

VILLAGE COMMONS

931 VILLAGE BOULEVARD
WEST PALM BEACH, FLORIDA 33409
REG PROJECT No. 16020

EXTERIOR DECK

PERMIT SET
DATE



Prepared for:

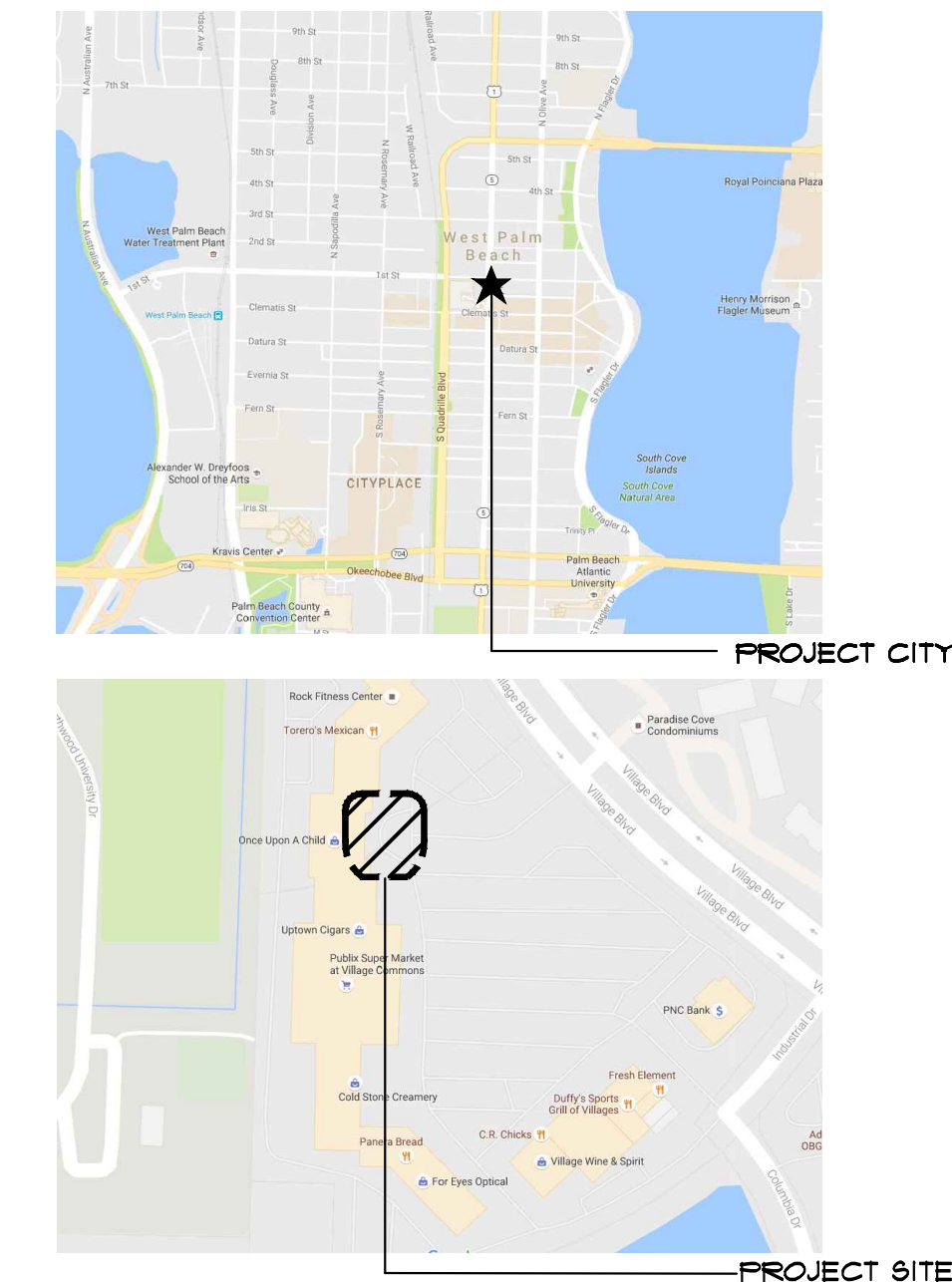
TERRANOVA CORP.
2300 GLADES ROAD, SUITE 300E
BOCA RATON, FL 33431

PROJECT TEAM

TERRANOVA CORP.
LISSETTE RIVERA / PROPERTY MANAGER
2300 GLADES ROAD, SUITE 300E
BOCA RATON, FL 33431
Phone: 561/314-2100 / Fax: 561/314-2101

ARCHITECT
REG ARCHITECTS - INTERIORS - PLANNERS, INC.
RICK GONZALEZ, AIA, PRESIDENT
NAME, PROJECT MANAGER
307 EVERNIA STREET, SUITE 401, WEST PALM BEACH, FL 33401
Phone: 561-659-2303 / Fax: 561-659-5546

LOCATION MAP



DRAWINGS INDEX

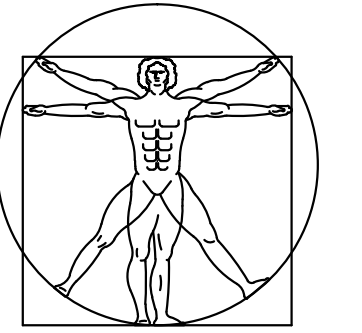
ARCHITECTURAL COVER	PROJECT COVER SHEET
A-0.00	ARCHITECTURAL INFORMATION SHEET
A-0.01	ARCHITECTURAL SITE PLAN
AD-1.01	DEMOLITION PLAN
A-1.01	LIFE SAFETY PLAN
A-1.01	FLOOR PLAN
A-1.02	REFLECTED CEILING PLAN
A-2.01	ROOF PLAN
A-3.01	ELEVATIONS & SECTIONS
A-3.02	DETAILS

PROJECT SCOPE:

DEMOLITION OF EXISTING 1,050 +/- SQFT TENANT & IMPROVEMENTS FOR VANILLA SHELL.

REG

ARCHITECTS
INTERIORS
PLANNERS
INCORPORATED



EST. 1988
RICK GONZALEZ, AIA,
PRESIDENT AR-0014172

300 CLEMATIS STREET
WEST PALM BEACH
FLORIDA 33401
PH: (561) - 659 - 2383
FAX: (561) - 659 - 5546

www.regarchitects.com

CORPORATION NUMBER
AA-0002447

VILLAGE
COMMONS
EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	△
	△
	△
	△

DATE: __-__-2016

SCALE: NTS

DRAWN: BC

CHECKED: MHA/REG

REG No. 16020

© 2016

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

PROJECT
COVER
SHEET

COVER

DEMOLITION NOTES	
1.	CONTRACTOR IS RESPONSIBLE OF BECOMING FULLY INFORMED AS TO EXISTING CONDITIONS AT THE SITE. NEITHER THE OWNER NOR THE A/E MAKES ANY REPRESENTATION WARRANTY AS TO SITE CONDITIONS.
2.	CONTRACTOR TO PROVIDE THE NECESSARY LABOR, MATERIAL, SCAFFOLDING & EQUIPMENT REQUIRED TO COMPLETE DEMOLITION AS DESCRIBED IN THE DRAWINGS.
3.	CONTRACTOR SHALL VERIFY WITH OWNER DEMOLITION PHASING SCHEDULE BEFORE START DEMOLITION WORK.
4.	MATERIALS, EQUIPMENT & RUBBISH, EXCEPT FOR ITEMS TO BE REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATE CODES.
5.	CONTRACTOR SHALL COORDINATE WITH OWNER ANY ITEMS, FIXTURES, AND/OR BUILDING ELEMENTS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
6.	THE DEMOLITION PLAN AND KEY NOTES ARE PROVIDED FOR REFERENCE ONLY, IT DOES NOT INTEND TO ADDRESS ALL DEMOLITION SCOPE OF WORK. CONTRACTOR SHALL COORDINATE FULL DEMOLITION SCOPE WITH EXISTING CONDITIONS AND PROPOSED PLANS.
7.	CONTRACTOR SHALL REPORT TO ARCHITECT ANY DISCREPANCY FOUND ON SITE WITH THE DEMOLITION PLAN PRIOR TO START.
8.	ALL DEMOLITION, RENOVATION, AND NEW CONSTRUCTION SHALL COMPLY WITH NFPA 241 AND ALL OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES, RULES, AND ORDINANCES.
9.	CONTRACTOR IS FULLY RESPONSIBLE FOR THE SAFETY AND PROTECTION OF WORKMEN AND THE PUBLIC FROM DEMOLITION WORK. CONTRACTOR SHALL PROTECT ALL EXISTING OCCUPIED AREAS AS NECESSARY UTILIZING (BUT NOT LIMITED TO:) LIGHTING, BARRICADES, WORKING SIGNS, AND DUST BARRIERS.
10.	CONTRACTOR SHALL VERIFY WITH LOCAL JURISDICTION, THE REQUIREMENTS FOR DEBRIS DUMPSTER LOCATION AND COLLECTION SCHEDULE PRIOR TO COMMENCEMENT.
11.	UPON COMPLETION OF DEMOLITION WORK, ADJACENT AREAS AND PROPERTY SHALL BE LEFT CLEAN AND SATISFACTORY TO THE AUTHORITIES HAVING JURISDICTION, THE OWNER AND THE ARCHITECT.
12.	EXISTING BUILDING ELEMENTS THAT ARE AFFECTED BY DEMOLITION ARE TO BE PATCHED AND REPAIRED TO MATCH ADJACENT EXISTING CONDITIONS, FINISHES, AND MAINTAIN EXISTING FIRE RATINGS WHERE APPLICABLE.
13.	EXISTING CONCRETE FLOOR TRENCHING AND EXISTING PARTITION WALL/CEILING GYPSUM BOARD REMOVAL MAY BE REQUIRED FOR NEW PLUMBING/ELECTRICAL WORK.
14.	UNLESS NOTED OTHERWISE, ALLOW TWO INCHES VARIANCE UP AND DOWN FOR GIVEN DIMENSIONS OF EXISTING CONDITIONS. CONTRACTOR TO VERIFY AND REPORT TO ARCHITECT OF ANY DISCREPANCIES PRIOR TO START DEMOLITION WORK.
15.	CONTRACTOR SHALL VERIFY AND SHORE BEARING STRUCTURES PROPERLY PRIOR TO DEMOLITION WORK (AS NECESSARY).
16.	CONTRACTOR TO COORDINATE AND SCHEDULE ALL UTILITIES SHUTDOWNS WITH THE LOCAL UTILITY COMPANIES, AUTHORITIES HAVING JURISDICTION, AND BUILDING MANAGERS AS APPLICABLE.
17.	COORDINATE ANY ALTERATION AND CHANGES TO THE ELECTRICAL SERVICE WITH THE LOCAL UTILITY COMPANY.
18.	WHERE CONDUIT IS INACCESSIBLE, REMOVE CONDUCTORS AND CUT BACK CONDUIT FLUSH WITH SLAB OR WALL. PATCH OPENING TO MATCH EXISTING FINISH. WHERE EXISTING WIRING EXTENDS OUTSIDE OF THE AREA BY NATURE OF THE ORIGINAL INSTALLATION, CONTRACTOR SHALL MODIFY EXISTING WIRING AS REQUIRED TO MAINTAIN CONTINUITY OF EXISTING CIRCUITRY SUCH THAT NO EQUIPMENT TO REMAIN IS LEFT WITHOUT SERVICE.
19.	CONTRACTOR SHALL DISCONNECT ANY CIRCUITS FROM ELECTRICAL PANEL THAT ARE PART OF WALL/FLOOR/CEILING DEMOLITION WORK PRIOR TO COMMENCEMENT.
20.	FOR EQUIPMENT AND SYSTEMS TO REMAIN IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE CONDITION OF EXACT SIZES AND LOCATION OF EXISTING DUCT AND PIPING ETC. BEFORE DEMOLITION WORK IS BEGUN. REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER AND ENGINEER PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK.
21.	CAP AND SEAL AIR TIGHT ALL POINTS AT WHICH DUCTWORK IS REMOVED FROM DUCTWORK THAT WILL REMAIN.
22.	ALL PLUMBING PIPES ASSOCIATED WITH FIXTURE TO BE DEMOLISHED OR REMOVED (INCLUDING BUT NOT LIMITED TO: SANITARY WATER, GREASE GAS, CONDENSATE AND REFRIGERATION) SHALL BE CAPPED BELOW SLAB, ABOVE CEILING OR IN WALL (TO REMAIN).
23.	NO EXISTING PIPING SHALL BE LEFT OPEN AFTER PARTIAL REMOVAL. PIPE SHALL BE PERMANENTLY CAPPED OR TEMPORARILY CAPPED IF MADE READY FOR CONNECTION TO NEW WORK.
24.	CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UNDERGROUND/UNDER-SLAB LINES AND COORDINATE WITH ALL DISCIPLINES FOR NEW CONNECTIONS.

