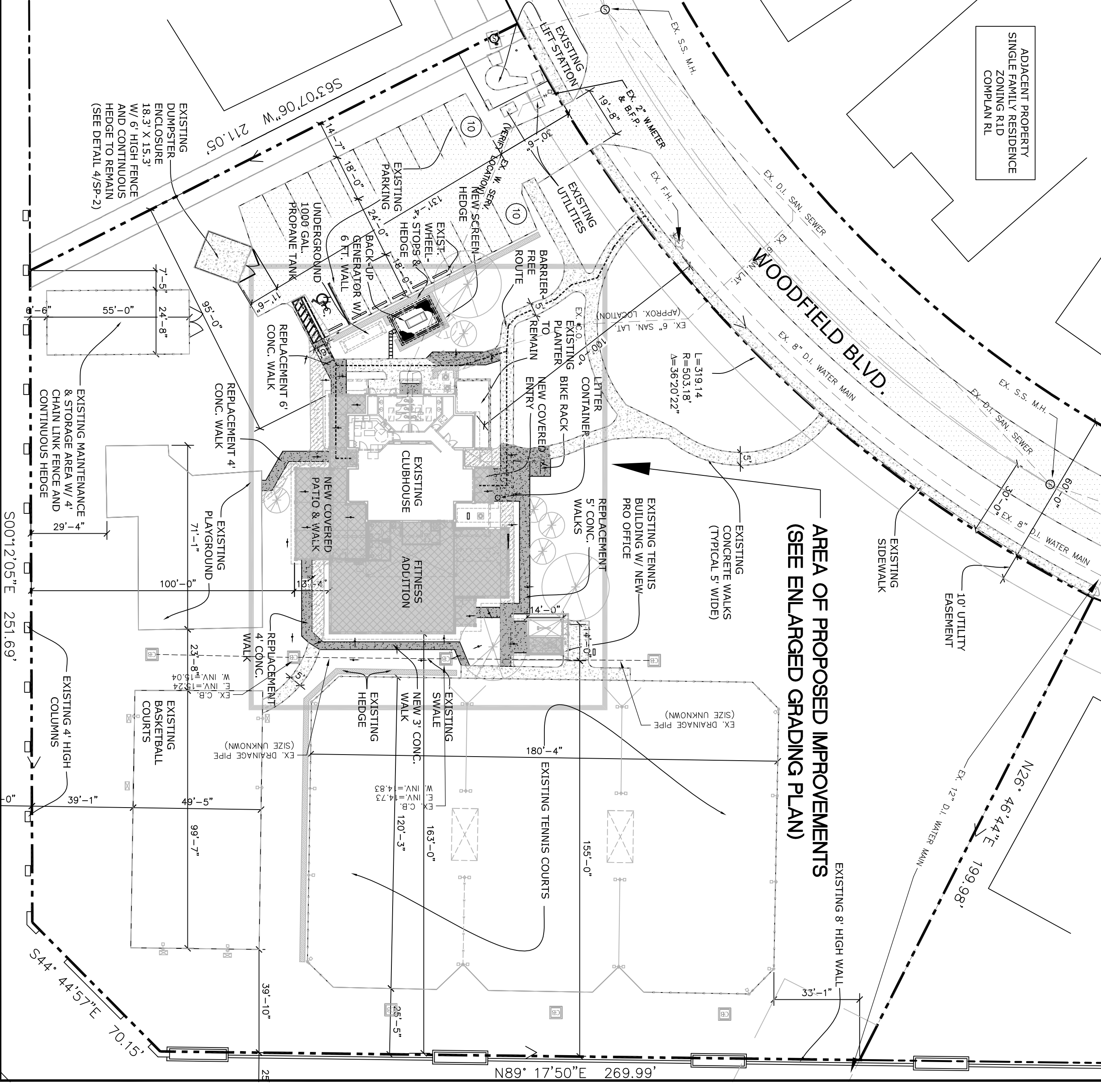


GRADING PLAN
SCALE: 1" = 10'

