

**LCA** AA 003432  
Architecture, Inc.

1975 Sansbury's Way  
Suite 108  
West Palm Beach, FL 33411

Phone: (561) 493-4787  
Fax: (561) 493-4786

REVISIONS / DATE

**Interior Improvement for  
Prospective Doctors Suite**  
 9960 Central Park Boulevard, Suite 375  
 Boca Raton, FL 33428

LESLAW A. CZACZYK AIA  
AR 00015391

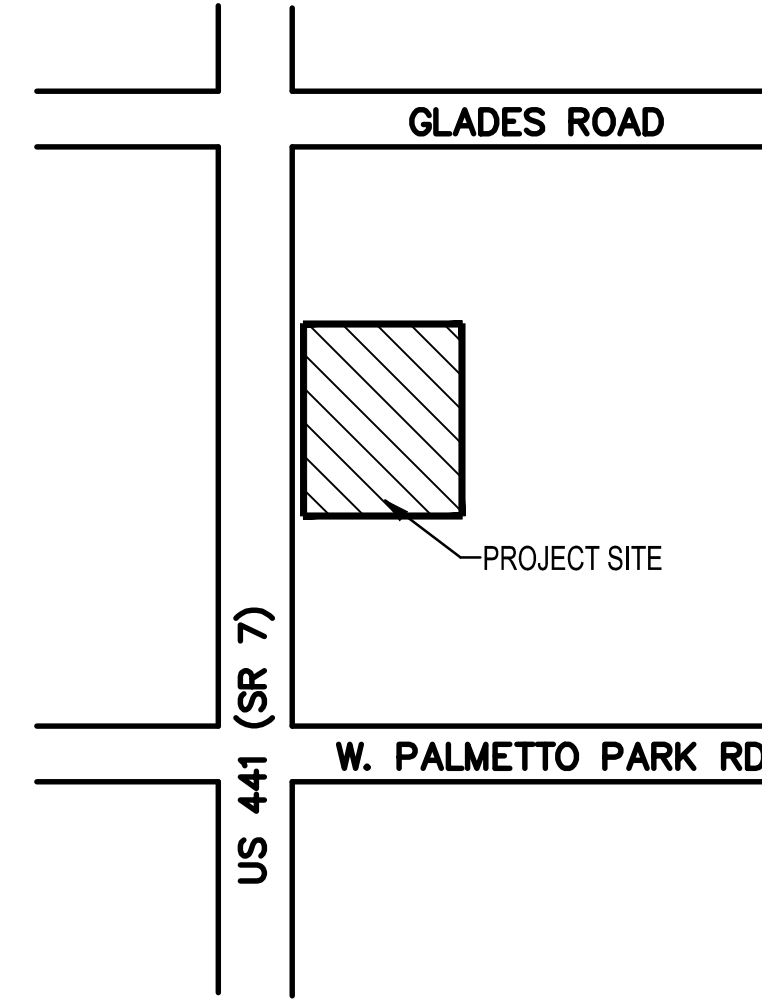
PROJ. NO. 16209  
DESIGNED BY LAC  
DRAWN BY AAA  
DATE 10/14/16  
SCALE AS SHOWN

