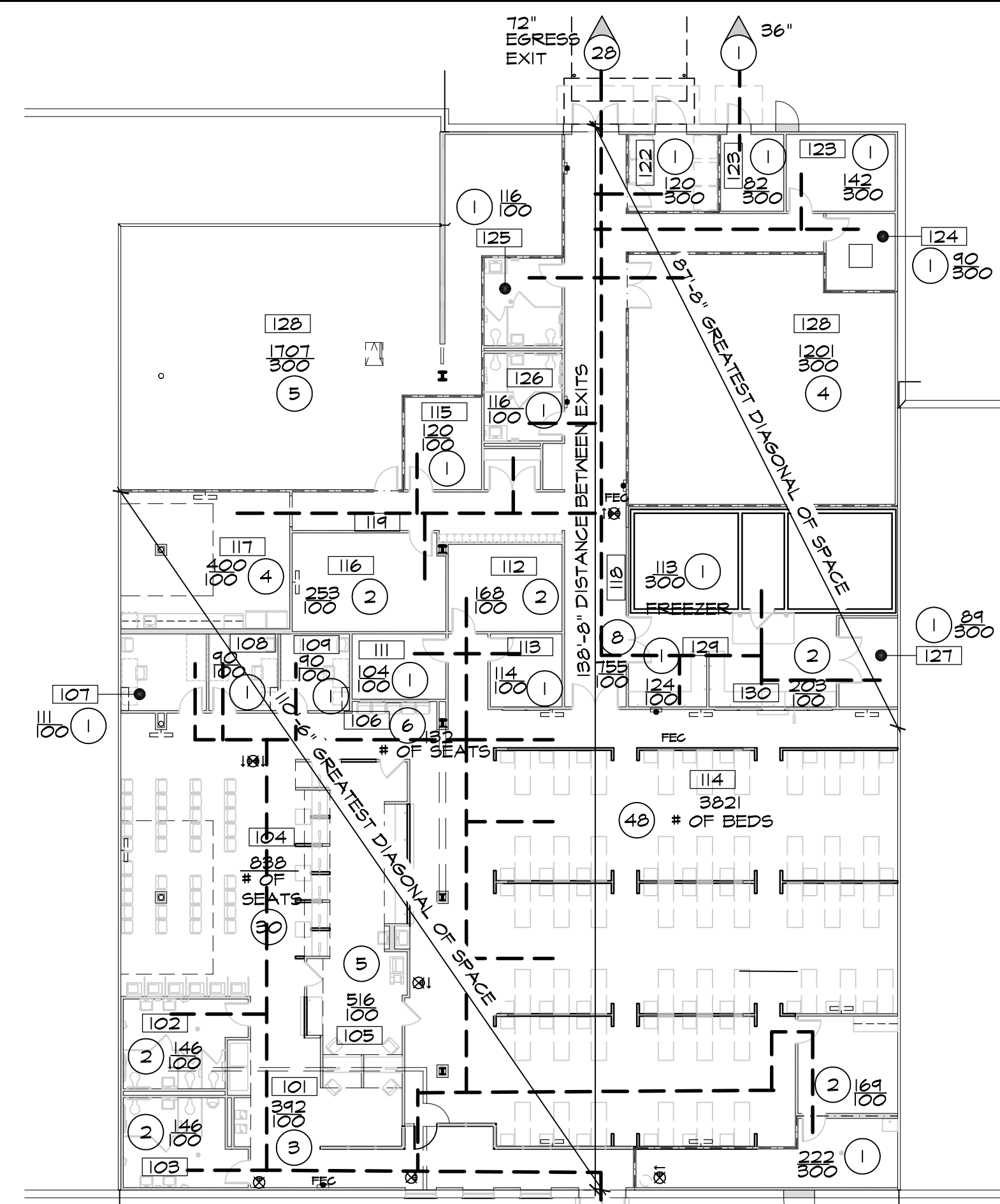
PERMITTING: CITY OF GREEN ACRES 5800 MELLELUCA LANE GREEN ACRES, FL 33463 PH: 561-642-2054 FX: 561-642-2049