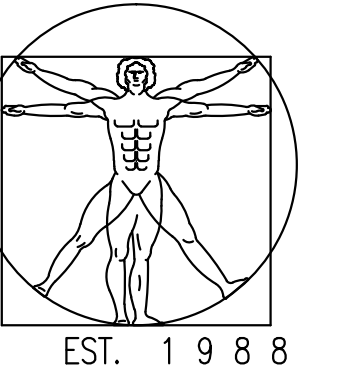
GENERAL NOTES	
1.	THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS ARE THE LEGAL PROPERTY OF THE ARCHITECT AND ARE INSTRUMENT OF SERVICE NOT TO BE REPRODUCED IN WHOLE OR IN PARTS WITHOUT THE EXPRESS WRITTEN CONSENT OF THE SAME.
2.	IT IS THE INTENT OF THE ARCHITECT THAT THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
3.	IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS TO COMPLETE ALL BUILDING SYSTEMS AND PROVIDE ALL NECESSARY APPURTENANCES FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER AND IN ACCORDANCE WITH ALL APPLICABLE CODES, RULES, AND REGULATIONS.
4.	ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN. DETAILED AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
5.	ALL DIMENSIONS SHOWN ARE NOMINAL UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
6.	SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION C.N.G.V.D. OR AN ELEVATION NO LESS THAN HIGHEST APPROVED ROAD ELEVATION OF THE ROAD ABUTTING THE PROPERTY.
7.	ALL DESIGN LOADS ARE TO BE AT MINIMUM PER F.B.C. 2014 AND AS OTHERWISE INDICATED IN THE CONTRACT.
8.	ALL EXTERIOR WINDOWS & DOORS SHALL BE IMPACT RESISTANT.
9.	ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSED TREATED. ALL HEADERS ARE DOUBLE MEMBERS UNLESS OTHERWISE NOTED.
10.	ALL PENETRATIONS THRU ANY RATED ASSEMBLY SHALL BE PROVIDED WITH UL APPROVED PENETRATION RATED MATERIAL.
11.	HARDWARE, BATHROOM AND LIGHTING FIXTURES, AND OTHER MISCELLANEOUS ITEMS NOT SPECIFICALLY CALLED OUT ON DRAWINGS SHALL BE SELECTED BY OWNER.
12.	ALL MECHANICAL, PLUMBING AND ELECTRICAL SHALL COMPLY WITH THE F.B.C. 2014 (MECH//ELECT//PLUMB).
13.	ALL WORK TO BE TRUE TO LINE, PLUM AND SQUARE AND ADEQUATELY SUPPORTED. FILL ALL Voids BETWEEN COMPONENTS. ALL ITEMS THAT DO NOT MEET THE ARCHITECT'S SATISFACTION AS TO GOOD TRADE PRACTICES AND QUALITY WORKMANSHIP WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
14.	WHEN CONFLICTING INFORMATION ARE FOUND IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO CONSTRUCTION.
15.	THE CONTRACTOR IS TO ACQUIRE ALL REQUIRED PERMITS FOR DEMOLITION (IF APPLICABLE), CONSTRUCTION, AND OCCUPANCY OF THE PROJECT.
16.	THE CONTRACTOR SHALL SUBMIT A SCHEDULE FOR DEMOLITION AND CONSTRUCTION PROCEDURES AND OPERATIONAL SEQUENCE FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT/ENGINEER AND OWNER.
17.	CONTRACTOR IS TO COORDINATE AND SCHEDULE THE WORK OF ALL TRADES TO INSURE THE WORK IS COMPLETED IN A TIMELY MANNER, COMPLYING WITH OWNER/CONTRACTOR AGREEMENT.
18.	CONTRACTOR SHALL SUBMIT PRODUCT APPROVAL DATA FOR ALL PRODUCTS AND MATERIALS AS REQUIRED BY CODE AND SPECIFIC MUNICIPALITY THE PROJECT IS LOCATED IN.
19.	CONTRACTOR SHALL SUBMIT, WITHIN 15 DAYS FROM OWNER/CONTRACTOR CONTRACT, A SHOP DRAWING AND SUBMITTAL SCHEDULE FOR ARCHITECT AND OWNER APPROVAL.
20.	CONTRACTOR SUBMITTALS MUST CONTAIN (3) THREE SETS FOR ARCHITECT/ENGINEER/OWNER RECORDS, PLUS ANY ADDITIONAL SETS REQUIRED FOR PERMITTING AND CONTRACTORS USE. ALL SUBMITTALS MUST BE COMPLETE (NO PARTIAL SUBMITTALS WILL BE RECEIVED). ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE CONTRACTOR BEFORE SUBMITTING TO THE ARCHITECT/ENGINEER AND OWNER.
21.	CONTRACTOR SHALL SUBMIT TO ARCHITECT SIGN & SEAL TRUSS SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
22.	CONTRACTOR SHALL PROVIDE THE ARCHITECT AND OWNER WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDED IN THE DRAWINGS.
23.	ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE IN A NEAT AND WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, APPLICABLE CODES, RULES AND REGULATIONS HAVING JURISDICTION.
24.	CONTRACTOR SHOULD MAINTAIN THE SITE SAFE AND CLEAR OF DEBRIS. ALL CONSTRUCTION DEBRIS IS TO BE REMOVED FROM THE WORK AREAS DAILY AND FROM THE SITE AT PROPER INTERVALS.
25.	THE CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION APPROVED BY THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
26.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF HIS WORK, INCLUDING BUT NOT LIMITED TO VANDALISM, THEFT, ETC.
27.	CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF GOODS BEING INSTALLED UNDER THIS CONTRACT, AS WELL AS FOR COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
28.	THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, PROCEDURES OR FOR PRECAUTIONS AND PROGRAMS RELATED TO THE PROJECT'S CONSTRUCTION.
29.	THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING BUILDING AND SITE CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCIES BE ENCOUNTERED BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE ARCHITECT/ENGINEER SHOULD BE NOTIFIED IN WRITING 7 DAYS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
30.	CONTRACTOR IS TO PROVIDE ALL THE SUPPLEMENTARY MATERIALS REQUIRED TO PROPERLY INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS WITHIN THE SCOPE OF THE PROJECT.
31.	CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, FLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
32.	CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SPECIFIC STANDARDS AND REQUIREMENTS BY CORRESPONDING TESTING AGENCIES ON ASSEMBLIES CALLED OUT IN DRAWINGS & SPECIFICATIONS.
33.	CONTRACTOR SHALL EMPLOY AND PAY FOR SERVICES OF AN INDEPENDENT, QUALIFIED TESTING LABORATORY TO PERFORM SOIL COMPACTION TEST AS WELL AS COMPRESSIVE STRENGTH TEST IN CONCRETE SAMPLINGS, AS PER ASTM STANDARDS.
34.	NOT USED
35.	TO OBTAIN ARCHITECT'S APPROVAL ON APPLICATION FOR PAYMENT, CONTRACTOR SHALL SUBMIT DETAILED SCHEDULE OF VALUES PER TRADE, BROKEN DOWN TO SUFFICIENT LINE ITEMS TO GRANT PAYMENT ON COMPLETED PORTIONS ONLY. NO PAYMENT WILL BE APPROVED ON PARTIALLY COMPLETED LINE ITEMS.
36.	NOT USED

ABBREVIATIONS	
NOTE: NOT ALL ABBREVIATIONS ARE USED IN THIS SET	
ABV	ABOVE
AC	AIR CONDITIONER
AF	ABOVE FINISHED FLOOR
AHU	AIR HANDLER UNIT
BLK	BLOCK
BD	BOARD
B.O.	BOTTOM OF
CL	CENTRE LINE
CLG	CEILING
CMU	CONCRETE MASONRY UNITS
COL	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
DBL	DOUBLE
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
DS	DOWNSPOUT
ELEC.	ELECTRICAL
EJ	EXPANSION JOINT
EXT.	EXTERIOR
EXIST.	EXISTING
FCL	FINISHED CEILING LEVEL
F.FL	FINISHED FLOOR LEVEL
FD	FLOOR DRAIN
GA	GAUGE
GALV.	GALVANIZED
GYP	GYPSUM
HC	HOLLOW CORE
INS.	INSULATION
INT.	INTERIOR
MAX	MAXIMUM
MFR	MANUFACTURER
MIN	MINIMUM
MO.	MASONRY OPENING
MTL	METAL
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
OH	OVERHANG
OC	ON CENTER
OD	OUTSIDE DIAMETER
PH	PAPER HOLDER
PL	PROPERTY LINE
PLF	FOUNDS PER LINEAR FOOT
P.T.	PRESSURE TREATED
P.T.D.	PAINTED
PLY.U.D.	PLYWOOD
RD	ROOF DRAIN
SCP	SCUPPER
S.C.	SOLID CORE
SF	SQUARE FOOT
SH	SINGLE HANG
SHT	SHEET
SIM.	SIMILAR
SS	STAINLESS STEEL
STL	STEEL
SU	SUITCH
SB	SPLASH BLOCK
SD	STORM DRAIN
T.O.	TOP OF
TYP.	TYPICAL
UNO.	UNLESS NOTED OTHERWISE
UL	UNDERWRITERS LABORATORIES
U.A.	WEDGE ANCHORS
W	WITH
WC	WATER CLOSET
WD	WOOD
WH	WATER HEATER

ARCHITECTURAL SYMBOLS	
ELEVATIONS / SECTIONS / DETAILS SYMBOLS	
	- BUILDING SECTION TAG
	- WALL OR DETAIL SECTION TAG
	- BUILDING ELEVATION TAG
PLANS	
	- ROOM NAME AND NUMBER
	- WALL TYPE TAG (REFER TO WALL TYPE SCHEDULE)
	- WINDOW TAG (REFER TO WINDOW SCHEDULE)
	- DOOR TAG (REFER TO DOOR SCHEDULE)
	- WHEELCHAIR MANEUVERING FLOOR CLEARANCE AT DOORS IN EGRESS AREAS (FBC/ADA)
	- WHEELCHAIR 5 FEET RADIUS TURNING CLEARANCE AT FLOOR IN COMMON AREAS (FBC/ADA)
	- INTERIOR ELEVATIONS TAG
	- FINISH FLOOR SCHEDULE (REFER TO FINISH PLAN)
	- LIFE SAFETY - ROOM OCCUPANCY LOAD TAG
	- LIFE SAFETY - EGRESS DOOR LOAD TAG
	- REFERENCE - REVISION TAG AND CLOUD REVISIONS ARE DONE SHEET BY SHEET.
	- REFERENCE - MAX. DOOR LOAD
GENERAL	
	- ENLARGED PLAN OR DETAIL
	- KEY NOTE TAG (REFER TO KEY NOTES)
GENERAL NOTE: ALSO REFER TO SPECIFIC PLAN LEGEND	
	- FINISH TAG
	- VERTICAL ELEVATION TAG

ARCHITECTURAL SYMBOLS	
ELEVATIONS / SECTIONS / DETAILS SYMBOLS	
	- BUILDING SECTION TAG
	- WALL OR DETAIL SECTION TAG
	- BUILDING ELEVATION TAG
PLANS	
	- ROOM NAME AND NUMBER
	- WALL TYPE TAG (REFER TO WALL TYPE SCHEDULE)
	- WINDOW TAG (REFER TO WINDOW SCHEDULE)
	- DOOR TAG (REFER TO DOOR SCHEDULE)
	- WHEELCHAIR MANEUVERING FLOOR CLEARANCE AT DOORS IN EGRESS AREAS (FBC/ADA)
	- WHEELCHAIR 5 FEET RADIUS TURNING CLEARANCE AT FLOOR IN COMMON AREAS (FBC/ADA)
	- INTERIOR ELEVATIONS TAG
	- FINISH FLOOR SCHEDULE (REFER TO FINISH PLAN)
	- LIFE SAFETY - ROOM OCCUPANCY LOAD TAG
	- LIFE SAFETY - EGRESS DOOR LOAD TAG
	- REFERENCE - REVISION TAG AND CLOUD REVISIONS ARE DONE SHEET BY SHEET.
	- REFERENCE - MAX. DOOR LOAD
GENERAL	
	- ENLARGED PLAN OR DETAIL
	- KEY NOTE TAG (REFER TO KEY NOTES)
GENERAL NOTE: ALSO REFER TO SPECIFIC PLAN LEGEND	
	- FINISH TAG
	- VERTICAL ELEVATION TAG

REG
ARCHITECTS
INTERIORS
PLANNERS
INCORPORATED



EST. 1988
RICK GONZALEZ, A.I.A.
PRESIDENT AR-0014172
300 CLEMATIS STREET
WEST PALM BEACH
FLORIDA 33401
PH: (561)-659-2383
FAX: (561)-659-5546
www.regarchitects.com

CORPORATION NUMBER
AA-0002447

VILLAGE COMMONS
EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.

DATE: __-__-2016

SCALE: N.T.S.