**TITLE SHEET**

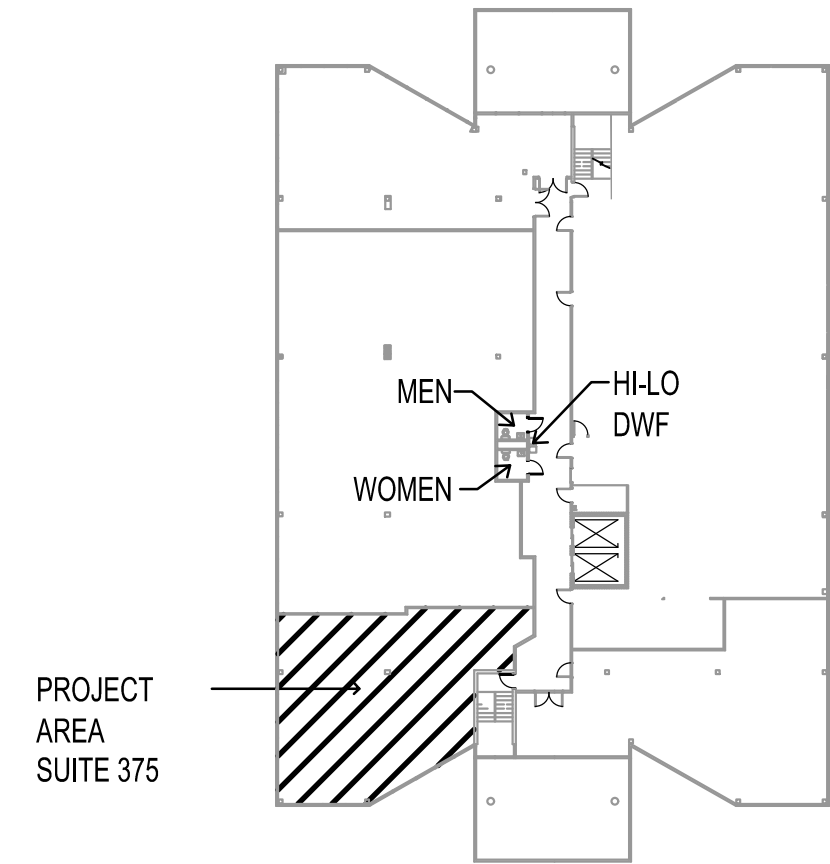
SHEET **T.1**

# Interior Improvement for Prospective Doctors Suite

## 9960 Central Park Boulevard, Suite 375 Boca Raton, FL 33428



**LOCATION MAP**  
N.T.S.



**KEY PLAN - 3RD FLOOR**  
N.T.S.

### SPECIFICATIONS

#### GENERAL WORKMANSHIP

- All manufacturer's recommended installation instructions and specifications are incorporated by reference for all materials installed. This includes U. S. Gypsum manuals for drywall, Armstrong specifications for the acoustical ceiling system, UL specifications for rated wall assemblies, Sherwin Williams specifications for paint, and HVAC, electrical and plumbing equipment manufacturers' specifications.
- All materials, products, components and equipment shall be installed in a professional manner, and complying with applicable manufacturers' instructions and specifications. The construction, including all materials and labor, shall conform to all applicable city, county, and national building codes.

#### INTERIOR PARTITIONS

- Unless otherwise specified on the Drawings, all new interior partitions shall be constructed with 20GA galv. metal studs placed @ 24" o.c. max. and 5/8" gypsum wall board. Demising partitions shall be constructed strictly per UL #U465
- Existing fire rated separation walls (if any) may need to be modified and completed to meet UL and local building codes. All existing unsealed penetrations must be properly sealed with UL approved materials. All existing ductwork designated to remain and penetrating fire rated assemblies shall be supplied with fire dampers.
- All existing walls within the construction areas that are to remain and that are presently covered with wall covering must be stripped and skim coated to provide a smooth, even, and level surface. After skim coating, walls must be primed and recovered with finish per client's finish schedule.
- Existing walls, which are not demolished per plans (if any), must be refinished if they do not meet specifications of new walls. This requires at minimum:
  - Any holes to be patched
  - Any damaged gypsum board to be removed and replaced.
  - Any walls previously abuted by demolished walls shall be refinished by laminating with new layer of gypsum board from corner to corner, as required to obtain a smooth and straight finish without bulges or patch marks. Remove and replace drywall where feasible. Application of a one coat plaster system is an acceptable alternative to laminating or removing and replacing drywall.