TENANT: IMMUNOTEK BIO CENTERS, LLC 3400 N. CAUSEWAY, SUITE 1200 METAIRIE, LA 70002 PHONE NO. (504) 885-1251 FAX NO. (504) 885-0734 CONTACT: KATHRYN ROST E-MAIL: KROST@IMMUNOTEK.COM

ARCHITECT: ACKAL ARCHITECTS, APC 105 CHAPEL DRIVE LAFAYETTE, LA 70506 PHONE NO. (337) 988-5271 FAX NO. (337) 988-5272 PROJECT ARCHITECT: BILL ACKAL E-MAIL: BILL@ACKALARCHITECTS.COM PROJECT MANAGER: ASHLEY B. DAVIS E-MAIL: ASHLEY@ACKALARCHITECTS.COM INTERIOR DESIGNER: EMILY GROVER E-MAIL: EMILY@ACKALARCHITECTS.COM

MEP ENGINEERS: MSA ENGINEERING CONSULTANTS 370 E. WINDMILL LANE, SUITE 100 LAS VEGAS, NV 89123 PHONE NO. (702) 896-1100 FAX NO. (702) 896-1153 ELECTRICAL ENGINEER: MICHAEL WADSWORTH E-MAIL: MWADSWORTH@MSA-LV.COM MECHANICAL & PLUMBING ENGINEER: BEN YEUNG E-MAIL: BYEUNG@MSA-LV.COM

STRUCTURAL ENGINEER: KING STRUCTURAL GROUP INC. 6701 MALLARDS COVE ROAD, SUITE 156 JUNIPER, FL 33458 PHONE NO. (561) 951-7688 STRUCTURAL ENGINEER: PAUL KING E-MAIL: PAUL@KINGSTRUCTURALGROUP.COM

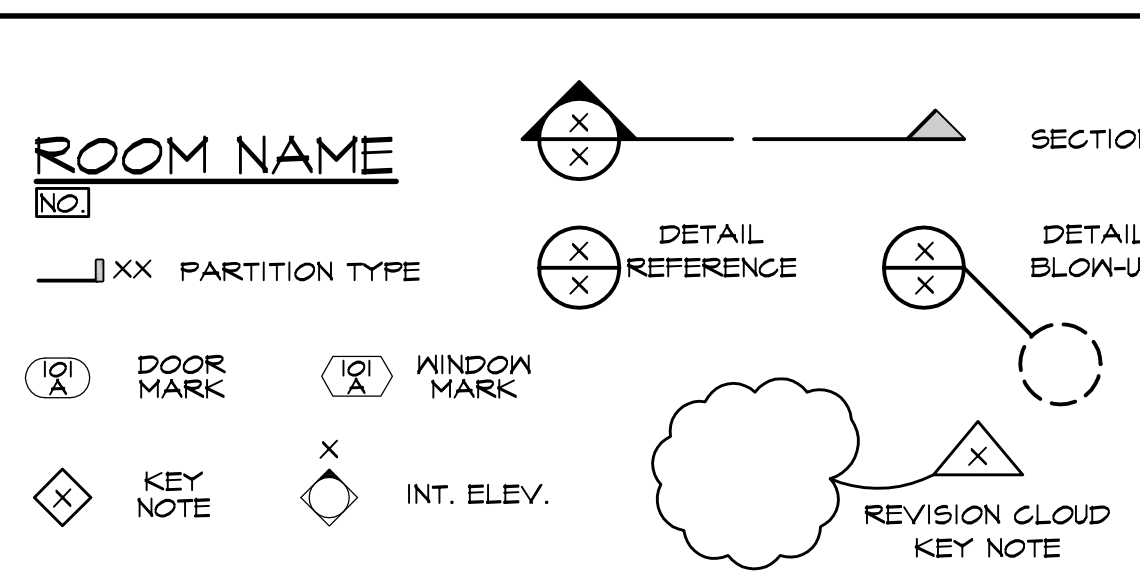


AREA: 13,458 SQ.FT.
OCCUPANT LOAD: 124

EXISTS REQUIRED - 2 (PROVIDED - 2)
EXIT WIDTH REQUIRED - 124x0.2=26" (PROVIDED-144")
COMMON PATH OF EGRESS FOR A SPRINKLED BUSINESS - 100' MAX (PROVIDED)
TOTAL TRAVEL DISTANCE TO AN EXIT- 200' MAX (PROVIDED)
DEAD END LIMIT - 20' MAX (PROVIDED)

