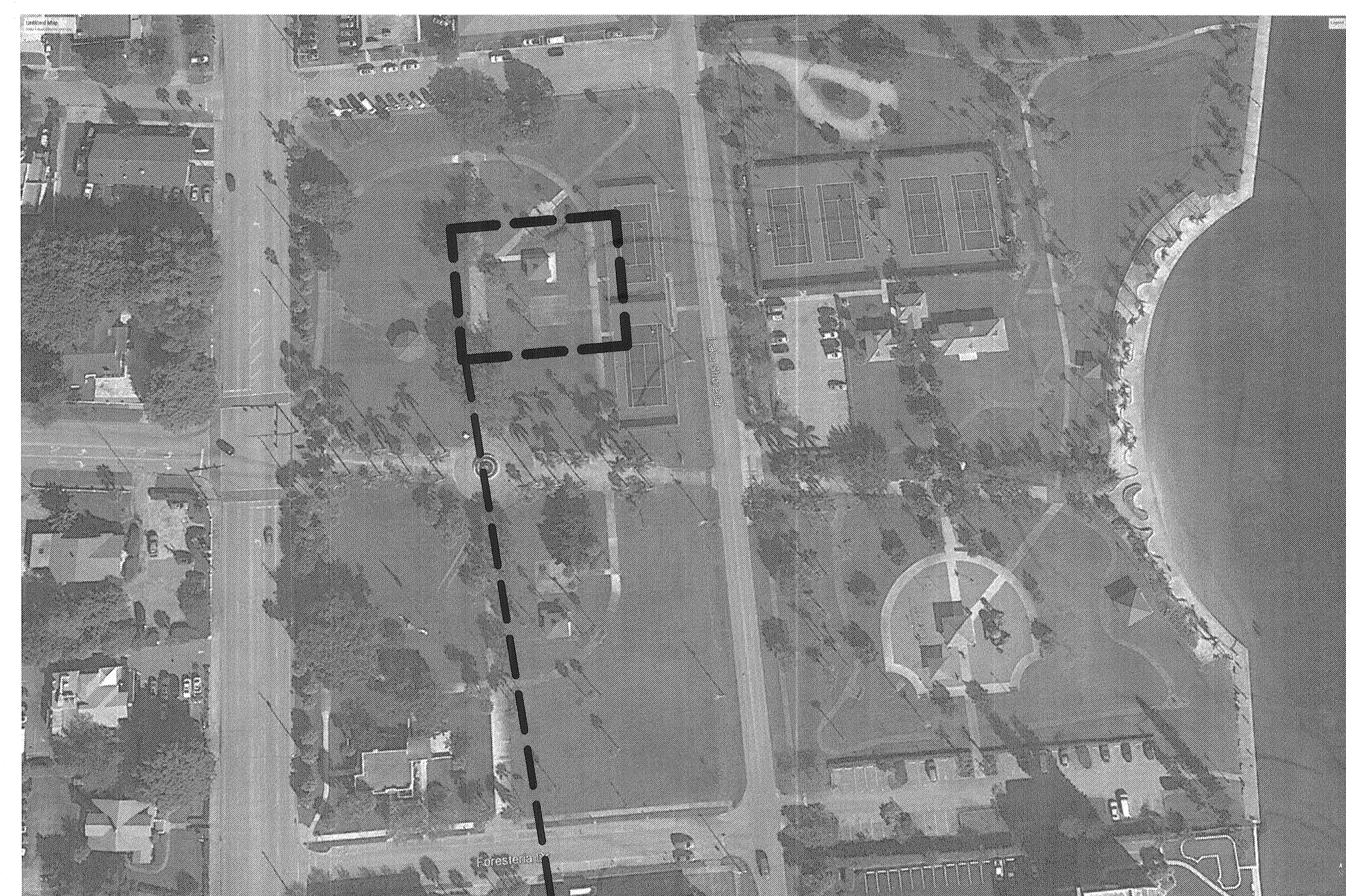


KELSEY PARK RESTROOM FACILITY

BID SET
11/06/16

NO.	REVISION	DATE

CONSULTANT:



PROJECT LOCATION



LOCATION MAP

Drawing Index

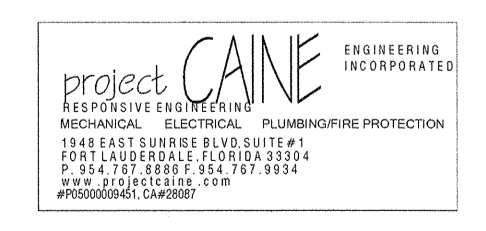
COV	COVER SHEET
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SUR	SURVEY
CIVIL	
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C-2	EROSION CONTROL PLAN
C-3	UTILITY PLAN
C-4	PAVING GRADING AND DRAINAGE PLAN
C-5	DETAILS
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SITE	
SP-1	SITE PLAN
SP-2	ENLARGED SITE PLAN & DETAILS
SP-3	SITE PLAN DETAILS
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A-1	LIFE SAFETY & FLOOR PLAN
A-2	RCP, ROOF PLAN & DETAILS
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A-4	BUILDING SECTIONS & DETAILS
A-5	FINISH FLOOR PLAN & INT. ELEVATIONS
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ALTERNATE III:
1. PLUG ABANDONED SAN. SEWER LATERAL IN KELSEY PARK PER SEACOAST UTILITY AUTHORITY REQUIREMENTS
See Kelsey Plan Sheet C3.00

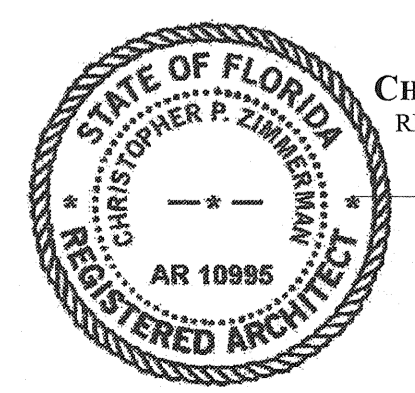
TOWN PROJECT: NO.