#### ACOUSTICAL CEILINGS

Ceiling tile: Exact specifications per interior designer unless specified in finish schedule. Ceiling tile cuts must be clean, straight, and tiles shall fit snugly into grid. Tiles with visible gaps or frayed finished sides will not be accepted. All angles must be sealed where meeting drywall. All lights to be secured to ceiling grid with four screws. Grid to have hangers spaced 4'-0" in each direction. No partial tiles less than 12" in the smallest dimension allowed unless approved by architect.

#### FINISHES-GENERAL NOTES (REFER TO OWNERS FINISH SCHEDULE FOR EXACT SPECIFICATIONS)

- Wall paint shall be water based satin latex, one primer coat and two finish coats, Sherwin Williams or approved equal. Color and placement per finish schedule and/or Owner's instructions.
- Walls to receive VWC (if any) shall be primed with an oil base primer that makes paper strippable.
- All paint grade wood shall receive Sherwin Williams oil base enamel semi gloss paint (primer and two coats.)
- Vinyl Base to be continuous (4' pieces not accepted.) No splices shorter than 4 ft.
- All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work.
- All interior walls shall receive gypsum board of thickness as specified on plans and details.
- All toilet rooms (if any) shall receive 5/8" moisture resistant gypsum board on all walls.
- All gypsum board walls shall receive finish per finish schedule or Owner's/Tenant instructions as applicable.
- All gypsum board walls and ceilings shall be taped, troweled and polished.
- All outside corners at partitions shall have corner beads or "L" beads as applicable.
- Provide samples for all wood indicated to have transparent, or stain finish.
- All doors shall be pre-finished STAINED as specified on plans.
- All doors, windows and rough openings shall be verified with manufacturer's specifications for proper installation.
- Concrete slabs, new or patches to existing, shall be troweled smooth and level.
- Provide floor preparation to receive new floor finish. This shall include flush patching and leveling at doorways perimeters and similar areas which might be obvious to the tenant.
- Provide finishes per Interior Designer/ Tenant. Otherwise conform to building standards.
- All wood in contact with concrete or masonry shall be pressure treated.
- Contractor shall coordinate with cabinet sub-contractor and shall supply all necessary supports and blocking required, ready to receive cabinets and/or subsequent finishes.

### GENERAL NOTES:

#### A) GENERAL RESPONSIBILITIES

- Each contractor and subcontractor shall visit the site and examine exist. conditions to determine the extent of the work. It shall be the responsibility of each contractor to thoroughly examine and verify existing conditions and to make allowances for them prior to bidding.
- General contractor and subcontractors shall review drawings prior to bidding and construction and report any discrepancies to the architect before submitting a bid.
- General contractor shall verify all dimensions and report any discrepancies to the architect.
- This project shall conform to the latest edition of the governing building code, and all other Federal, State, County, and local codes, ordinances, rules, and regulations in effect. All those codes and regulations shall take precedence over drawings.
- Dimensions as indicated on the drawings shall take precedence over scaling of the drawings.
- These drawings DO NOT show every minor detail of construction. The contractor shall furnish and install all items required for a complete, properly functioning building system, and shall fulfill all requirements for all equipment to be placed in proper working order. Contractor's bid shall include all items and work to assure compliance with most stringent requirements of governing building codes and regulations.
- Each contractor and subcontractor shall be responsible for the safety and well-being of his employees and shall strictly follow all construction safety regulations, including OSHA.
- All contractors and subcontractors shall be currently licensed in the State of Florida, County having jurisdiction, and local cities as required. Provide copies of licenses to Owner prior to commencement of work.
- All contractors and subcontractors shall carry the minimum workman's compensation, liability, and automobile insurance required by the State of Florida and higher limits if required by the Owner. Provide insurance certificates to Owner before commencement of work.
- Should the scope of work, for any reason not be fully indicated on the Drawings, the contractor shall immediately contact architect for clarifications.
- The Work shall be limited to the scope indicated in the Drawings and specifications. If any additional work is performed without Owner's approval, it shall be at the sole expense of the Contractor.
- Contractor shall pay for and obtain all permits and secure all certificates of inspections and certificates of occupancy that are required by governing jurisdiction.
- Any deviation and/or substitution from the information and instructions provided herein shall be submitted to the architect for his approval prior to the performance of the work.
- The Contractor shall coordinate all Tenant or Owner supplied items, and incorporate it into Contractor's work schedule. Verify scope of such items prior to bid submittal.