LIFE SAFETY PLAN
2 OCCUPANCY LOAD DIAGRAM
SCALE: 1/16"=1'-0"

GRAPHIC SYMBOLS



ABBREVIATIONS

ACOUST.	ACOUSTICAL	LANDING	LANDING
ADJ.	ADJUSTABLE	LAV.	LAVATORY
A.F.F.	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
A.F.G.	ABOVE FINISHED GRADE	MAINT.	MAINTENANCE
ALUM.	ALUMINUM	MECH.	MECHANICAL
ANG.	ANGLE / ANGULAR	MIN.	MINIMUM
BD.	BOARD	M.L.	METAL LATH
BM.	BEAM	M.O.	MASONRY OPENING
B.O.	BY OTHERS OR BY OWNERS	MTL.	METAL
C.B.	CHALKBOARD OR CATCH BASIN	MULL.	MULLION
CHRL.	CHAIR RAIL	NAT.	NATURAL
C.J.	CONSTRUCTION JOINT	N.I.C.	NOT IN CONTRACT
CL.G.	CEILING	NO.	NUMBER
CLR.	CLEAR	N.T.S.	NOT TO SCALE
C.M.U.	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL.	COLUMN	O.H.	OPPOSITE HAND
CONC.	CONCRETE	OZ.	OUNCE
CONT.	CONTINUOUS	FLAS.	PLASTER
CPT.	CARPET	FL.	PLASTIC
DET.	DETAIL	F.L.	PLATE LINE
D.S.	DOWN SPOUT	FNTD.	PAINTED
EA.	EACH	PAR.	PAPER TOWEL HOLDER
E.J.	EXPANSION JOINT	RE.	REFER
ELEC.	ELECTRICAL	REF.	REFRIGERATOR
ELEV.	ELEVATION OR ELEVATOR	REINF.	REINFORCING
EQ.	EQUAL	REQD.	REQUIRED
E.T.R.	EXISTING TO REMAIN	SCHED.	SCHEDULE
E.W.C.	ELECTRICAL WATER COOLER	S.C.	SOLID CORE
EXP.	EXPANSION	SOA.D	SOAP DISPENSER
EXT.	EXTERIOR	SHT.	SHEET
F.E.	FIRE EXTINGUISHER	SIM.	SIMILAR
F.E.C.	FIRE EXTINGUISHER IN CABINET	SPECS.	SPECIFICATION
F.F.	FINISHED FLOOR	SQ.	SQUARE
FLOOR.	FLOOR	SQR.	SQUARE
F.O.S.	FACE OF STUD	STL.	STEEL
F.R.	FIRE RETARDANT	STND.	STANDARD
GALV.	GALVANIZED	STOR.	STORAGE
G.B.	GRAB BAR	STRUCT.	STRUCTURAL
G.D.	GARBAGE DISPOSAL	SUSP.	SUSPENDED
G.I.	GALVANIZED IRON	TEMP.	TEMPORARY
GYP.	GYP.	TEMPRD.	TEMPERED
H.M.	HOLLOW METAL	THK.	THICK / THICKNESS
HOL.	HORIZONTAL	THRLD.	THRESHOLD
HORZ.	HORIZONTAL	T.P.H.	TOILET PAPER HOLDER
HR.	HOUR	UR.	URINAL
HRDWR.	HARDWARE	VEND.	VENDING
INSUL.	INSULATION	VERT.	VERTICAL
INTERMED.	INTERMEDIATE	V.O.J.	VINYL ON JOB
LAM.	LAMINATE	V.M.C.	VINYL WALL COVERINGS
		W.C.	WATER CLOSET
		WD.	WOOD
		WID.	WIDTH

CODE DATA

CODE INFORMATION:

OCCUPANCY CLASSIFICATION:
EXISTING OCCUPANCY TYPE - MERCANTILE
NEW (TENANT IMPROVEMENT) OCCUPANCY TYPE - BUSINESS (B)

EXISTING TENANT AREA: 13,743 SQ. FT.
RENOVATED TENANT AREA: 12,001 SQ. FT.