DRAWN: BC

CHECKED: MHA/REG

REG No. 16020

© 2016

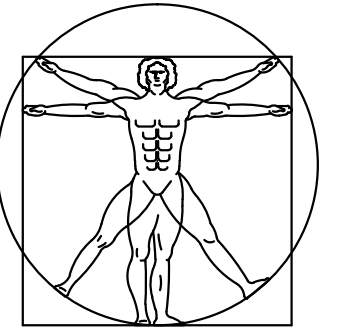
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT UNLESS OTHERWISE NOTED. IF ANY CHANGES OR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ARCHITECTURAL
INFORMATION
SHEET

A-0.00

REG

ARCHITECTS
INTERIORS
PLANNERS
INCORPORATED



EST. 1988

RICK GONZALEZ, A.I.A.
PRESIDENT AR-0014172

300 CLEMATIS STREET
WEST PALM BEACH
FLORIDA 33401
PH: (561)-659-2383
FAX: (561)-659-5546

www.regarchitects.com

CORPORATION NUMBER
AA-0002447

**VILLAGE
COMMONS**
EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE: __-__-2016

SCALE: 1" = 60'-0"

DRAWN: BC

CHECKED: MHA/REG

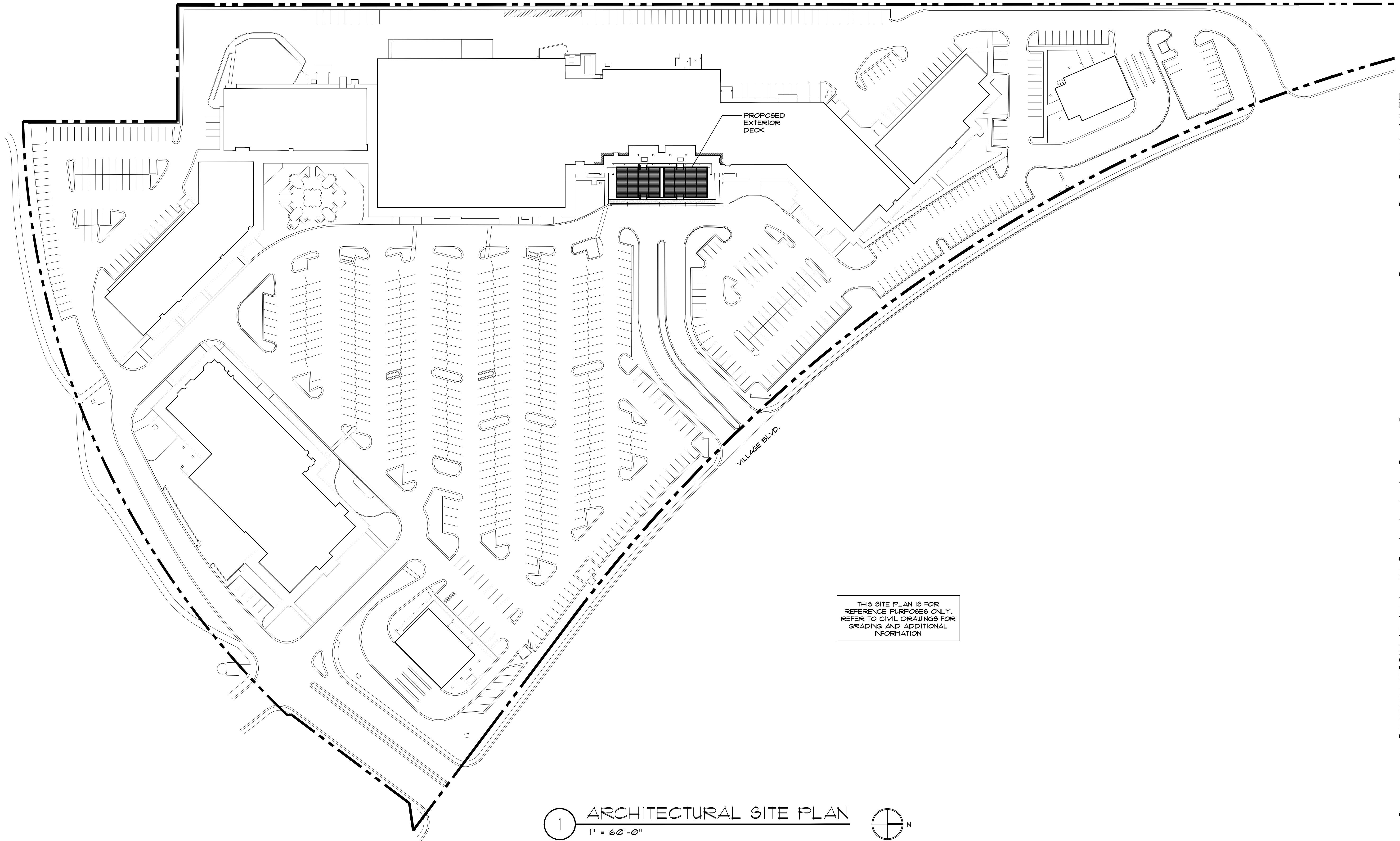
REG No. 16020

© 2016

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

ARCHITECTURAL
SITE
LAYOUT PLAN

A-0.01



PROPOSED
EXTERIOR
DECK

VILLAGE BLVD.

THIS SITE PLAN IS FOR
REFERENCE PURPOSES ONLY.
REFER TO CIVIL DRAWINGS FOR
GRADING AND ADDITIONAL
INFORMATION

1 ARCHITECTURAL SITE PLAN
1" = 60'-0"

EXISTING FLOOR PLAN - SYMBOL LEGEND

- EXISTING WALL OR PARTITION TO REMAIN
- - - EXISTING CONDITION TO REMAIN
- - - - TO BE REMOVED, UNO. TYPICAL

SELECTIVE DEMOLITION NOTES

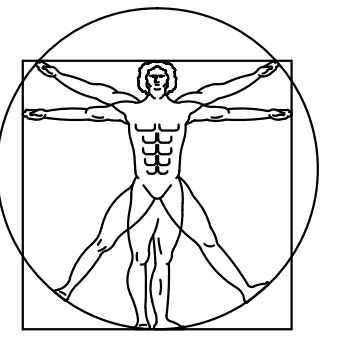
1. EXISTING STRUCTURE TO REMAIN, UNLESS NOTED OTHERWISE.
2. MAINTAIN FIRE RATING AT ALL DEMISING WALLS.

DEMOLITION PLAN - KEY NOTES

- ① PLANTERS TO BE REMOVED.
- ② EXISTING PAVERS TO BE REMOVED.
- ③ EXISTING CURB TO BE REMOVED.
- ④ EXISTING FORTE-COCHERE COLUMNS TO BE REMOVED.
- ⑤ EXISTING LANDSCAPE TO BE REMOVED.
- ⑥ EXISTING FORTE-COCHERE TO BE REMOVED.
- ⑦ EXISTING ASPHALT PAVEMENT TO BE REMOVED.
- ⑧ EXISTING COLUMNS TO REMAIN (TYP.)
- ⑨ EXISTING BUILDING FACADE TO REMAIN
- ⑩ EXISTING WALKWAY TO REMAIN.

REG

ARCHITECTS
INTERIORS
PLANNERS
INCORPORATED



EST. 1988

RICK GONZALEZ, A.I.A.
PRESIDENT AR-0014172

300 CLEMATIS STREET
WEST PALM BEACH
FLORIDA 33401

PH: (561) - 659 - 2383
FAX: (561) - 659 - 5546

www.regarchitects.com

CORPORATION NUMBER
AA-0002447

VILLAGE COMMONS

EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE: __-__-2016

SCALE: 1/8"=1'-0"

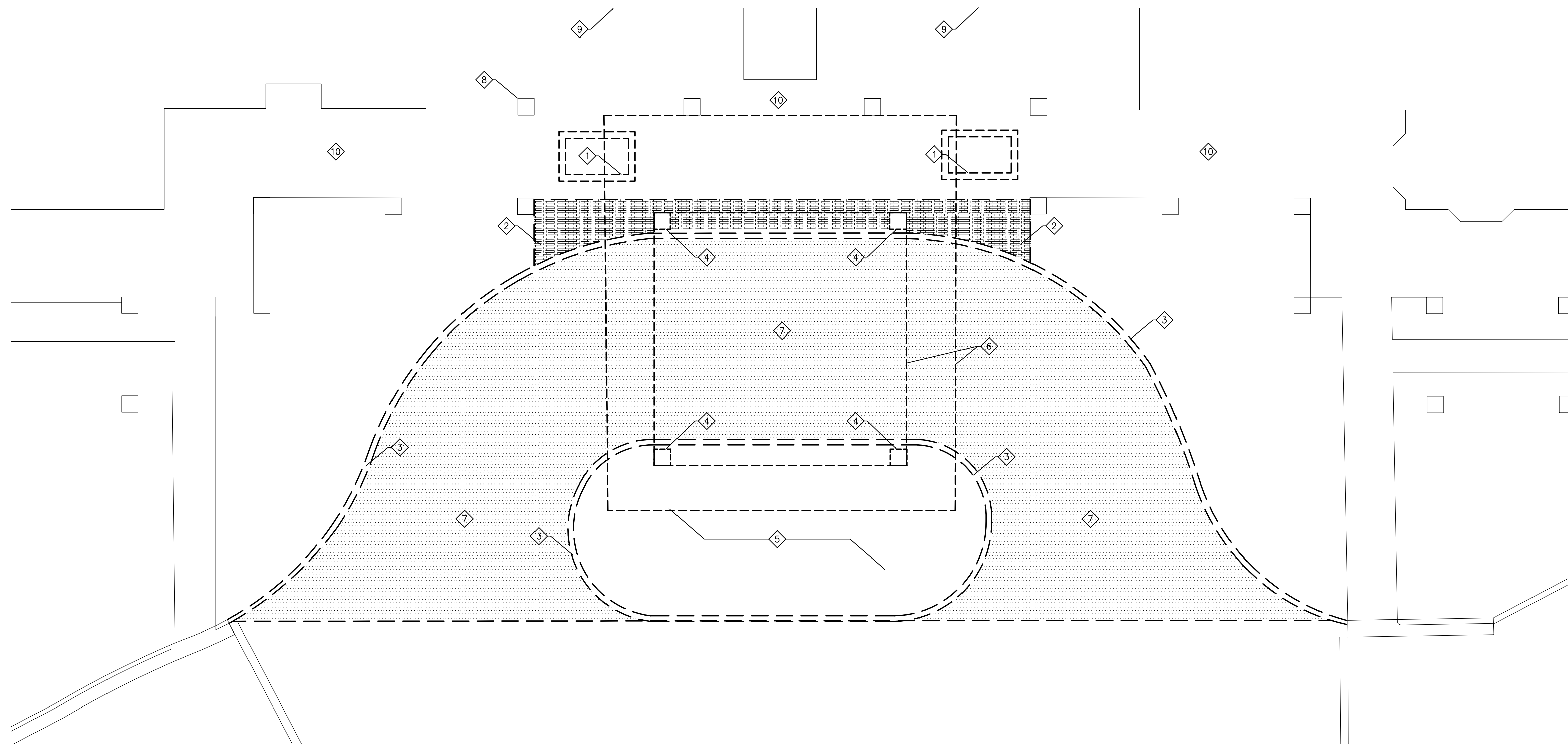
DRAWN: BC

CHECKED: MHA/REG

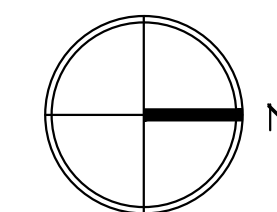
REG No. 16020

© 2016

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.



1 DEMOLITION PLAN
1/8" = 1'-0"



DEMOLITION PLAN

AD-1.01

LIFE SAFETY LEGEND	
TYPE	DESCRIPTION
←	EXIT TRAVEL PATH AND DISTANCE
---	1/2 HOUR RATED WALL ASSEMBLY
---	1 HOUR RATED WALL ASSEMBLY
---	2 HOUR RATED WALL ASSEMBLY
▨	1 HR FIRE RATED ROOF CONSTRUCTION
▨	1 HR FIRE RATED FLOOR CONSTRUCTION
▨	APPROVED NONCOMBUSTIBLE MATERIAL ROOF SHEATHING
⊕	EMERGENCY EXIT SIGN/LIGHT - WALL MOUNTED
⊗	EMERGENCY EXIT DIRECTION & SIGN/LIGHT - CEILING MOUNTED
---	LIMIT OF SCOPE OF WORK
□	ROOM NET SQ. FT. AREA
□	SEMI-RECESSED FIRE EXTINGUISHER CABINET - 15'-0" MAX. TRAVEL DISTANCE
⊕	NOT EXIT DOOR SIGN
⊗	PROVIDE 3" x 5" TACTILE SIGNAGE AT ALL EXIT DOORS w/ EXIT SIGNS, INSTALL ACCORDING WITH FBC, ACCESSIBILITY, SECTION 103. FOR LOCATION REFER TO SHEET LS-01.

GENERAL NOTES

STATEMENT:
ALL INFORMATION ON THE EXISTING BUILDING HAS BEEN PROVIDED BY THE OWNER TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES AND FIRE-SAFETY STANDARDS AS DETERMINED BY NATIONAL AND LOCAL AUTHORITIES

GENERAL NOTES:
 • CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE CITY OF PALM BEACH GARDENS OF MODIFIED EXISTING FIRE SPRINKLER AND FIRE ALARM SYSTEMS.
 • FIRE PROTECTION SYSTEMS SHALL REMAIN ACTIVE DURING DEMOLITION AND RENOVATION ACTIVITIES. IN THE EVENT A FIRE PROTECTION SYSTEM IS OUT OF SERVICE FOR MORE THAN 4 HOURS IN A 24 HOUR PERIOD, THE BUILDING SHALL BE PLACED UNDER A FIRE WATCH. ALL FIRE WATCH REQUESTS MUST BE SUBMITTED IN WRITING TO THE OFFICE OF THE FIRE MARSHAL.
 • PROVIDE POSTING OF OCCUPANT LOAD AT EACH SPACE AS REQUIRED BY FBC, SECTION 1403

CODE ANALYSIS

PROJECT: - VILLAGE COMMONS EXTERIOR DECK ADDITION
 LOCATION: - 931 VILLAGE BOULEVARD WEST PALM BEACH, FLORIDA 33409

SCOPE OF WORK:
 THE SCOPE OF WORK INCLUDES IMPROVEMENTS FOR SUITE 602B:
 DECK:
 AREA, USE AND OCCUPANCY REMAINS UNCHANGED.
 • NEW EXTERIOR DECK TO PROVIDE MORE SEATING FOR THE FUTURE TENANTS.
 • REMOVAL OF EXISTING PORTE COCHERE.