LEGEND

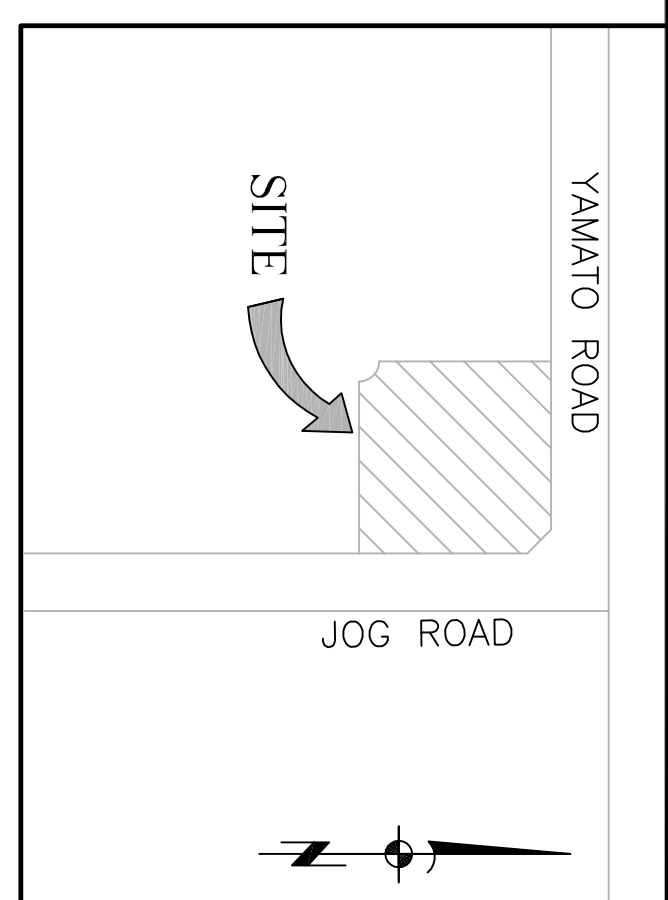
- DIRECTION OF FLOW
- 20.20 PROPOSED GRADE
- EXISTING ASPHALT TO REMAIN
- EXISTING CONCRETE TO REMAIN
- EXISTING CONCRETE TO BE REMOVED
- PROPOSED CONCRETE
- PROPOSED BUILDING ADDITION
- F.H. FIRE HYDRANT
- C.O. CLEANOUT
- M.H. MANHOLE
- C.B. CATCH BASIN
- C.I. CURB INLET
- U.E. UTILITY EASEMENT
- C.A.P. CORRUGATED ALUMINUM PIPE
- D.I.P. DUCTILE IRON PIPE
- P.V.C. POLYVINYL CHLORIDE
- C.P.P. CORRUGATED POLYETHYLENE PIPE
- D.D.C.V. DOUBLE DETECTOR CHECK VALVE

- NOTES:**
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES. DRAINAGE OR ROADWAY CONSTRUCTION, IF AN EXISTING FACILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE CONFLICT.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" (1-800-432-4770) 48 HOURS BEFORE DIGGING. REQUIRED.
 - THE CONTRACTOR SHALL MAINTAIN AND ADJUST ALL EXISTING MANHOLE COVERS, HANDHOLE BOXES, METER BOXES AND VALVE BOXES TO FINISHED GRADE AS REQUIRED.
 - ALL ACCESSIBLE ROUTES SHALL NOT EXCEED A SLOPE OF 1:20 (5%) AND CURB CUT RAMP SLOPES SHALL NOT EXCEED A SLOPE OF 1:12 (8.33%). RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES SHALL NOT EXCEED A SLOPE OF 1:50 (2%).
- ENVIRONMENTAL NOTES:**
- ALL CONSTRUCTION ACTIVITY, INCLUDING TRENCHING, IS TO BE A MINIMUM OF SIX FEET FROM THE BASE OF ANY TREE THAT IS DESIGNATED TO REMAIN PER CODE SECTION 27-43.
 - ALL TREES PLANTED IN ISLANDS CONTAINING HYDRANTS OR FDS MUST COMPLY WITH FLORIDA FIRE PREVENTION CODE 18.3.4.1 - CLEARANCE OF 7'-6" IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT, WITH A 4' CLEARANCE TO THE REAR OF THE HYDRANT.
 - METERS SHALL HAVE AT LEAST 3' OF UNOBSTRUCTED ACCESS TO AND VIEW OF THE MANHOLE OR METER FROM THE PUBLIC RIGHT-OF-WAY AND AT LEAST 5' OF VERTICAL CLEARANCE ABOVE THE MANHOLE OR METER PIT.
 - ALL LIMBWORK AND BASE MATERIALS SHALL BE REMOVED FROM THE PLANTER AREAS/ISLANDS AND REPLACED WITH APPROPRIATE PLANTING SOIL PRIOR TO THE LANDSCAPING OF THE SITE.
 - THE REMOVAL OF ANY TREE ON THE SITE IS PROHIBITED WITHOUT THE REQUIRED CITY OF BOCA RATON PERMIT. ANY SITE WORK MUST BE DONE UNDER AN ENVIRONMENTAL PERMIT PER CITY OF BOCA RATON CODE OF ORDINANCES.
 - PLEASE CONSIDER THE MATURE SIZE OF TREES WHEN PLANNING LIGHTING POLES. SHORTER POLES MAY NEED TO BE INSTALLED AT CLOSER SPACING IN ORDER TO KEEP THE TREE CANOPY FROM BLOCKING THE LIGHT SOURCE.