TOWN COMMISSION		
James Dubois	-	Mayor
Kimberly Glas-Castro	-	Vice Mayor
Erin T. Flaherty	-	Commissioner
Michael O'Rourke	-	Commissioner
Anne Lynch	-	Commissioner
Kathleen Rapoza (2013-2016)	-	Commissioner
John O. D'Agostino	-	Town Manager
Thomas J. Baird, Esq.	-	Town Attorney
Vivian Mendez, CMC	-	Town Clerk



CPZ
Architects, Inc.
4316 West Broward Boulevard
Plantation, Florida 33317
(954) 792-8525, (954) 337-0359 Fax
AA #26000685

MUEngineers, Inc.
3440 NE 12th AVENUE
OAKLAND PARK, FL 33334
PHONE: (954) 324-4730 FAX: (954) 653-4170
WWW.MUEENGINEERS.COM



CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,095
STATE OF FLORIDA
DATE: 11/06/16

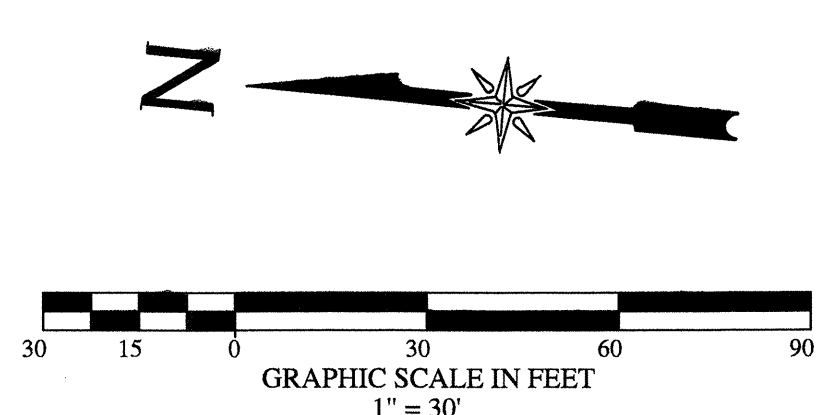
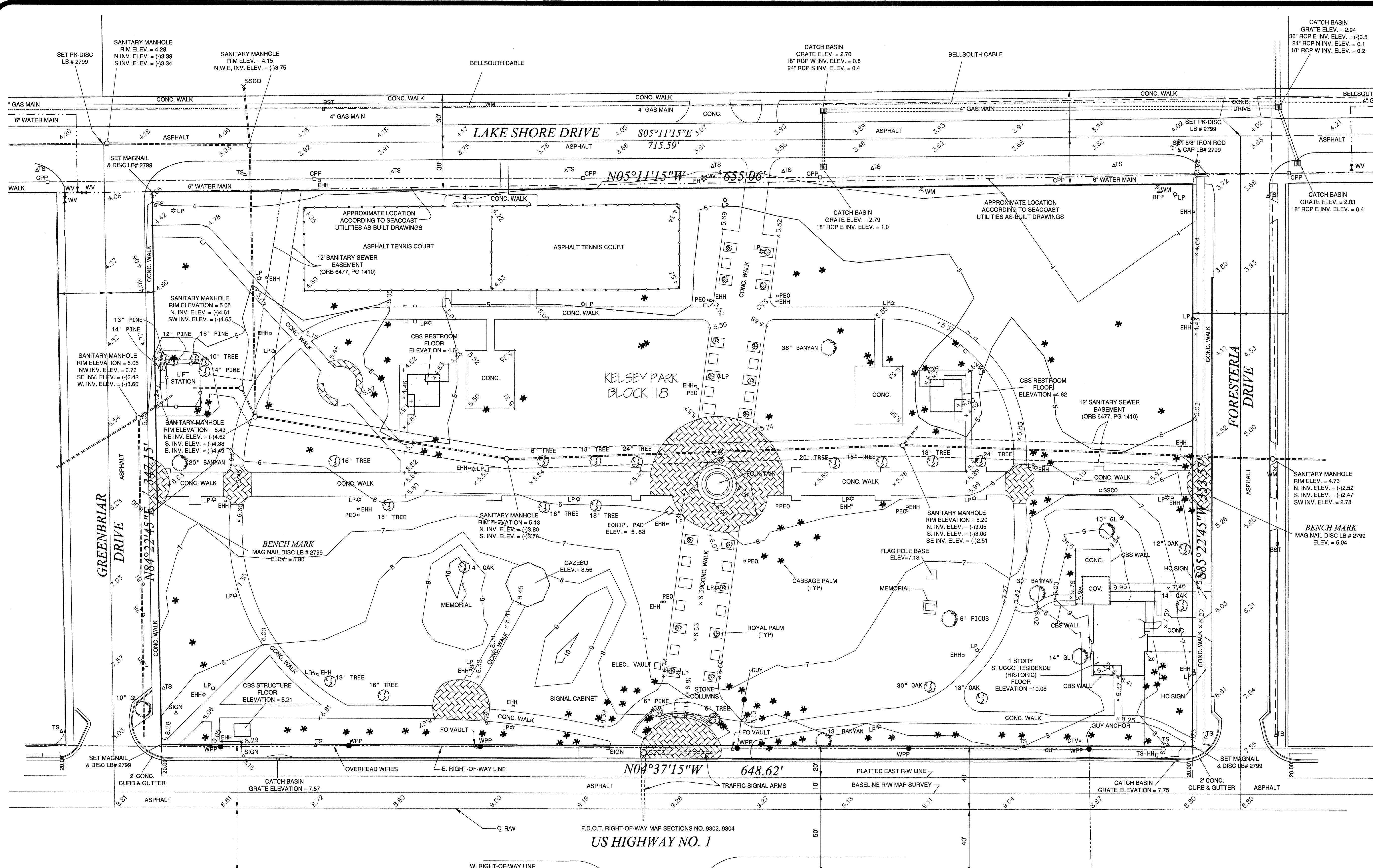
KELSEY PARK RESTROOM FACILITY
LAKE SHORE DR
LAKE PARK, FL.

CPZ ARCHITECTS, INC.
4316 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA 33317
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DRAWING TITLE:
COVER SHEET
DRAWN: DL
CHECKED: CPZ
DATE: 11/06/16
SCALE: As indicated
PROJECT NO. 1533
SHEET:

COV



LEGEND

ELEV.	ELEVATION
CONC.	CONCRETE
RCP	REINFORCED CONCRETE PIPE
INV.	INVERT
STA.	STATION
BL	BASILINE
BS	BELLSOUTH TELEPHONE PEDESTAL
CTV	CABLE TELEVISION PEDESTAL
FH	FIRE HYDRANT
CP	CONCRETE POWER POLE
SSCO	SANITARY SEWER CLEAN-OUT
WM	WATER METER
WV	WATER VALVE
R/W	RIGHT OF WAY
FO	FIBER OPTIC
LP	LIGHT POLE
PEO	PEDESTAL ELECTRIC OUTLET
BFP	BACK FLOW PREVENTER
EHH	ELECTRIC HANDHOLE
TS	TRAFFIC SIGN
WPP	WOOD POWER POLE
GL	GUMBO LIMBO
RP	ROYAL PALM
CP	CABBAGE PALM
BP	BRICK PAVERS

BOUNDARY-TOPOGRAPHIC SURVEY (KELSEY PARK)
 PREPARED FOR: TOWN OF LAKE PARK

I HEREBY CERTIFY TO EACH OF THE ABOVE THAT A SURVEY OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THAT THE SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER SJ-17.051 AND SJ-17.052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

DECEMBER 2, 2015
 DATE OF FIELD SURVEY

GREGORY T. TUCKER
 DAILEY AND ASSOCIATES, INC.
 FLORIDA LAND SURVEYOR NO. 6147

THE PROPERTY DESCRIBED HEREON IS AS FURNISHED AND NO SEARCH OF THE PUBLIC RECORDS OR DEVELOPMENT REGULATIONS HAS BEEN MADE BY THIS OFFICE. THIS SURVEY IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.