AGENCY OF JURISDICTION:
 - PALM BEACH GARDENS BUILDING DEPARTMENT
 - PALM BEACH COUNTY FIRE RESCUE DEPARTMENT

APPLICABLE CODES:
 • THE FEDERAL ADA ACCESSIBILITY GUIDELINES
 • THE FLORIDA BUILDING CODES, 2014, 5TH EDITION
 • FLORIDA FIRE PREVENTION CODE, 2014, 5TH EDITION
 • NATIONAL FIRE PROTECTION ASSOCIATION CODES AND STANDARDS
 - NFPA 1 FIRE CODE, 2012 EDITION
 - NFPA 101, LIFE SAFETY CODE, 2012 EDITION WITH FLORIDA AMENDMENTS
 - NFPA 102, FIRE EXTINGUISHERS, 2010 EDITION WITH FLORIDA AMENDMENTS
 - AND NFPA 11, NFPA 12, NFPA 12A, NFPA 13, NFPA 13R, NFPA 11, NFPA 11A, NFPA 10, NFPA 12, NFPA 105, NFPA 124, NFPA 265, NFPA 286, NFPA 101
 • ELECTRIC CODE, 2011 EDITION
 • FLORIDA STATUS

BUILDING CLASSIFICATION:
 - ALTERATION-LEVEL II
 - EXISTING OCCUPANCY - A-2 ASSEMBLY - REMAINS UNCHANGED

USE AND OCCUPANCY CLASSIFICATION:
 - BUILDING:
 - ASSEMBLY - A-2 (RESTAURANT & ASSOCIATED KITCHEN)
 - DECK:
 - ASSEMBLY - A-2 (RESTAURANT & SPORTS BAR)

TYPE OF CONSTRUCTION
 - EXISTING BUILDING
 - TYPE III-A, SPRINKLERED
 - NEW ADDITION & RENOVATION
 - TYPE III-A, SPRINKLERED
 - FIRE RESISTANCE FOR BUILDING ELEMENTS (FBC, BLDG T601 & T602)
 - 1 HR. PRIMARY STRUCTURAL FRAME
 - 2 HRS. EXTERIOR BEARING WALLS
 - 1 HR. INTERIOR BEARING WALLS
 - 0 HR. EXTERIOR NON-BEARING WALLS
 - 0 HR. INTERIOR NON-BEARING WALLS
 - 1 HR. FLOOR CONSTRUCTION & SECONDARY MEMBERS
 - 1 HR. ROOF CONSTRUCTION & SECONDARY MEMBERS

GENERAL HEIGHT AND BUILDING AREAS (FBC TABLE 502.3)
 - EXISTING BUILDING _____ 82,395 SF (PER PROPERTY APPRAISER)
 - NEW ADDITION
 - FIRST FLOOR: _____ 73 SF
 - SECOND FLOOR: _____ 2,623 SF (1,660 SF ENCLOSED)
 - TOTAL AREA: _____ 2,676 SF
 - TOTAL AFTER BUILDING ADDITION: _____ 85,071 SF

FIRE AND SMOKE PROTECTION FEATURES
 - 1 HR FIRE RATED SHAFT ENCLOSURE
 - 1 HR FIRE RATED WALLS @ ELEVATOR, 2 HRS. IF EXTERIOR AS PER FBC, T601

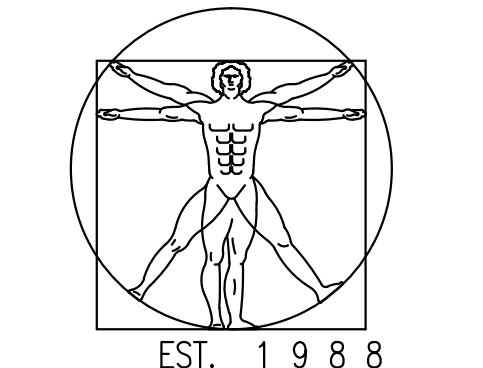
FIRE PROTECTION SYSTEMS
 - EXISTING AUTOMATIC SPRINKLER SYSTEM (FBC 903.1.1)
 - PORTABLE FIRE EXTINGUISHERS @ MAX. 75 FEET (FPF)
 - EXISTING FIRE ALARM AND DETECTION SYSTEMS
 - OCCUPANCY SEPARATION: NO SEPARATION REQUIRED BETWEEN ASSEMBLY AND ASSEMBLY OCCUPANCY, AS PER FBC 508.4 AND NFPA 101 6.11.4.1

MEANS OF EGRESS
 OCCUPANT LOAD CALCULATION AT AREAS WHERE ALTERATION LEVEL II IS BEING PERFORMED (FBC T1004.1) & NFPA T13.12)
 - EXISTING

FLOOR	AREA	NET SF	OCC.
FIRST FLOOR	EXIST. 19TH HOLE PATIO	1,421	5F/5
SECOND FLOOR	OUTDOOR DINING/ SPORTS BAR	6,398	5F/5
- PROPOSED			
FIRST FLOOR	EXIST. 19TH HOLE PATIO	1,421	5F/5
SECOND FLOOR	VESTIBULE TO SPORTS BAR		95 OCC.
	VESTIBULE TO SERVING AREA		461 OCC.
	OUTDOOR DINING AREA	4,502	5F/5
	SERVING AREA		
	PREP AREA - HOT STATION	484	GROSS SF/200
	OUTDOOR BAR	506	GROSS SF/200
	LOUNGE AREA	1,118	NET SF/5
	PROPOSED SECOND FLR OCC. LOAD		N/A ---

- MAXIMUM EXIT ACCESS TRAVEL DISTANCE ALLOWED (FBC 1016.1) ---
 - REQ'D = 250 FT, PROVIDED = 161 FT (UNCHANGED) 300 OCC.
 - MAXIMUM COMMON PATH OF TRAVEL ALLOWED (FBC 1014.3)
 - A2 = 30 FT (FBC 1014.3) (ROOMS WITH SEATS / TABLES) 3 OCC.
 - MINIMUM NUMBER OF EXITS REQUIRED (FBC 1021.1) 3 OCC.
 - REQ'D = 2 EXITS, PROVIDED = 2 EXISTING EXITS (UNCHANGED)
 - MAXIMUM DEAD END CORRIDOR ALLOWED (FBC 1018.4) 381 OCC.
 - A2 = 20 FT

REG
 ARCHITECTS
 INTERIORS
 PLANNERS
 INCORPORATED



EST. 1988
 RICK GONZALEZ, A.I.A.
 PRESIDENT AR-0014172
 300 CLEMATIS STREET
 WEST PALM BEACH
 FLORIDA 33401
 PH: (561)-659-2383
 FAX: (561)-659-5546
 www.regarchitects.com

CORPORATION NUMBER
 AA-0002447

VILLAGE COMMONS
 EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE: ___-__-2016

SCALE: 1/8"=1'-0"

DRAWN: BC

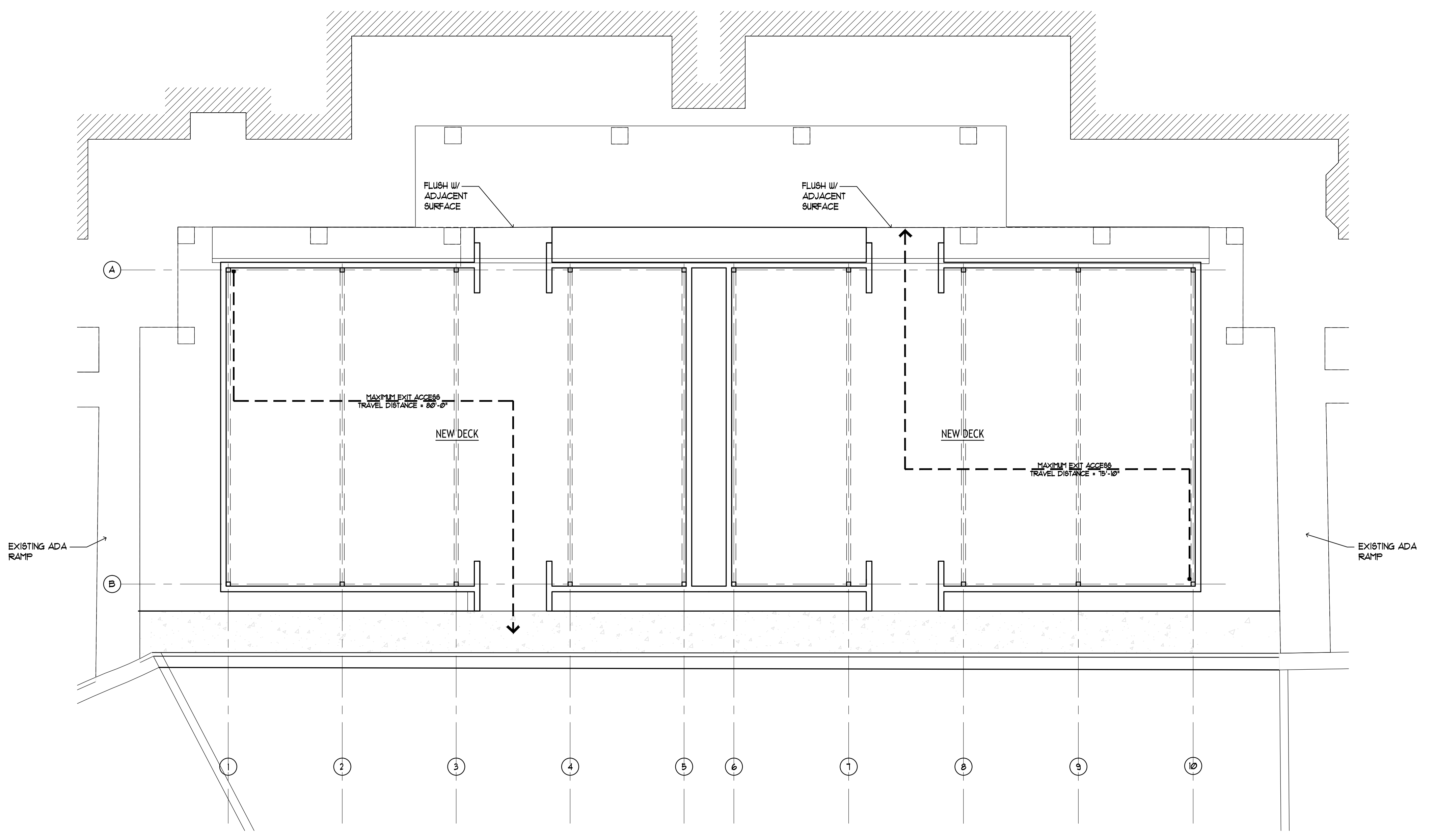
CHECKED: MHA/REG

REG No. 16020
 © 2016

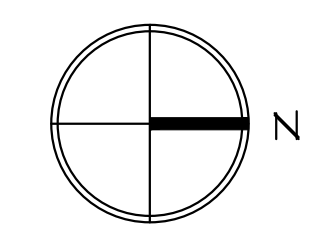
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

LIFE SAFETY PLAN

A-LS1



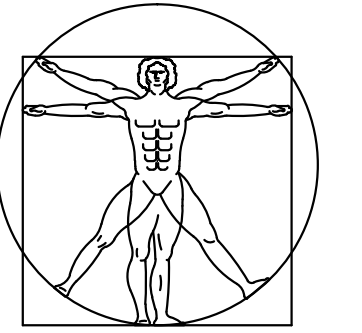
1 LIFE SAFETY PLAN
 1/8" = 1'-0"



WALL TYPES NOTES			
• UNLESS OTHERWISE NOTED, PLAN DIMENSIONS ARE TAKEN FROM FACE OF CMU OR CONCRETE TO FACE OF FINISH, OR FACE OF FINISH TO FACE OF FINISH.			
WALL TYPES			
MARK	DETAIL	DESCRIPTION	FIRE UL
(5)		• 8" CMU BLOCK WALL - 36" HIGH	N/A

REG

• ARCHITECTS
• INTERIORS
• PLANNERS
INCORPORATED



EST. 1988

RICK GONZALEZ, A.I.A.
PRESIDENT AR-0014172

300 CLEMATIS STREET
WEST PALM BEACH
FLORIDA 33401
PH: (561)-659-2383
FAX: (561)-659-5546

www.regarchitects.com

CORPORATION NUMBER
AA-0002447

VILLAGE COMMONS EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE: __-__-2016

SCALE: 1/8"=1'-0"