MAIN OCCUPANCY LOAD TYPE: 100 SQ.FT. / PERSON
TOTAL NUMBER OF OCCUPANTS: 124 (SEE OCCUPANCY LOAD DIAGRAM)

CONSTRUCTION TYPE:
AUTOMATIC SPRINKLER SYSTEM: YES
FIRE DETECTION / ALARM: YES

PLUMBING FIXTURE REQUIREMENTS:
NUMBER OF FIXTURES PROVIDED ARE MORE THAN REQUIRED PER APPLICABLE CODES

PARKING AND SITE:
EXISTING PARKING LOT: NUMBER PROVIDED ARE MORE THAN REQUIRED PER APPLICABLE CODES
EXISTING BUILDING MAX HEIGHT: +/-24'-0"

CODES & ORDINANCES USED BY: CITY OF GREEN ACRES

2014 FLORIDA BUILDING CODE, 5TH EDITION
(INCLUDES BUILDING, PLUMBING, MECHANICAL, FUEL GAS, RESIDENTIAL ONE AND TWO DWELLING, AND EXISTING BUILDING CODES), (THE GREEN ACRES AMENDMENTS TO CHAPTER ONE OF THE FLORIDA BUILDING CODE 5TH EDITION)

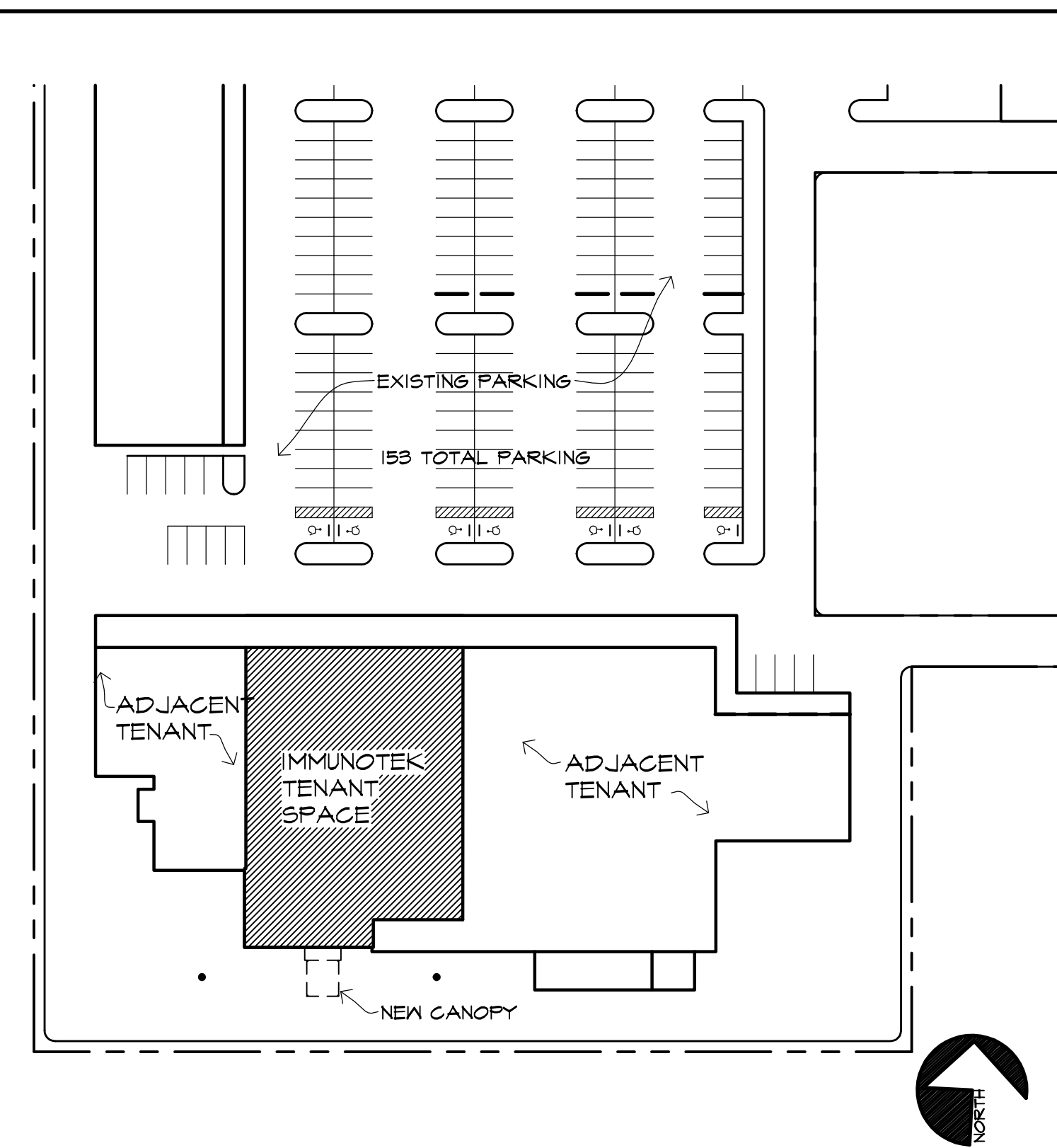
2013 FLORIDA FIRE PREVENTION EDITION (INCLUDES REFERENCES NFPA 1 AND NFPA 101), (GREEN ACRES AMENDMENTS TO THE 2011 FLORIDA FIRE PREVENTION CODE)