PARK AVENUE

LEGAL DESCRIPTION

BLOCK 118, ACCORDING TO THE PLAT OF KELSEY CITY (NOW LAKE PARK) AS RECORDED IN PLAT BOOK 8, PAGE 15 & 23, PALM BEACH COUNTY, FLORIDA, PUBLIC RECORDS.

CONTAINING 228,429 SQUARE FEET OR 5.24 ACRES, MORE OR LESS.

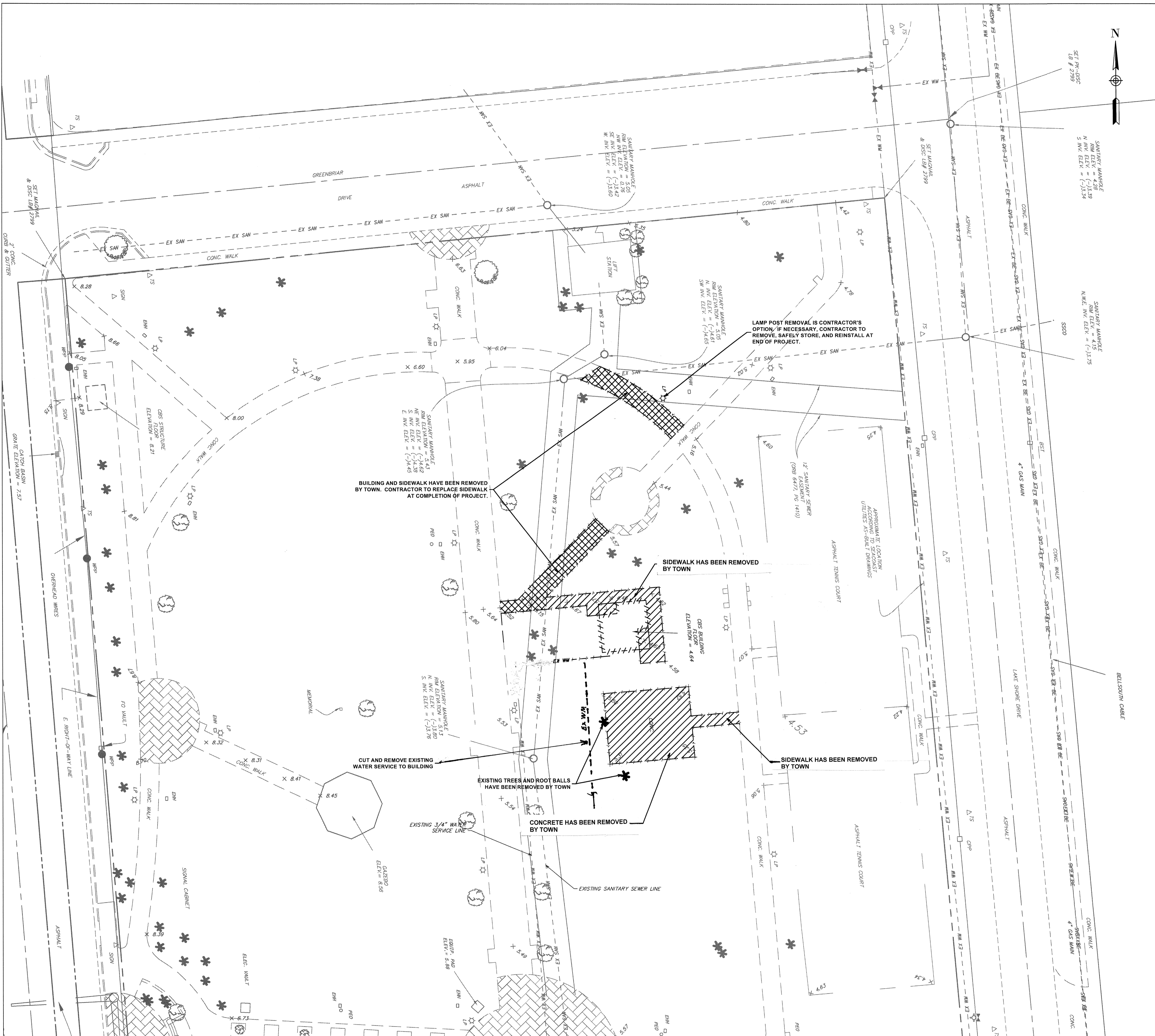
- SURVEYOR'S NOTES:**
- 1) BEARINGS SHOWN HEREON ARE BASE UPON THE CENTERLINE OF LAKE SHORE DRIVE, BEING S05°11'15"E.
 - 2) ELEVATIONS SHOWN HEREON ARE BASED UPON N.G.V.D. 1929.
 - 3) UTILITIES SHOWN HEREON ARE VISIBLE ABOVE GROUND FEATURES & RECORD DRAWINGS, THEREFOR, ADDITIONAL SUB-SURFACE UTILITIES OR STRUCTURES MAY EXIST.
 - 4) PARCEL LIES IN FLOOD ZONE "A5" (EL. 7) C.P.N. 120212 0005 B.
 - 5) TREES 3" DIAMETER & ABOVE ARE SHOWN.

UPDATE SURVEY TOPO. & ADDED TREES 12/2/15
 REVISED: ADDED E. RIGHT-OF-WAY LINE LABELING 3/29/99
 ADDED US HWY. 1 INFORMATION & BOUNDARY ANNOTATION 2/15/99

DAILEY AND ASSOCIATES, INC.
 Surveying and Mapping

112 N. U.S. HIGHWAY NO. 1
 TEQUESTA, FLORIDA 33469
 PHONE: (561) 746-8424

DATE:	DECEMBER 2, 2015
SCALE:	1" = 30'
DRAWN BY:	M.N. R.M.
FIELD BOOK:	SDR
PROJECT:	LAKE PARK
IMAGE:	95-231KP.TIF
WORK ORDER NO.:	95-231-73



LEGEND

- REMOVE MATERIAL IN PLAN
- REMOVE CONCRETE
- REPLACE CONCRETE

DEMOLITION NOTES:

1. DO NOT START DEMOLITION WORK UNTIL UTILITY DISCONNECTING AND SEALING HAVE BEEN COMPLETED AND VERIFIED IN WRITING.
2. BEFORE PROCEEDING WITH DEMOLITION OPERATIONS THE CONTRACTOR IS TO DRAIN, PURGE, OR OTHERWISE REMOVE, COLLECT, AND DISPOSE OF CHEMICALS, GASES, EXPLOSIVES, ACIDS, FLAMMABLES, OR OTHER DANGEROUS MATERIALS.
3. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
4. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR IN-USE FACILITIES WITHOUT PERMISSION FROM OWNER, THE TRIBE AND AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS AS REQUIRED BY GOVERNING REGULATIONS.
5. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
6. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, BARRIERS, RAILINGS, ETC. WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
7. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
8. ADJACENT IMPROVEMENTS SHALL BE CLEANED OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREA TO CONDITION EXISTING BEFORE START OF DEMOLITION.
9. FOR SELECTIVE DEMOLITION, USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES, USE HAND OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING OR CHIPPING. TEMPORARILY COVER OPENINGS TO REMAIN.
10. DEMOLISH CONCRETE IN SMALL SECTIONS. CUT CONCRETE AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN MASONRY SAW OR HAND TOOLS; DO NOT USE POWER-DRIVEN IMPACT TOOLS.
11. INFORMATION SHOWN ON THE DRAWINGS AS TO THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE ENGINEER; HOWEVER, THIS INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER, AND DEPTH OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS TO THE SYSTEMS NOT SHOWN.
12. REMOVAL, DEMOLITION, HAULING, AND DISPOSAL SHALL COMPLY WITH REGULATIONS BY F.D.E.P., E.P.A., AND ANY OTHER AUTHORITY HAVING JURISDICTION.
13. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
14. ALL EXISTING PATHWAY AND STREET LIGHTING WILL REMAIN IN PLACE AND REMAIN IN SERVICE DURING CONSTRUCTION OPERATIONS. CONTRACTOR SHALL USE CARE TO ENSURE EXISTING.
15. A CONSTRUCTION CORRIDOR FROM GREENBRIAR DR. WILL BE DEVELOPED AND USED FOR CONSTRUCTION EQUIPMENT ACCESS AND RESTORED AFTER CONSTRUCTION. THIS WILL INCLUDE THE DEMOLITION OF EXISTING SIDEWALKS AND LANDSCAPE TO BE RESTORED.
16. ALL CONCRETE SHOWN TO BE REMOVED WILL BE REMOVED BY THE TOWN PRIOR TO THE CONTRACTOR COMMENCING WORK.
17. DEMOLITION TO BUILDING AND REMOVAL OF BUILDING DEBRIS FROM SITE WILL BE PERFORMED BY THE TOWN.
18. TREES TO BE REMOVED BY THE CONTRACTOR.
19. EXISTING IRRIGATION SHALL BE RELOCATED AROUND PROPOSED IMPROVEMENTS. CONTRACTOR TO COORDINATE WITH THE TOWN OF LAKE PARK ABOUT NEW LOCATIONS.

BUILDING AND SIDEWALK HAVE BEEN REMOVED BY TOWN. CONTRACTOR TO REPLACE SIDEWALK AT COMPLETION OF PROJECT.

LAMP POST REMOVAL IS CONTRACTOR'S OPTION. IF NECESSARY, CONTRACTOR TO REMOVE, SAFELY STORE, AND REINSTALL AT END OF PROJECT.

SIDEWALK HAS BEEN REMOVED BY TOWN

SIDEWALK HAS BEEN REMOVED BY TOWN

EXISTING TREES AND ROOT BALLS HAVE BEEN REMOVED BY TOWN

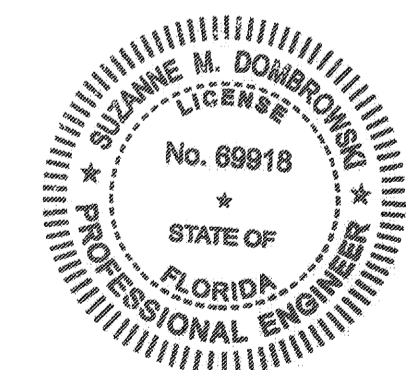
CONCRETE HAS BEEN REMOVED BY TOWN

CUT AND REMOVE EXISTING WATER SERVICE TO BUILDING

EXISTING 3/4" WATER SERVICE LINE

EXISTING SANITARY SEWER LINE

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY



SUZANNE DOMBROWSKI, PE
 FL REG. NO. 69918
 CHEN MOORE & ASSOCIATES
 500 AUSTRALIAN AVENUE, SUITE 530
 WEST PALM BEACH, FLORIDA 33401

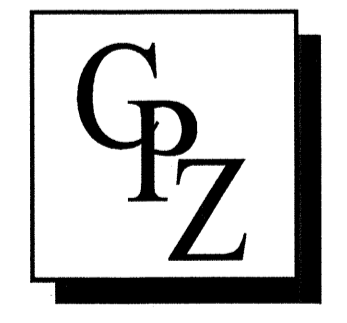
THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 5J-17.062 F.A.C.

NO.	REVISION	DATE
BID SET		07/31/2010
RE-BID		11/06/2010

CONSULTANT:
CHEN-MOORE ASSOCIATES
 800 Australian Avenue • Suite 530
 West Palm Beach, FL 33411
 (561) 746-2990
 www.chenmoore.com
 CERTIFICATE OF PROFESSIONAL ENGINEERING
 LICENSE NO. 69918

KELSEY PARK
 LAKE SHORE DR. LAKE PARK

CPZ ARCHITECTS, INC.
 4316 WEST BROWARD BOULEVARD
 PLANTATION, FLORIDA 33317
 PHONE: (954) 792-8525 FAX: (954) 357-0559
 AA #2600685 WWW.CPZARCHITECTS.COM

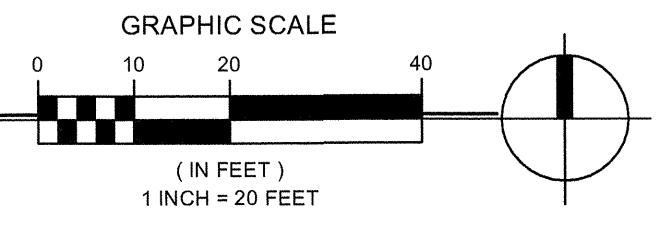


DRAWING TITLE:
 DEMOLITION PLAN

DESIGN DEVELOPMENT
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 CHECKED: SD
 DATE: 2016-04-11
 SCALE: 20
 PROJECT NO. 1353
 SHEET:

C1.00
 of:

DEMOLITION PLAN



DATE:



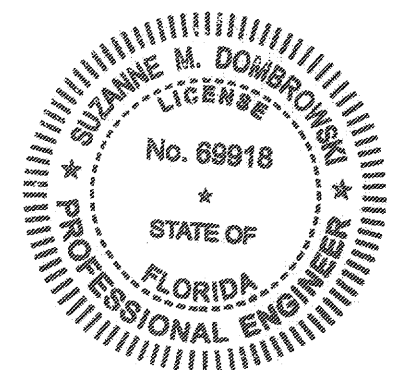
LEGEND

SYMBOL	DESCRIPTION
(Dashed line)	SILT FENCE
(Stippled area)	EQUIPMENT AND MATERIAL STORAGE AREA
(Hatched area)	TEMPORARY CONSTRUCTION ENTRANCE

NOTES:

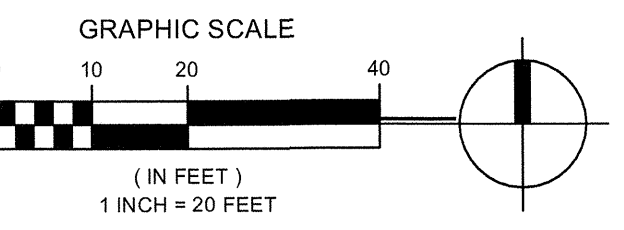
- CONTRACTOR TO INSTALL TEMPORARY RAMP FROM ROAD UP TO SIDEWALK. EXISTING SIDEWALK TO REMAIN. CONTRACTOR SHOULD EXPECT TO ENCOUNTER ABANDONED GALVANIZED PIPE AND CONDUIT. WHEN ENCOUNTERED AND DETERMINED BY THE TOWN THAT A SECTION OF PIPE IS TO BE REMOVED AND DISPOSED (TRANSITE PIPE EXCLUDED), THE CONTRACTOR SHALL CUT, REMOVE THE LENGTH OF PIPE AND FOAM REMAINING PIPE ENDS. SEE SCHEDULE OF BID ITEMS FOR THIS PAY ITEM.
- IN EXCESS OF 30 IRRIGATION HEADS EXIST WITHIN THE DESIGNATED ACCESS CORRIDOR AND CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE SPRINKLER HEADS THAT IMPACT CONSTRUCTION ACTIVITY AND REINSTATE AT THE COMPLETION OF THE PROJECT.

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY



SUZANNE DOMBROWSKI, PE
FL. REG. NO. 69918
CHEN MOORE & ASSOCIATES
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WEST PALM BEACH, FLORIDA 33401

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 5J-17.062 F.A.C.



EROSION CONTROL PLAN

NO.	REVISION	DATE
BID SET		07/31/2016
RE-BID		11/06/2016

CONSULTANT:
CHEN MOORE & ASSOCIATES
500 AUSTRALIAN AVENUE, SUITE 530
WEST PALM BEACH, FL 33401
TEL: 561-833-8329
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KELSEY PARK
LAKE SHORE DR., LAKE PARK