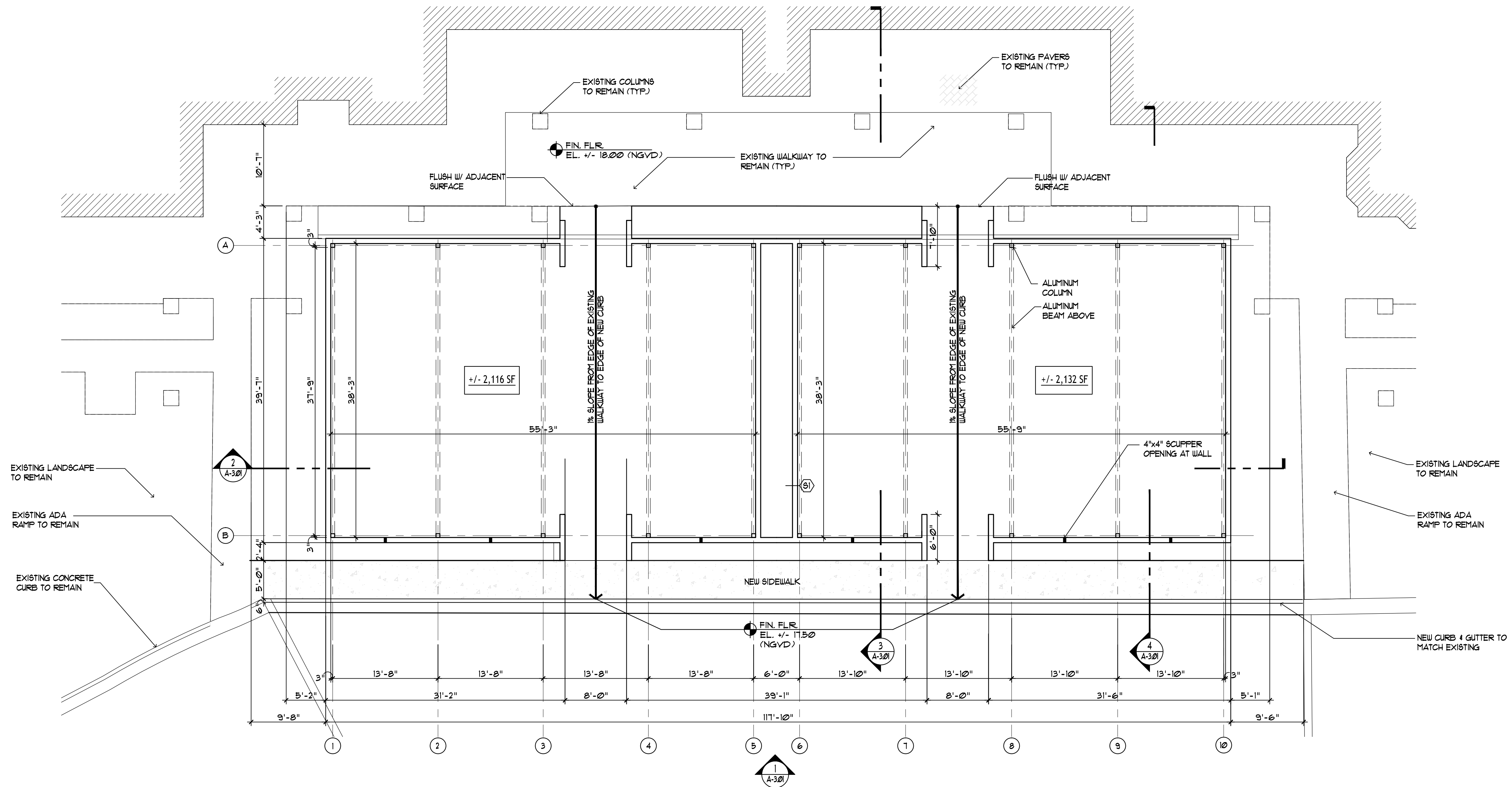
DRAWN: BC

CHECKED: MHA/REG

REG No. 16020

© 2016

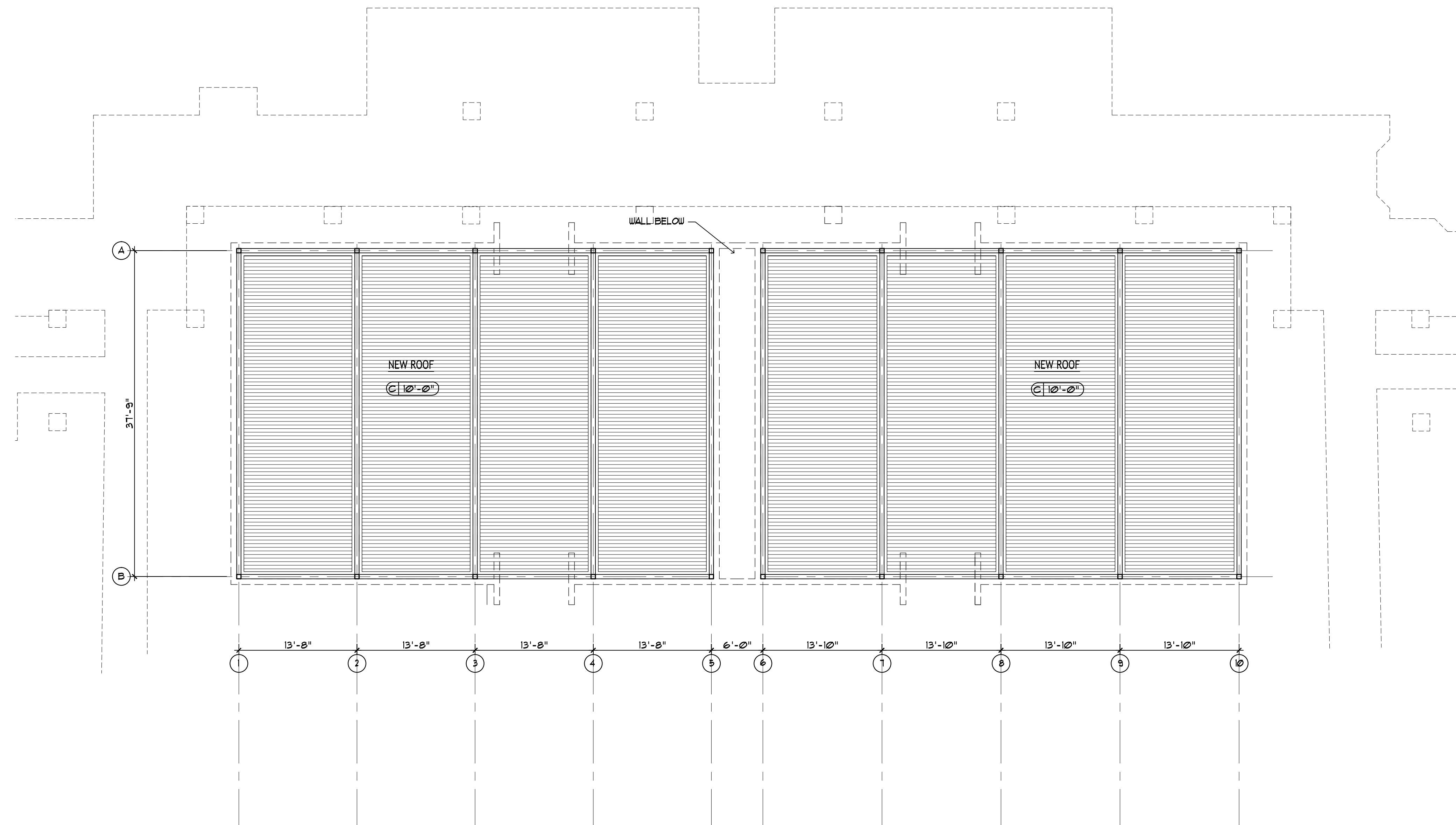
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.



1 FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN

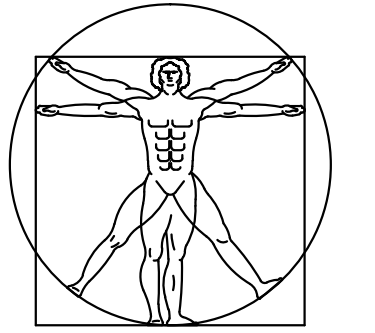
A-1.01



1 REFLECTED CEILING PLAN
 1/8" = 1'-0"
 N

CEILING FINISHES	
TYPE	DESCRIPTION
A	OPERABLE ALUMINUM LOUVER SYSTEM BY DELEGATED ENGINEER. PROVIDE ENGINEERING DRAWINGS FOR CITY APPROVAL. CEILING NOTES: • PATCH & REPAIR EXISTING ADJACENT FLOOR/ ROOF ASSEMBLIES AS REQUIRED, TYP.
CEILING FIXTURE LEGEND	
TYPE	DESCRIPTION
A	4" LED RECESSED LIGHT FIXTURE
B	4" LED RECESSED DIRECTIONAL LIGHT FIXTURE
F	EXTERIOR WALL SCONCE. REFER TO INTERIOR DESIGN PACKAGE
H	WALL MOUNTED FLUORESCENT VANITY LIGHT FIXTURE
J	LED COVE LIGHTING
(Symbol)	FUTURE PORTABLE 60" CEILING FAN REFER TO INTERIOR DESIGN PACKAGE
(Symbol)	FUTURE TWO (2) PORTABLE TURBO COOLERS TO BE INSTALLED BACK TO BACK. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS
(Symbol)	FUTURE SINGLE PORTABLE TURBO COOLER. INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS
9'-0"	CEILING FINISH TYPE AND HEIGHT TAG (FROM FINISH FLOOR)
LIGHTING GENERAL NOTE: ALL EXTERIOR LIGHTING FIXTURES AND CEILING FANS UNDER THE ALUMINUM LOUVERED ROOF TO BE WET RATED. ALL EXTERIOR LIGHTING FIXTURES AND CEILING FANS UNDER THE FLAT ROOF AREA TO BE DAMP RATED.	

REG
 ARCHITECTS
 INTERIORS
 PLANNERS
 INCORPORATED



EST. 1988
 RICK GONZALEZ, A.I.A.
 PRESIDENT AR-0014172
 300 CLEMATIS STREET
 WEST PALM BEACH
 FLORIDA 33401
 PH: (561)-659-2383
 FAX: (561)-659-5546
 www.regarchitects.com

CORPORATION NUMBER
 AA-0002447

VILLAGE
 COMMONS
 EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE: __-__-2016

SCALE: 1/8"=1'-0"

DRAWN: BC

CHECKED: MHA/REG

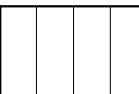





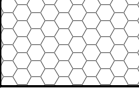
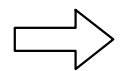
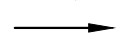





REG No. 16020

© 2016

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

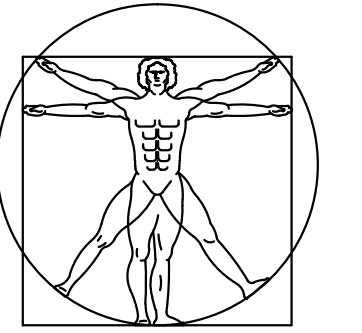
REFLECTED CEILING
 PLAN

A-1.02

ROOF LEGEND	ROOF KEY NOTES
 STANDING SEAM METAL ROOFING (REFER TO ROOF PLAN FOR SLOPE) BASIS OF DESIGN: BERRIDGE MANUFACTURING; ZEE-LOCK COLOR: MEDIUM BRONZE	 WALL BELOW  OPEN TO BELOW  ROOF RIDGE  ROOF BELOW  ROOF ABOVE
 CRICKET (SLOPE 1/2:12 MIN.)  ROOF SLOPE DIRECTION.  CRICKET SLP. DIRECTION.	ABBREVIATIONS  SB FLASH BLOCK  SC SCUPPER  EO EMERGENCY OVERFLOW SCUPPER  DS DOWNSPOUT  RD ROOF DRAIN

REG

ARCHITECTS
INTERIORS
PLANNERS
INCORPORATED



EST. 1988

RICK GONZALEZ, A.I.A.
PRESIDENT AR-0014172

300 CLEMATIS STREET
WEST PALM BEACH
FLORIDA 33401
PH: (561)-659-2383
FAX: (561)-659-5546





www.regarchitects.com

CORPORATION NUMBER
AA-0002447

VILLAGE COMMONS

EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	
	
	
	

DATE: __-__-2016

SCALE: 1/8"=1'-0"