- The Contractor shall include into bid and provide all temporary utilities required for the Work completion.
  - Each contractor shall protect its own work and work of other contractors. All conflict to be resolved by the General Contractor. The general Contractor shall be responsible for full coordination of work of all trades. Any damages resulting from lack of coordination, lack of work protection shall be sole responsibility of the General Contractor, that includes all damages from weather, water, and dust.
  - The contractor shall expedite and schedule the delivery of long lead items to conform with the work schedule.
  - The Contractor shall warrant and guarantee all work, all component performance, and all materials for one year from the date shown on the certificate of occupancy.
- B) SCHEDULES, ORGANIZATION AND COORDINATION**
- Contractor shall be responsible for scheduling and implementing all work so as not to disrupt or inconvenience adjacent property users.
- C) CLEANING REQUIREMENT**
- The job site shall be maintained in a safe and neat condition at all times. Broom cleaning shall be performed as needed to avoid debris build up.
  - All building materials shall be stored in a safe and organized manner so as not to interfere with the work of other trades.
  - At project completion, the job site shall be fully cleaned and turned over to occupant ready for them to move in and begin operating without any additional work or cleaning. This requires all surfaces to be cleaned with appropriate cleaning solutions, vacuumed, and waxed/sealed as appropriate. All mirrors, windows, hardware, cabinetry, walls finished and fixtures shall be cleaned. All filters to be replaced.
- D) ROOF PENETRATIONS**
- Any roof penetrations such as vents, chimneys equipment curbs and skylights required shall be flashed and sealed to be water tight. If roof is under warranty or bonded, the general contractor shall hire the warranting roofing or bonding company to perform all roof modification work.
- E) CODE NOTES**
- Provide U.L. - rated fire extinguishers (min. rating of 10 LB. ABC) located within 75 ft. max. travel distance from any point in the tenant space. Obtain Fire Marshal approval of locations. At a minimum provide two extinguishers; one located near front exit in an obvious location and the second located near the rear or secondary exit in an obvious location. All extinguishers to have updated inspection labels.
  - All penetrations in fire rated assemblies shall be sealed with materials approved by governing agencies meeting UL (or equal) specifications including installation system. All ducts penetrating fire rated assemblies shall receive fire dampers.

- All exit doors shall have hardware per N.F.P.A. standards. All exit door locks shall have thumb latches requiring less than an 180 degree turn. Entry locks shall not require key operation in direction of exit.
  - Adhere to building standards for work affecting common areas
  - All doors in rated walls to be U.L. labeled, both door and jamb, with U.L. closers.
  - Fire resistive standard for interior finishes shall be as required per NFPA 101. Documentation shall be provided to the Architect prior to final inspection.
  - All new walls, ceiling grids, lights, conduits, pipes, ducts and wires, whether new or existing, to be braced, strapped, and/or supported per code, and shall meet U.L., and manufacturer specifications.
  - All fixtures and hardware shall comply with ADA and FBC-Accessibility.
  - Testing for the presence of the hazardous materials shall be the Owners responsibility.
  - All glass in doors and within 4'-0" of doors shall be tempered.
- F) SHOP DRAWINGS**
- Provide shop drawings for cabinetry and as noted in drawings.
- G) CLOSE OUT REQUIREMENTS-CONTRACTOR SHALL PROVIDE FOLLOWING DOCUMENTATION IN COMPLIANCE WITH FBC CHAPTER 13**
- As-built drawings
  - O & M manuals, Installed Options Information and Equipment Rating Information
  - Training
  - Warranties
  - Excess materials
  - Name and Address of at least one Service Agency.