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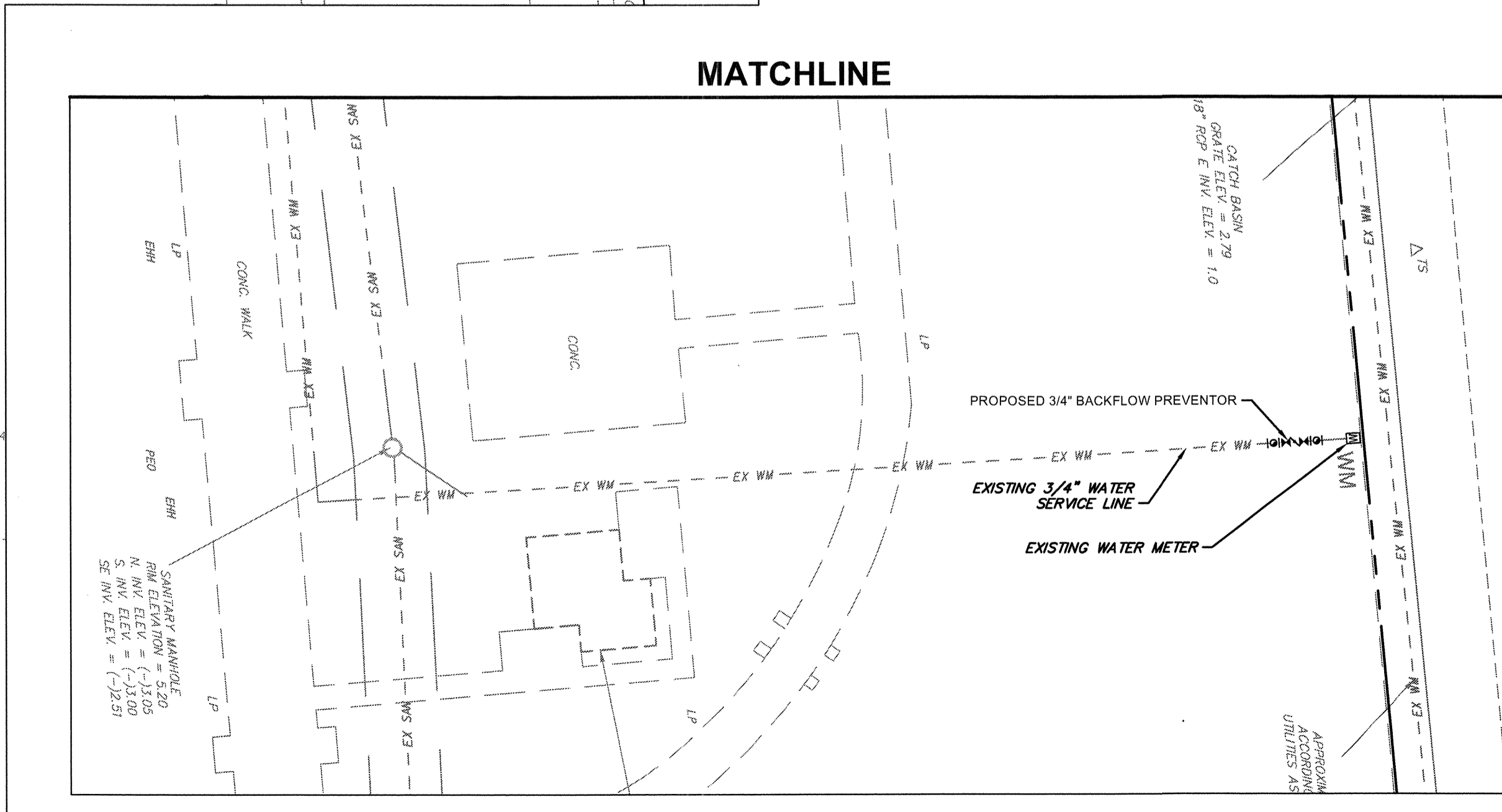
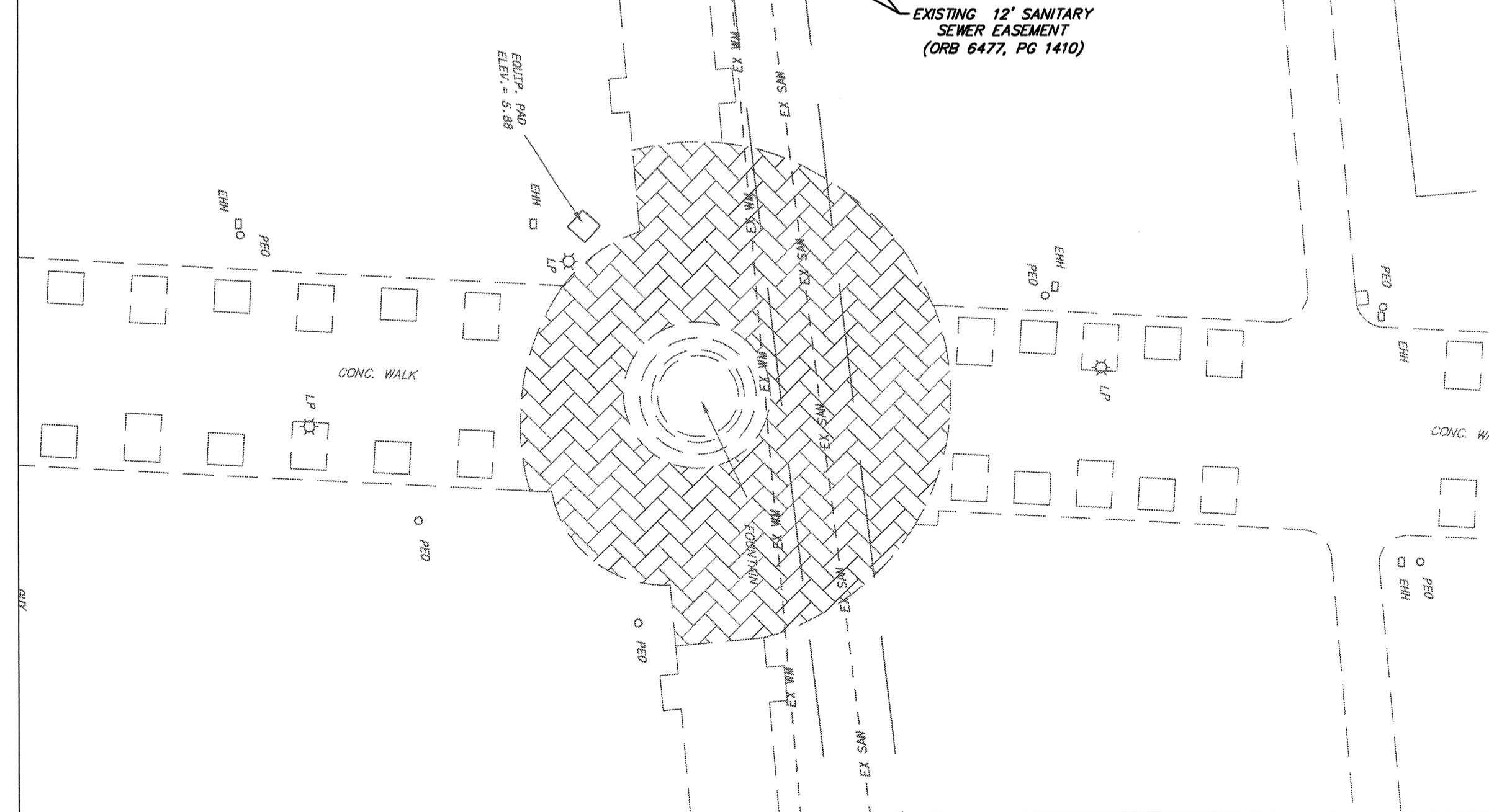
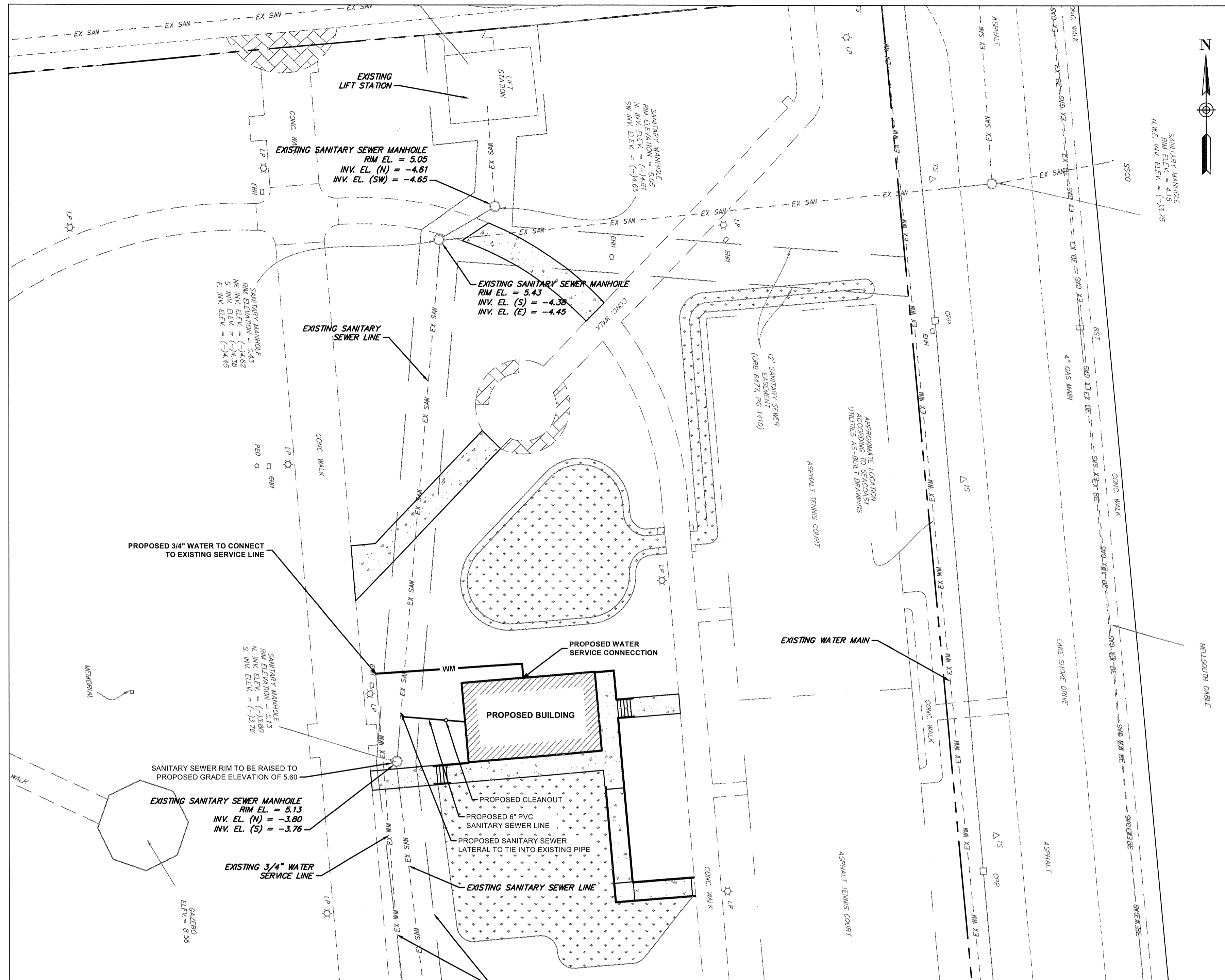