2011 NATIONAL ELECTRIC CODE / NFPA 70
2012 GREEN ACRES PROPERTY MAINTENANCE CODE

SITE NOTES

- NO CHANGE TO EXISTING PARKING LOT. ALL EXISTING ADA PARKING SIGNAGE TO BE PRESERVED. CONTRACTOR TO VERIFY IF THE EXISTING SIGNAGE MEETS ADA REQUIREMENTS AND IF NOT, THEN CONTRACTOR TO NOTIFY ARCHITECT.
- CONTRACTOR TO VERIFY ALL EXISTING SITE UTILITIES AND UTILITY LINES COMING OUT OF THE BUILDING TO TIE INTO.
- ABANDON ALL EXISTING PLUMBING UNDER SLAB AND PROVIDE ALL NEW PLUMBING PER PLUMBING PLANS.
- PRIOR TO THE START OF CONSTRUCTION CONTRACTOR TO RUN CAMERA SCOPE THROUGH EXISTING PLUMBING LINES UNDER PARKING TO SEWER TO CHECK FOR ANY EXISTING ISSUES. AT THE END OF JOB, CONTRACTOR TO RUN CAMERA SCOPE THROUGH ALL NEW PLUMBING TO SHOW NO OBSTRUCTIONS.
- EXTERIOR SIGNAGE PROVIDED AND INSTALLED BY TENANT. CONTRACTOR IS RESPONSIBLE FOR POWER TO SIGNS PER ELECTRICAL PLANS.
- BOLLARDS AND FENCING AROUND ALL NEW A/C AND FREEZER CONDENSER UNITS.
- INSPECT CONDITION OF EXISTING EXTERIOR LIGHTING AND RETURN IT TO WORKING / OPERATING CONDITION.
- PRESSURE WASH ALL EXTERIOR WALLS OF THE TENANT SPACE WHERE SCOPE OF WORK IS BEING DONE.
- CONTRACTOR TO INSPECT THE EXISTING CONDITION OF GUTTERS TO BE REPAIRED AND REPLACED AS NECESSARY WHERE DAMAGED OR IN DISREPAIR
- PROVIDE MIN. 5' x 5' LEVEL LANDING AT ALL EXTERIOR DOORS PER ADA REQUIREMENTS
- PROVIDE ONE BIKE RACK THAT MEETS ALL LOCAL ORDINANCES AND CODES.
- CONTRACTOR TO PURCHASE AND INSTALL KNOX BOX. COORDINATE LOCATION WITH ARCHITECT.

SITE PLAN



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STATE OF FLORIDA
WILLIAM J. ACKAL
REGISTERED ARCHITECT
AR93341

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date: 08-02-2016
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project manager: A.D.
drawn by: A.D., J.L., C.T.
file name: LAKEWORTH
revised:
plot scale: 1:1
sheet name:
GENERAL INFORMATION

sheet no.
A1.2
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