**Electrical Power--Drawings:**  
Construction documents shall require that within 30 days after the date of system acceptance, record drawings of the actual installation shall be provided to the building owner, including:  
1) A single-line diagram of the building electrical distribution system and  
2) Floor plans indicating location and area served for all distribution.

**Manuals:**  
Construction documents shall require that an operating manual and maintenance manual be provided to the building owner. The manuals shall include, at a minimum, the following:  
1) Submittal data stating equipment rating and selected options for each piece of equipment requiring maintenance.  
2) Operation manuals and maintenance manuals for each piece of equipment requiring maintenance. Required routine maintenance actions shall be clearly identified.  
3) Names and addresses of at least one qualified service agency.

### VERIFICATION OF EXISTING CONDITIONS REQUIRED

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, AND DETERMINE WHAT ITEMS SHALL BE REUSED AND WHAT MUST BE REPLACED. ALSO, ALL ITEMS SHOWN ON DRAWINGS AS EXISTING SHALL BE FIELD VERIFIED FOR CONDITION, PROPER SIZE, FUNCTIONALITY, LOCATION AND CODE COMPLIANCE. ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO SUBMITTING A BID. THE BID SHALL INCLUDE ALL ITEMS REQUIRED FOR COMPLETE, PROPERLY FUNCTIONING BUILDING SYSTEMS.

### PROJECT DATA

**CODES**  
FLORIDA BUILDING CODE, 5th EDITION, 2014  
FLORIDA BUILDING CODE-EXISTING, 5th EDITION, 2014  
NATIONAL ELECTRICAL CODE 2011 (NFPA 70)  
FLORIDA FIRE PREVENTION CODE, 5TH EDITION W/AMENDMENTS  
LIFE SAFETY CODE, NFPA 101 - 2012  
FIRE CODE, NFPA 1 - 2012

**EXISTING BUILDING: TYPE IIB, FOUR STORY, SPRINKLED**

**OCCUPANCY**  
OCCUPANCY GROUP: B (NFPA 101 NEW BUSINESS PER CHAPTER 38)  
OCCUPANCY COUNT: 15

**AREAS**  
TOTAL (gross under construction): 1,584 SQ. FT.

**ALTERATION LEVEL: 2**

### DRAWING LIST

T.1	TITLE SHEET
A.1	FLOOR PLAN, NOTES, SCHEDULES
A.2	REFLECTED CEILING PLAN, DETAILS, NOTES
A.3	DETAILS
A.4	CABINERY ELEVATIONS, DETAILS
LS.1	LIFE SAFETY PLAN, NOTES
M.1	MECHANICAL PLAN, NOTES
M.2	MECHANICAL DETAILS, SCHEDULES
E.1	POWER PLAN, NOTES, SCHEDULES
E.2	LIGHTING PLAN, SCHEDULE, NOTES, DIAGRAMS
P.1	PLUMBING PLAN, DETAILS, SCHEDULES
P.2	PLUMBING DIAGRAMS, NOTES

### SPRINKLER NOTES

- Fire Sprinkler System shall be installed by an approved automatic fire sprinkler contractor who must submit complete specifications, drawings and calculations signed and sealed by Florida registered professional Engineer. The system shall comply with NFPA sections 13,14,20 and all applicable codes and ordinances in effect.
- Sprinkler head style shall be concealed and match existing building standard.

### FIRE ALARM NOTES

- Fire Alarm System shall be installed by an approved fire alarm contractor who must submit complete specifications, drawings and calculations signed and sealed by Florida registered professional Engineer. The system shall comply with NFPA and all applicable codes and ordinances in effect.
- Contractor shall verify exist. building fire alarm system and its capacity to accommodate new devices BEFORE BID. Contractor shall install new power booster and include in bid. Fire alarm system for this project shall be fully integrated with building fire alarm system and include all required modifications.