DRAWING TITLE:
EROSION CONTROL PLAN

DESIGN DEVELOPMENT	
DRAWN:	AS
CHECKED:	SD
DATE:	2016-04-11
SCALE:	:20
PROJECT NO.	1353
SHEET:	

C2.00
of:

DATE:



LEGEND

SYMBOL	DESCRIPTION
---	EXISTING BURIED ELECTRIC
---	EXISTING BURIED TELEPHONE
---	EXISTING ABANDONED FORCE MAIN
---	EXISTING FORCE MAIN
---	EXISTING BURIED GAS LINE
---	EXISTING OVERHEAD ELECTRIC WIRE
---	EXISTING SANITARY SEWER PIPE
---	EXISTING STORM DRAINAGE PIPE
---	EXISTING WATER LINE
---	PROPOSED WATER METER
---	PROPOSED WATER MAIN
---	PROPOSED FIRE MAIN
---	PROPOSED SANITARY SEWER
---	PROPOSED BACKFLOW PREVENTER

WATER AND SEWER NOTES:

- CONTRACTOR SHALL PLAN ALL UTILITY CROSSINGS TO CONFIRM HORIZONTAL AND VERTICAL SEPARATIONS PRIOR TO CONSTRUCTION.
- WATER & SEWER LINES SHALL BE LAID WITH A MINIMUM SIX (6) FOOT LATERAL SEPARATION FROM OBSTRUCTIONS (I.E. CULVERTS, STRUCTURES, ETC.) AND A MINIMUM TEN (10) FOOT CLEARANCE FROM TREES. FIRE HYDRANTS SHALL HAVE A 7.5' CLEAR RADIUS OF ANY OBSTRUCTIONS.
- WATER MAIN SHALL CROSS OVER DRAINAGE & SEWER LINES UNLESS OTHERWISE SPECIFIED ON PLAN. 18" MINIMUM HORIZONTAL CLEARANCE IS REQUIRED BETWEEN WATER MAIN AND FORCE MAIN.
- THE EXISTING WATER MAINS AND FIRE HYDRANTS THAT ARE TO BE REMOVED SHALL REMAIN ACTIVE UNTIL A CLEARANCE LETTER HAS BEEN ISSUED AND THE NEW WATER MAINS AND FIRE HYDRANTS ARE ACTIVATED.
- CONTRACTOR TO PROVIDE DETAILED AS-BUILT SURVEYS THAT CLEARLY DEFINE THE AREAS OF WORK COMPLETED UNDER THIS CONTRACT INCLUDING BUT NOT LIMITED TO TOP OF PIPE ELEVATION, TOP OF ALL FITTINGS, ETC.
- IRRIGATION SYSTEM ADJUSTMENTS: UNTIL CONFLICTS ARE IDENTIFIED DURING CONSTRUCTION, THE IRRIGATION SPRINKLER HEAD ADJUSTMENTS SHOULD BE BASED ON 20 HEADS BEING RAISED VARIOUS HEIGHTS BY USE OF FLEXIBLE PIPE.
- SANITARY SEWER CONNECTION AND INSPECTIONS WILL FOLLOW SEACOAST UTILITY AUTHORITY REQUIREMENTS.
- THE TOWN WILL DEMOLISH THE EXISTING BUILDING NORTH OF THE RESTROOM BUILDING SITE AND WILL REMOVE THE CONCRETE SLAB AT THE RESTROOM SITE IN ADVANCE OF THE CONTRACTOR COMMENCING WORK.
- EXISTING IRRIGATION SYSTEM PIPING WITHIN THE DRY DETENTION AREA WILL BE CALLED BY THE TOWN AT THE TIME OF THE BUILDING DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE TO BUILD THE IRRIGATION SYSTEM WITHIN THE DRY DETENTION AREA.
- IRRIGATION SYSTEM PIPING WITHIN THE AREAS REQUIRING FILL DIRT WILL BE CAPPED BY THE TOWN AT THE BOUNDARY OF THE TRANSITION. THE CONTRACTOR WILL BE RESPONSIBLE TO BUILD THE IRRIGATION SYSTEM WITHIN THE FILLED AREA AND COORDINATE WITH SOD PLACEMENT. THE CONTRACTOR SHALL PERFORM THE IRRIGATION SYSTEM AT A REASONABLE DEPTH BASED ON PIPE SIZE USING SCHEDULE 40 PVC AND FITTINGS, PURPLE PRIMER AND MEDIUM BODIED CEMENT AT FITTINGS, FLEX PIPE AT SPRINKLER HEADS AND INSTALL NEW TOWN SUPPLIED SPRINKLER HEADS. SEE SCHEDULE OF BID ITEMS FOR THIS PAY ITEM.