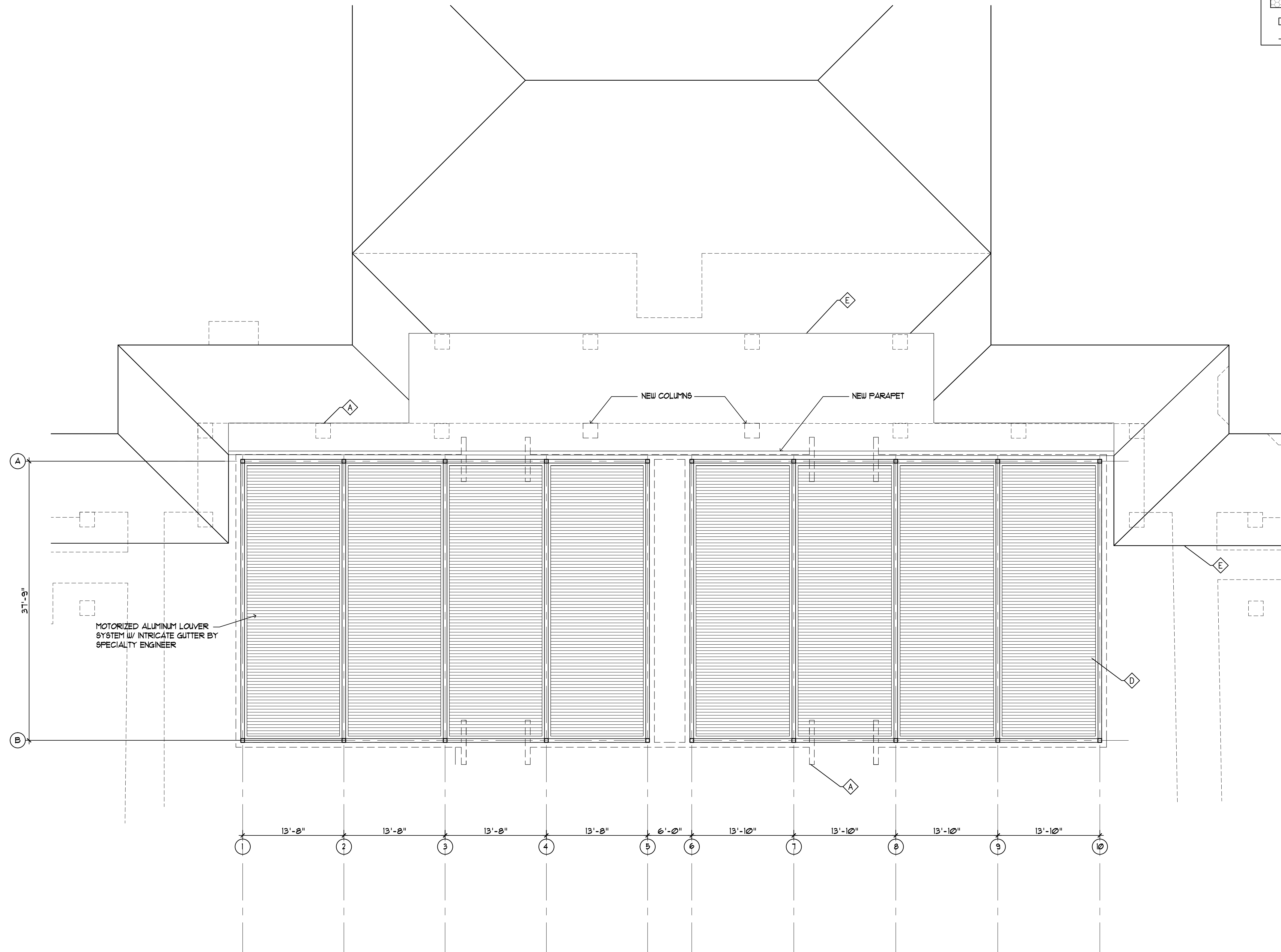
DRAWN: BC

CHECKED: MHA/REG

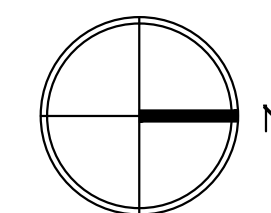
REG No. 16020

© 2016

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

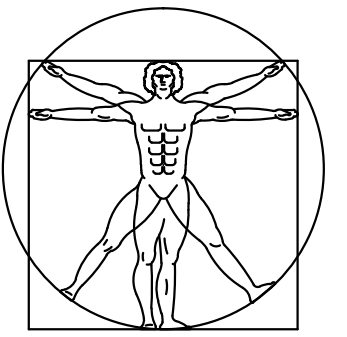


1 ROOF PLAN
1/8" = 1'-0"



ROOF
PLAN

A-2.01



**VILLAGE
 COMMONS**
 EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE: _ _ -2016

SCALE: 1/8"=1'-0"

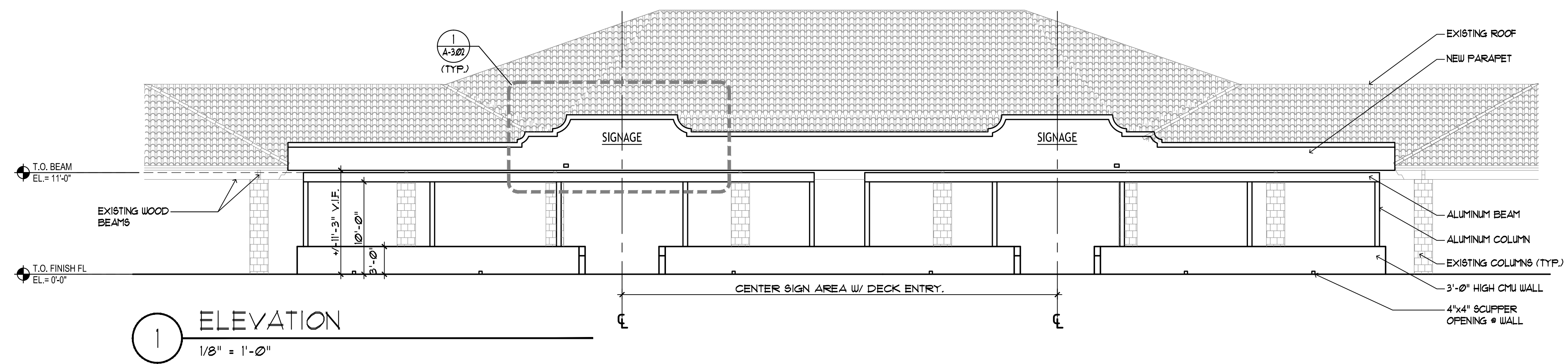
DRAWN: BC

CHECKED: MHA/REG

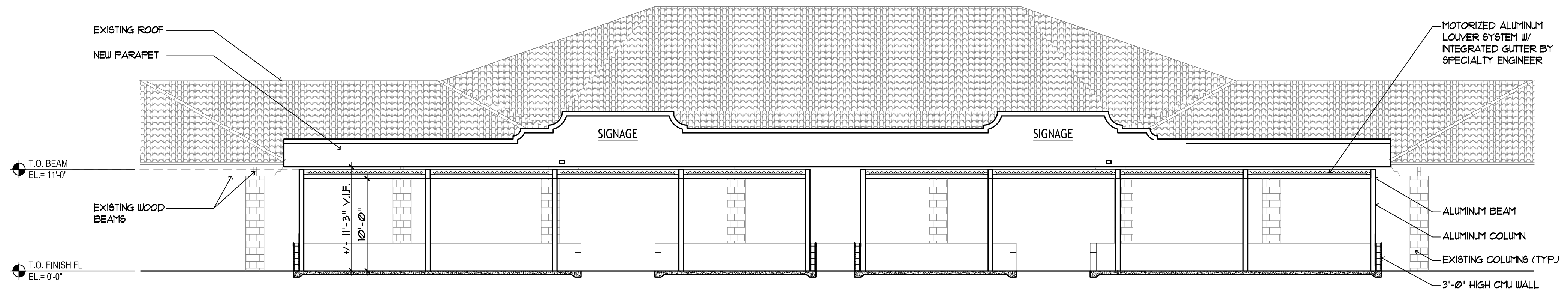
REG No. 16020

© 2016

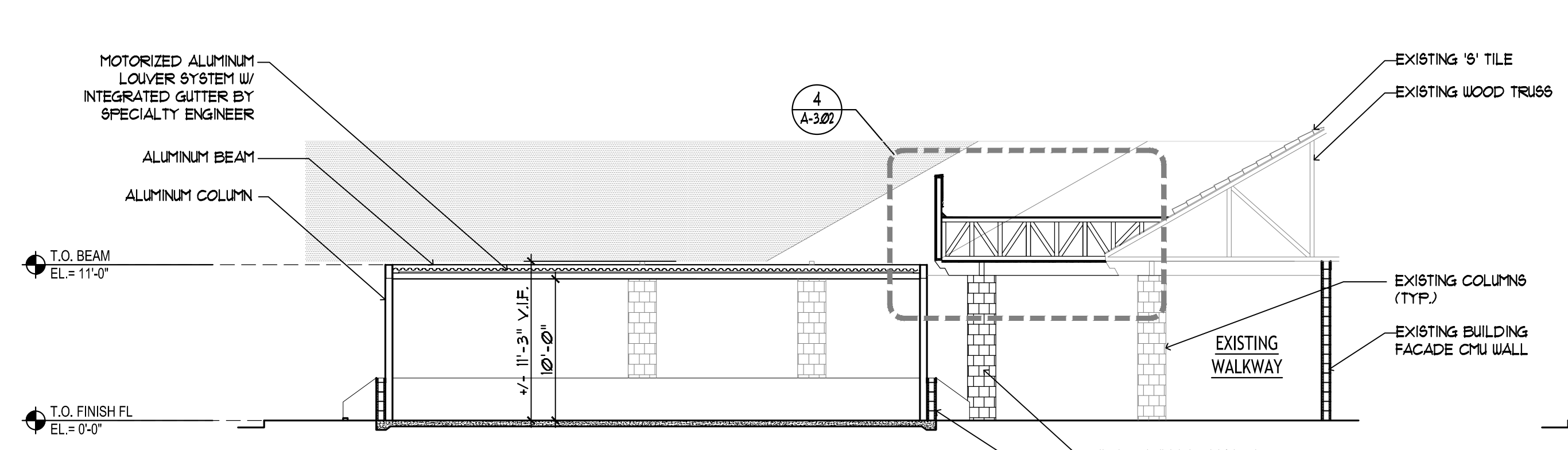
OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.



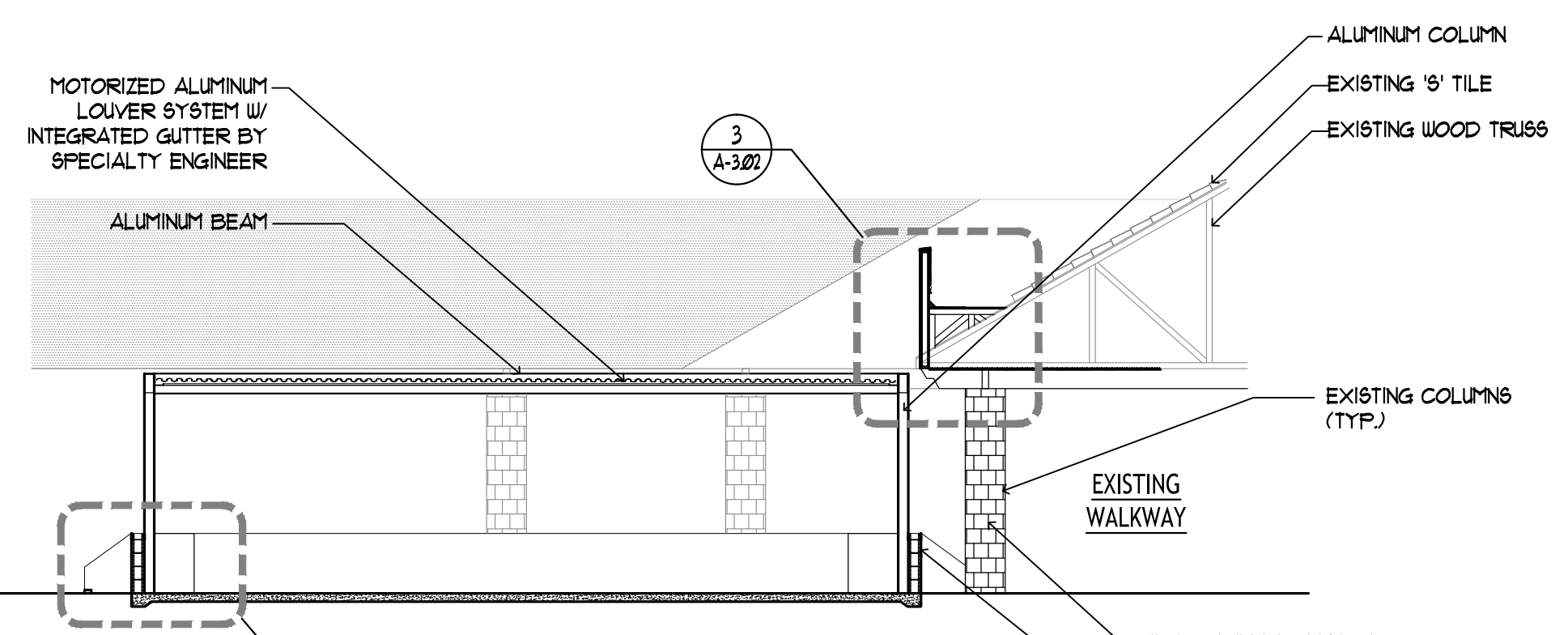
1 ELEVATION
 1/8" = 1'-0"



2 SECTION
 1/8" = 1'-0"



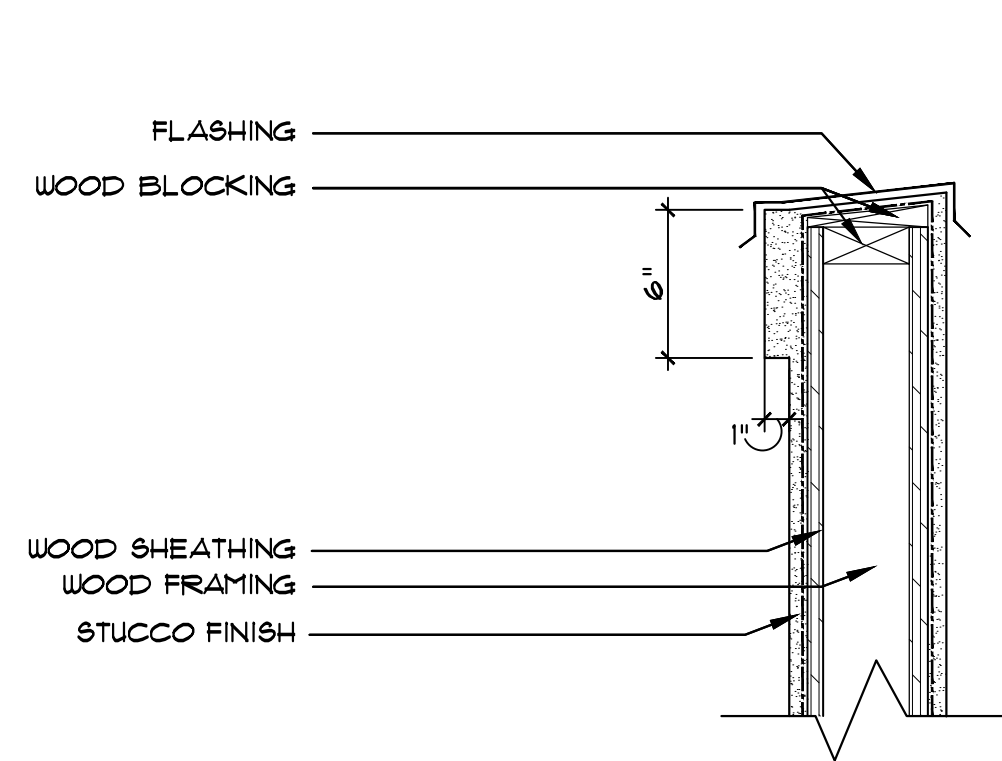
3 SECTION
 1/8" = 1'-0"