**AREA OF PROPOSED IMPROVEMENTS
(SEE ENLARGED GRADING PLAN)**

- CONDITIONS OF APPROVAL:**
- THIS APPROVAL IS BASED ON A SITE PLAN ENTITLED "WOODFIELD HUNT CLUB CLUBHOUSE RENOVATION AND EXPANSION" SUBMITTED BY SLATTERY & ASSOCIATES, INC., DATE STAMPED RECEIVED BY THE DEVELOPMENT SERVICES DEPARTMENT ON JANUARY 21, 2016 (AMENDMENT TO THE SITE PLAN).
 - THE CLUBHOUSE SHALL NOT BE OPEN TO THE GENERAL PUBLIC AND IS FOR THE USE OF WOODFIELD HUNT CLUB RESIDENTS AND THEIR GUESTS ONLY.
 - THE PLANS AND DRAWINGS MAY BE MODIFIED AS REQUIRED BY THE CODE OF ORDINANCES OR BY THE COMMUNITY APPEARANCE BOARD ACTING WITHIN THE SCOPE OF ITS POWERS AND DUTIES WHICH ARE LIMITED TO REVIEW OF THE BUILDING PERMIT APPLICATION FOR CONSISTENCY WITH THE APPROVED PLANS.
 - PRIOR TO ISSUANCE OF THE MAIN USE BUILDING PERMIT, THE OWNER SHALL:
 - SUBMIT WATER, SEWER, PAVING AND DRAINAGE PLANS FOR ON-SITE AND OFF-SITE IMPROVEMENTS WHICH SHALL BE REVIEWED AND APPROVED BY CITY STAFF RESPONSIBLE FOR PUBLIC WORKS REVIEW AND OTHER REQUIRED GOVERNMENTAL AGENCIES.
 - PROVIDE A LETTER OF CREDIT OR CASH BOND, IN A FORM ACCEPTABLE TO THE CITY ATTORNEY, IN AN AMOUNT EQUAL TO 110% OF THE COST OF CONSTRUCTION, FOR ALL OFF-SITE CONSTRUCTION ACTIVITY AND CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY.
 - PROVE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY/COMPLETION, THE OWNER SHALL COMPLETE ALL IMPROVEMENTS SHOWN ON THE APPROVED PUBLIC WORKS REVIEW PLANS, INCLUDING BOTH OFF-SITE AND ON-SITE IMPROVEMENTS SHALL BE CONSTRUCTED AND ACCEPTED BY THE CITY.



LOCATION SKETCH
SECTION 10, TOWNSHIP 47S, RANGE 42E
N.T.S.

PROPERTY DESCRIPTION
TRACT F OF WOODFIELD HUNT CLUB II, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, PAGES 149 THROUGH 153, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, INCLUDING ALL PRIVATE ROAD RIGHT-OF-WAYS AS SHOWN ON SAID PLAT.

48 HOURS BEFORE DIGGING
CALL TOOL FREE
1-800-432-4770
FOR INFORMATION AND LOCATION

OVERALL SITE
1" = 30'
THIS PLAN IS FOR REVIEW ONLY AND IS SUBJECT TO GOVERNMENTAL APPROVAL. NOT FOR CONSTRUCTION.

DISCLAIMER:
INFORMATION SHOWN ON THIS PLAN IS FOR REVIEW ONLY AND IS SUBJECT TO GOVERNMENTAL APPROVAL. NOT FOR CONSTRUCTION.

NO.	REVISIONS	DATE:	DWN.:	CHK.:
1				
2				
3				
4				
5				
6				
7				
8				

DIVERSIFIED CONSTRUCTION
DCES
& ENGINEERING SERVICES
2295 N.W. CORPORATE BLVD, #125, BOCA RATON, FL 33431
561-750-3717 FAX 561-750-3686
EB #6459

WOODFIELD HUNT CLUB
CLUBHOUSE RENOVATION AND EXPANSION
4420 WOODFIELD BLVD.
BOCA RATON, FLORIDA
SITE ENGINEERING PLAN

DCES
SCALE: VARIES
DATE: 6-2-16
DWN. BY: S.T.
CHK. BY: N.B.J.
F.B. PG.
JOB NO.: 2121-15
SHEET: C-1 OF 2