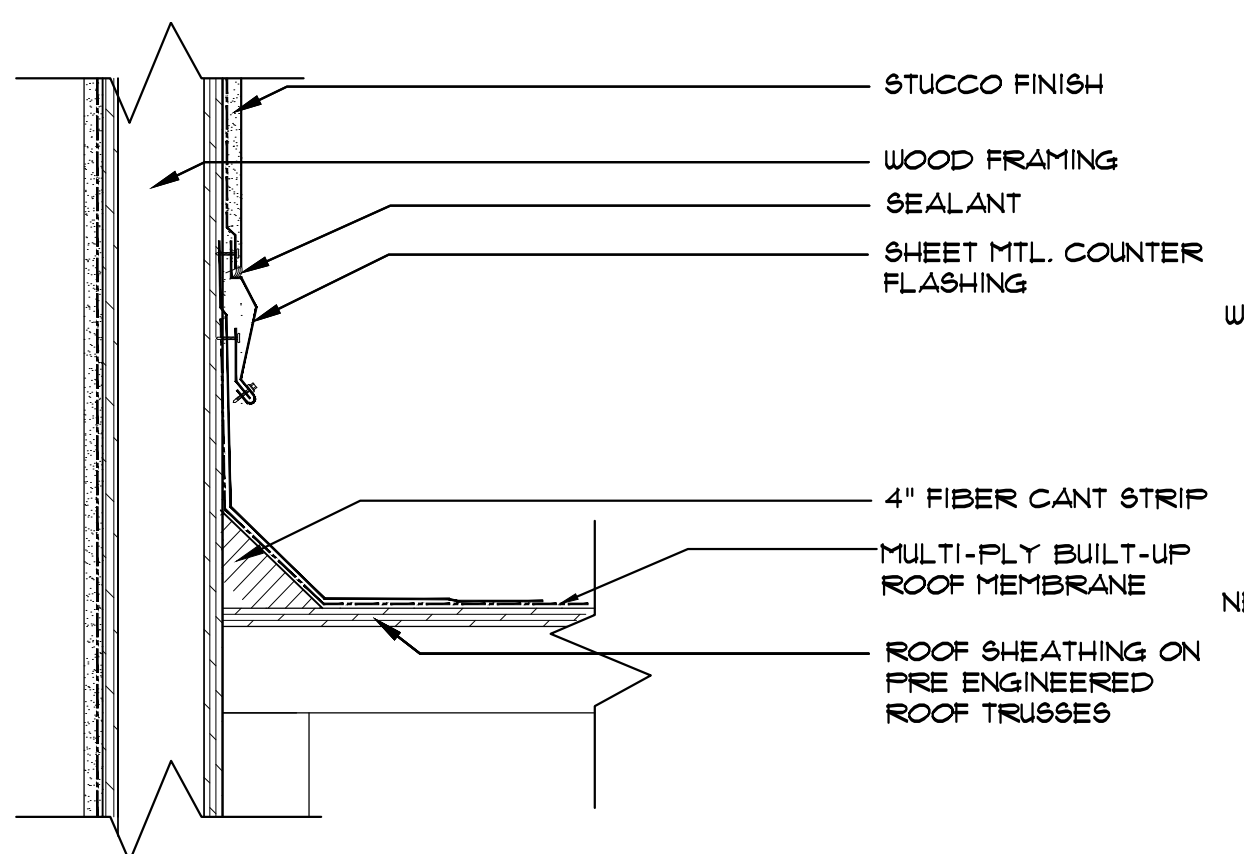
4 SECTION
 1/8" = 1'-0"

ELEVATIONS &
 SECTIONS

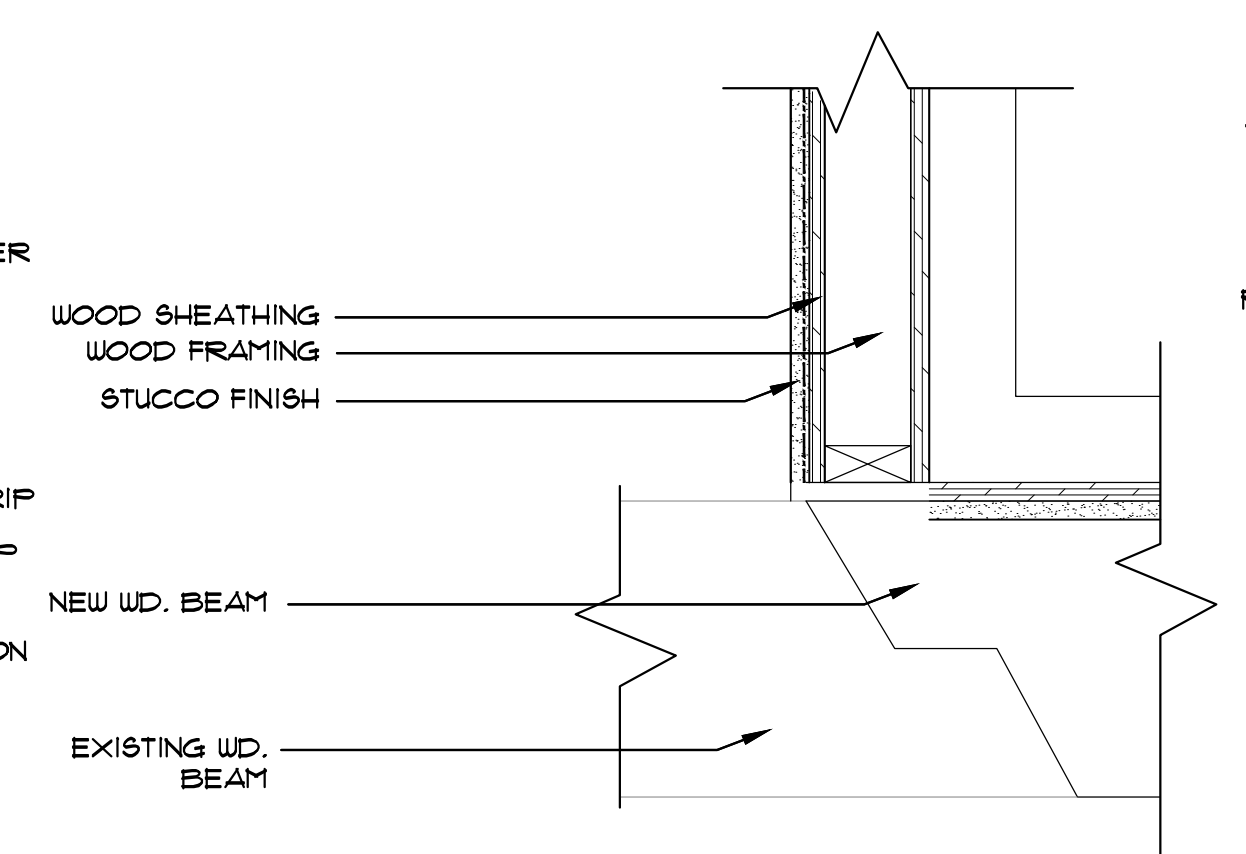
A-3.01



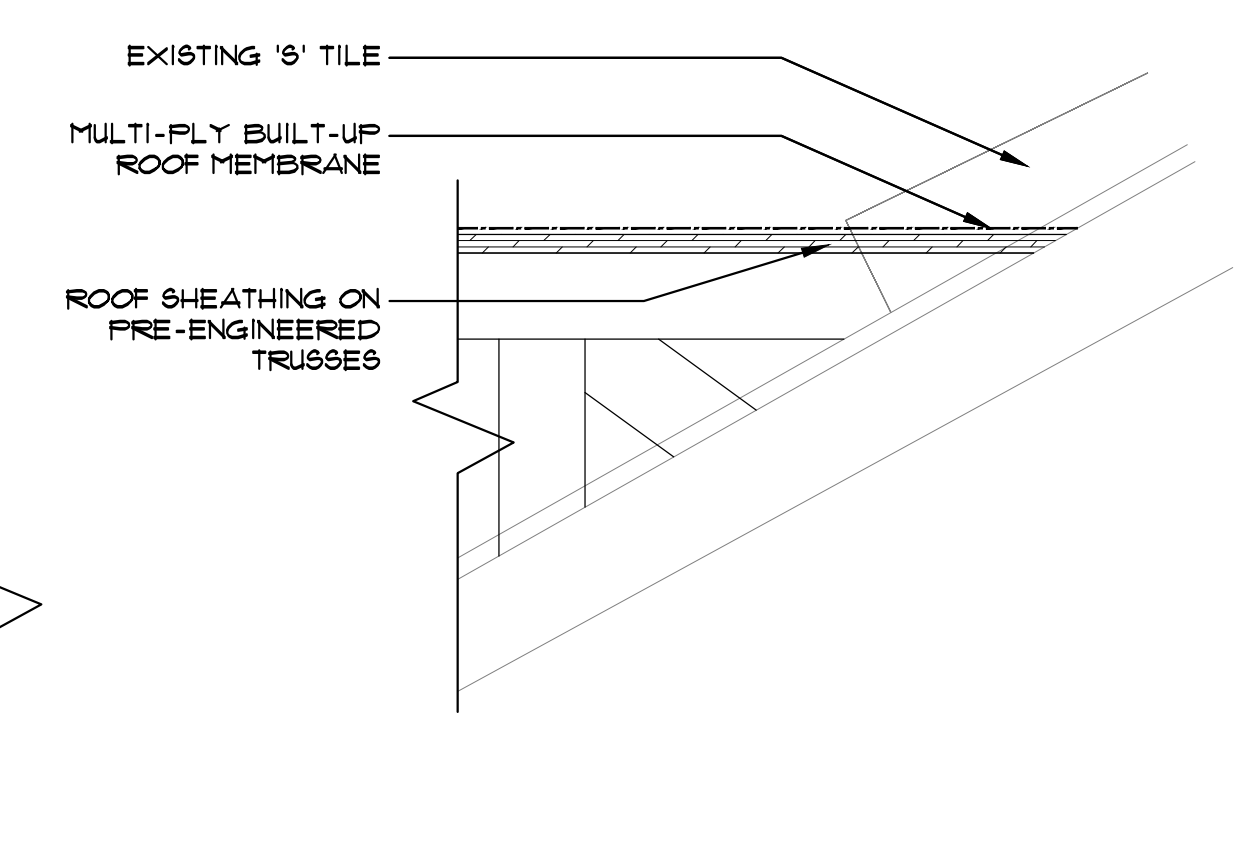
8 DETAIL
1 1/2" = 1'-0"



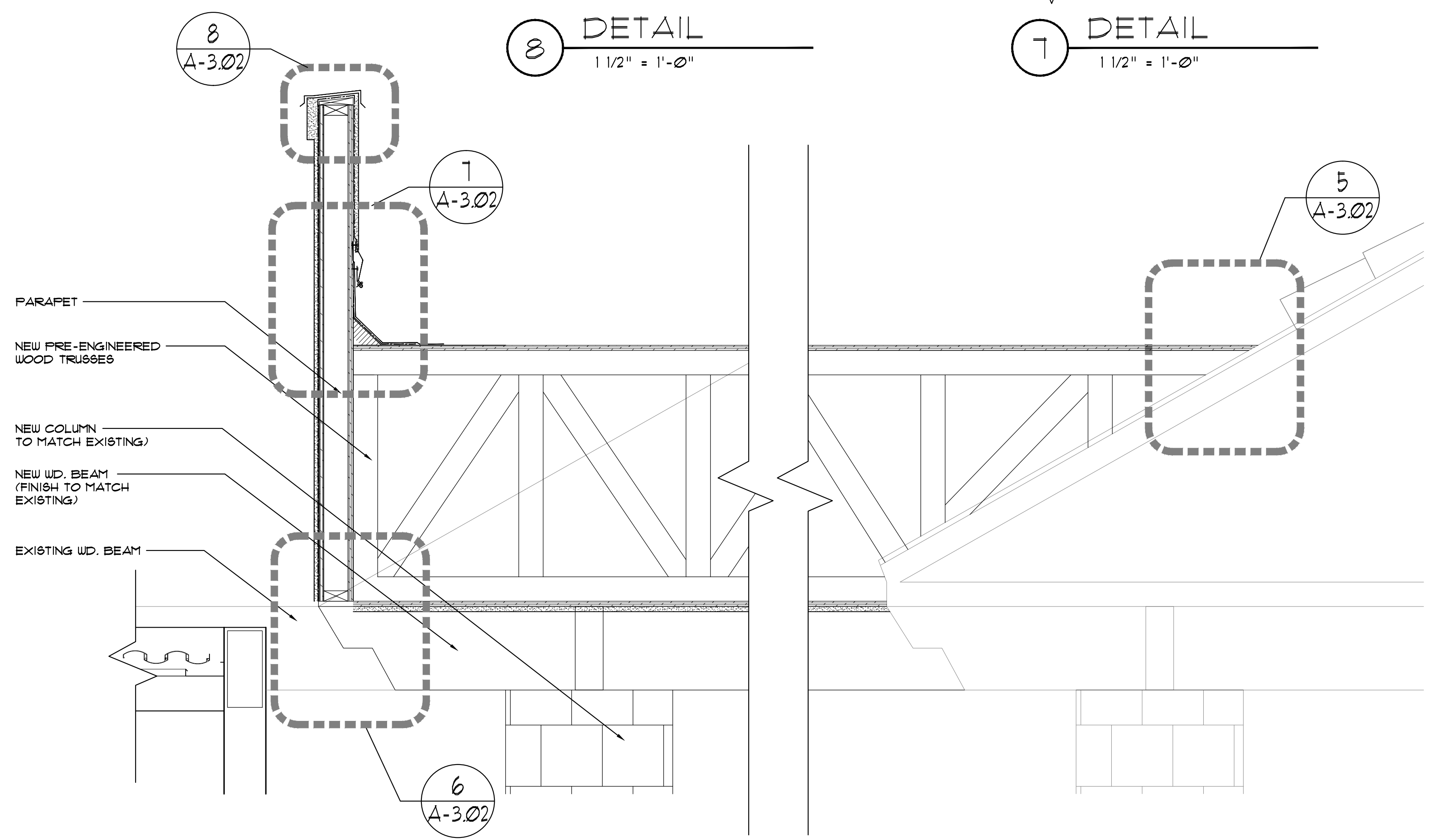
7 DETAIL
1 1/2" = 1'-0"



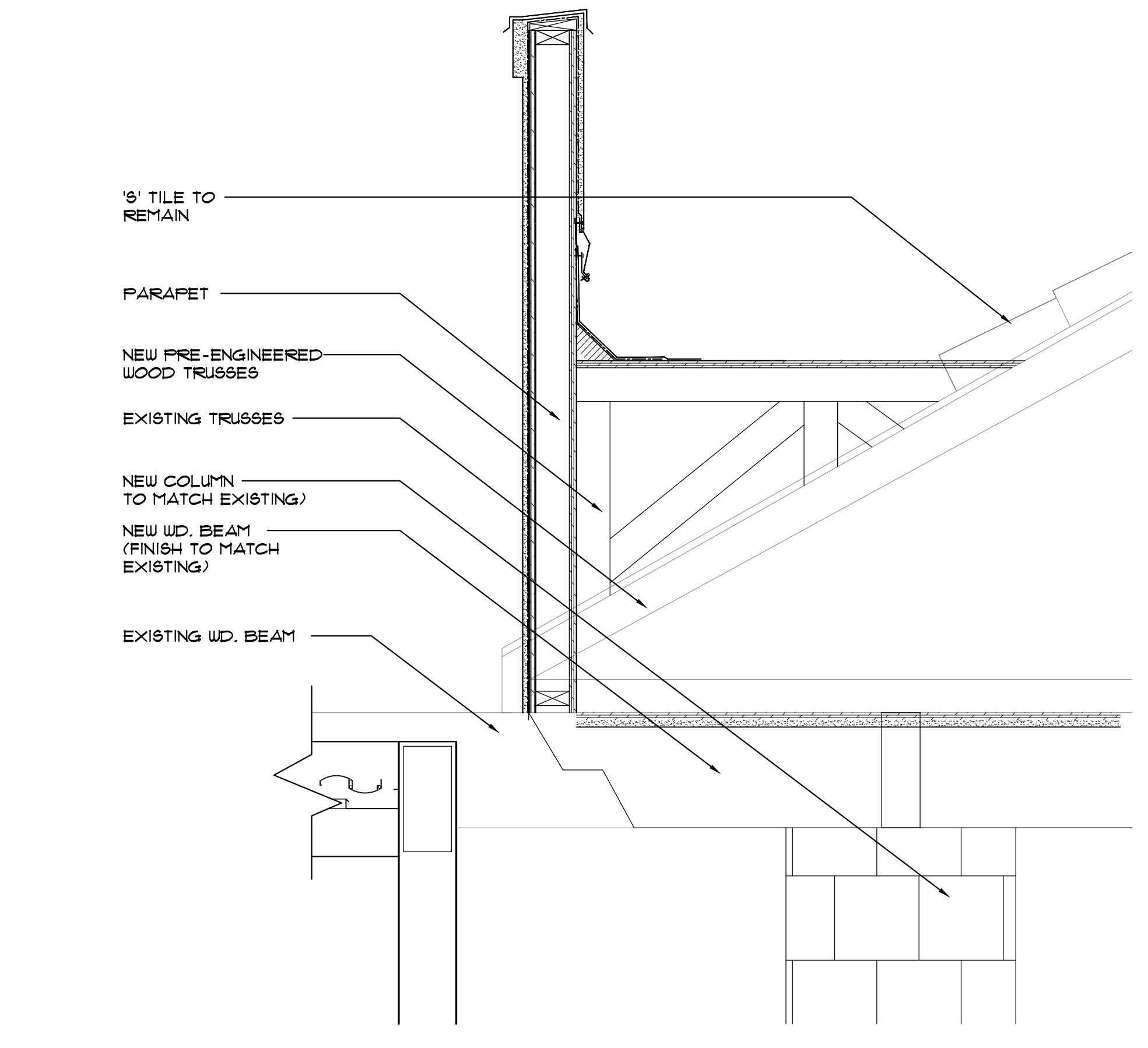
6 DETAIL
1 1/2" = 1'-0"



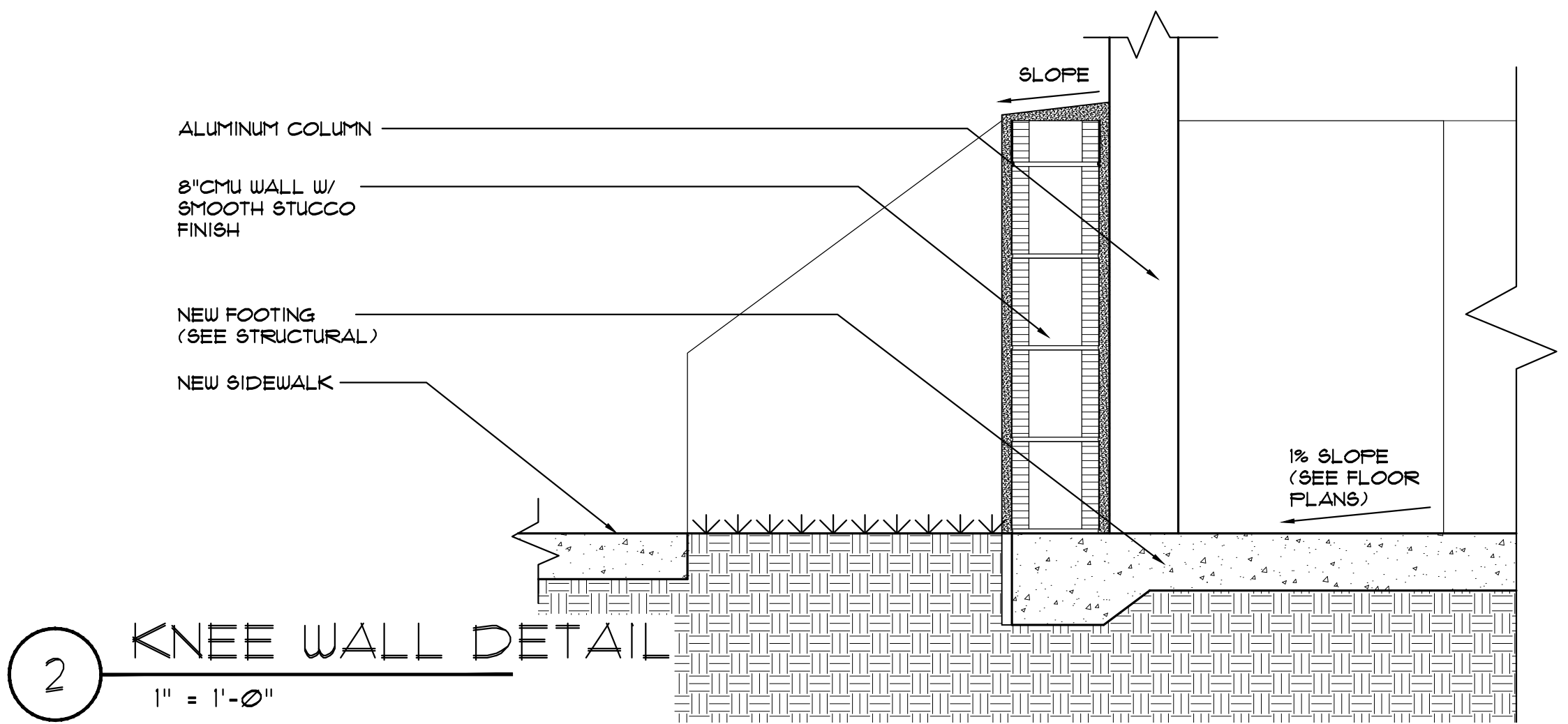
5 DETAIL
1 1/2" = 1'-0"



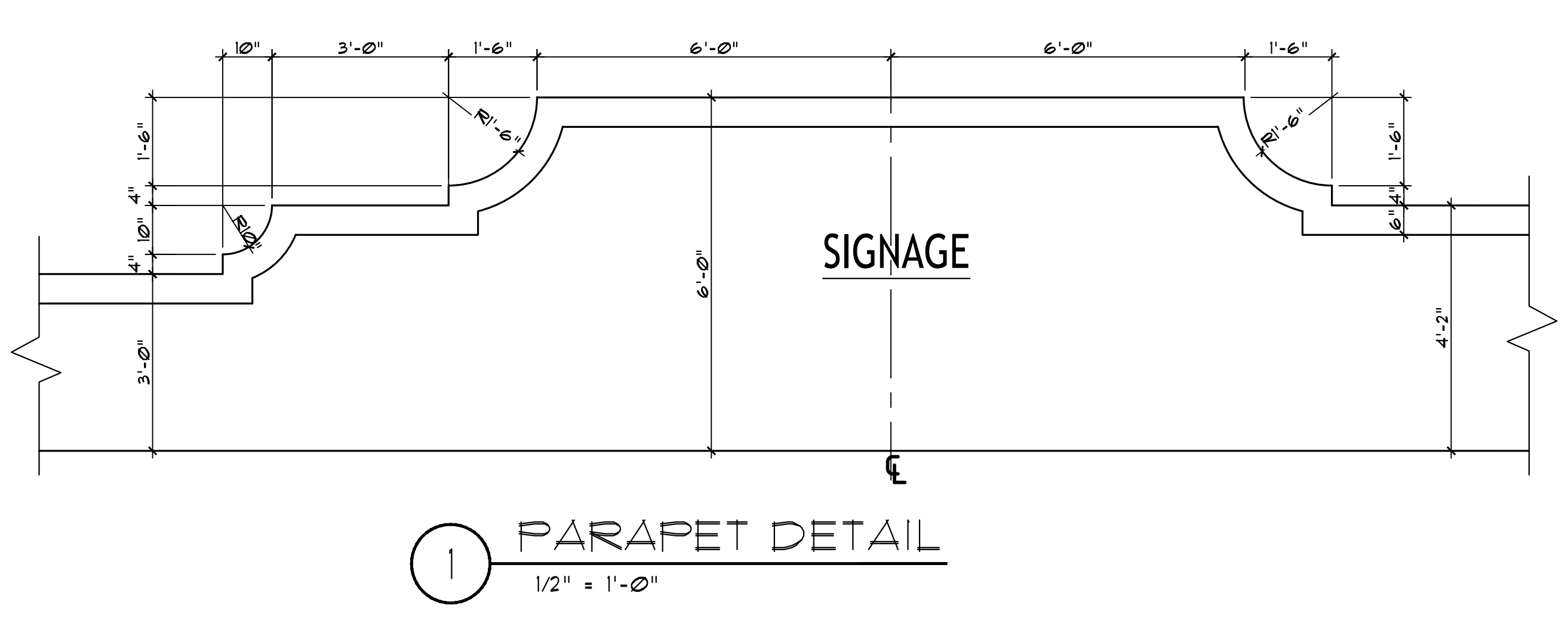
4 DETAIL
1" = 1'-0"



3 DETAIL
1" = 1'-0"



2 KNEE WALL DETAIL
1" = 1'-0"



1 PARAPET DETAIL
1/2" = 1'-0"

REG
ARCHITECTS
INTERIORS
PLANNERS
INCORPORATED

EST. 1988
RICK GONZALEZ, A.I.A.
PRESIDENT AR-0014172
300 CLEMATIS STREET
WEST PALM BEACH
FLORIDA 33401
PH: (561)-659-2383
FAX: (561)-659-5546
www.regarchitects.com
CORPORATION NUMBER
AA-0002447

VILLAGE
COMMONS
EXTERIOR DECK

WEST PALM BEACH, FL. 33409

REVISIONS	NO.
	▲
	▲
	▲
	▲

DATE: __-__-2016

SCALE: AS NOTED

DRAWN: CM

CHECKED: MHA/REG

REG No. 16020
© 2016

OWNERSHIP AND USE OF THESE DOCUMENTS & SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT THEY ARE MADE FOR IS EXECUTED OR NOT. THEY SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS OR FOR ADDITIONS TO THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

SECTION
DETAILS

A-3.02