NO.	REVISION	DATE
BID SET		07/31/2016
RE-BID		11/06/2016

CONSULTANT:
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 PHONE: (561) 746-4597
 WWW.CHEN-MOORE.COM

KELSEY PARK
 LAKE SHORE DR., LAKE PARK

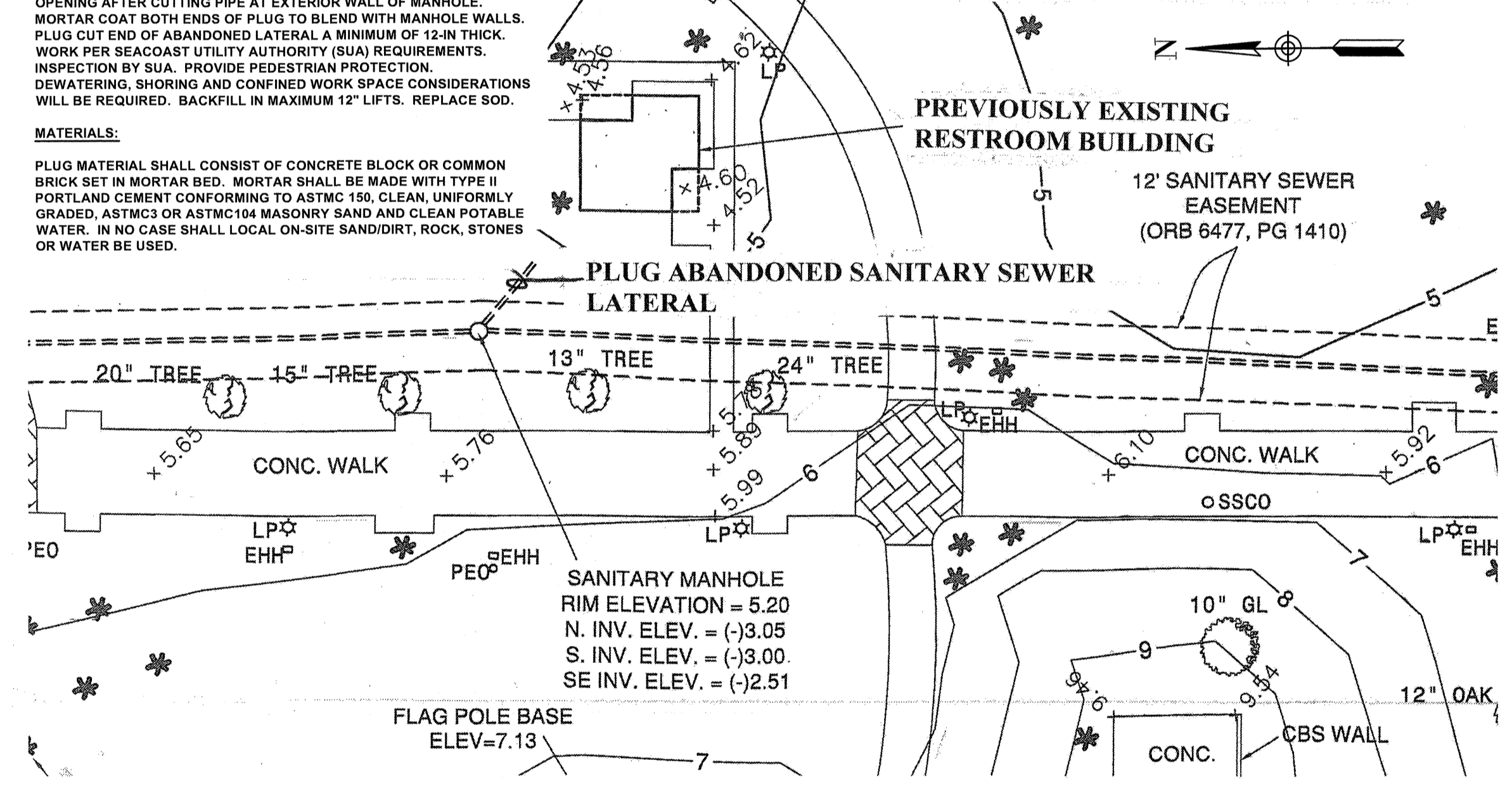
CPZ ARCHITECTS, INC.
 4516 WEST BROWARD BOULEVARD
 SUITE 300A, LAKE PARK, FLORIDA 33413
 PHONE: (561) 746-4597 FAX: (561) 746-4599
 AA #25006665 WWW.CPZARCHITECTS.COM

ALTERNATE III: PLUG ABANDONED SANITARY SEWER LATERAL

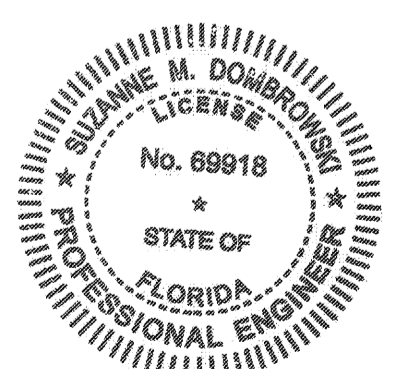
DESCRIPTION OF WORK:
 PROVIDE LABOR, EQUIPMENT, AND MATERIAL TO CUT EXISTING SANITARY LATERAL PIPE AT EXTERIOR OF MANHOLE WALL WITH BRICK AND MORTAR FULL THICKNESS OF MANHOLE WALL FROM BOTH THE INTERIOR AND EXTERIOR OF MANHOLE. THOROUGHLY PREPARE OPENING AFTER CUTTING PIPE AT EXTERIOR WALL OF MANHOLE. MORTAR COAT BOTH ENDS OF PLUG TO BLEND WITH MANHOLE WALLS. PLUG CUT END OF ABANDONED LATERAL A MINIMUM OF 12-IN THICK. WORK PER SEACOAST UTILITY AUTHORITY (SUA) REQUIREMENTS. INSPECTION BY SUA. PROVIDE PEDESTRIAN PROTECTION. DEWATERING, SHORING AND CONFINED WORK SPACE CONSIDERATIONS WILL BE REQUIRED. BACKFILL IN MAXIMUM 12" LIFTS. REPLACE SOD.

MATERIALS:
 PLUG MATERIAL SHALL CONSIST OF CONCRETE BLOCK OR COMMON BRICK SET IN MORTAR BED. MORTAR SHALL BE MADE WITH TYPE II PORTLAND CEMENT CONFORMING TO ASTM C 150. CLEAN, UNIFORMLY GRADED, ASTM C3 OR ASTM C104 MASONRY SAND AND CLEAN POTABLE WATER. IN NO CASE SHALL LOCAL ON-SITE SAND/DIRT, ROCK, STONES OR WATER BE USED.

EXCERPT FROM SURVEY SHEET



SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY



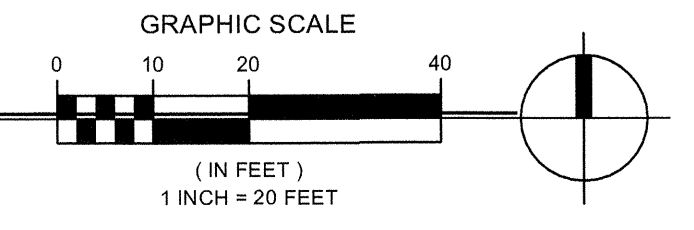
SUZANNE DOMBROWSKI, P.E.
 FL. REG. NO. 69918
 CHEN MOORE & ASSOCIATES
 500 AUSTRALIAN AVENUE, SUITE 530
 WEST PALM BEACH, FLORIDA 33401

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 5J-17.062 F.A.C.

UTILITY PLAN

MATCHLINE

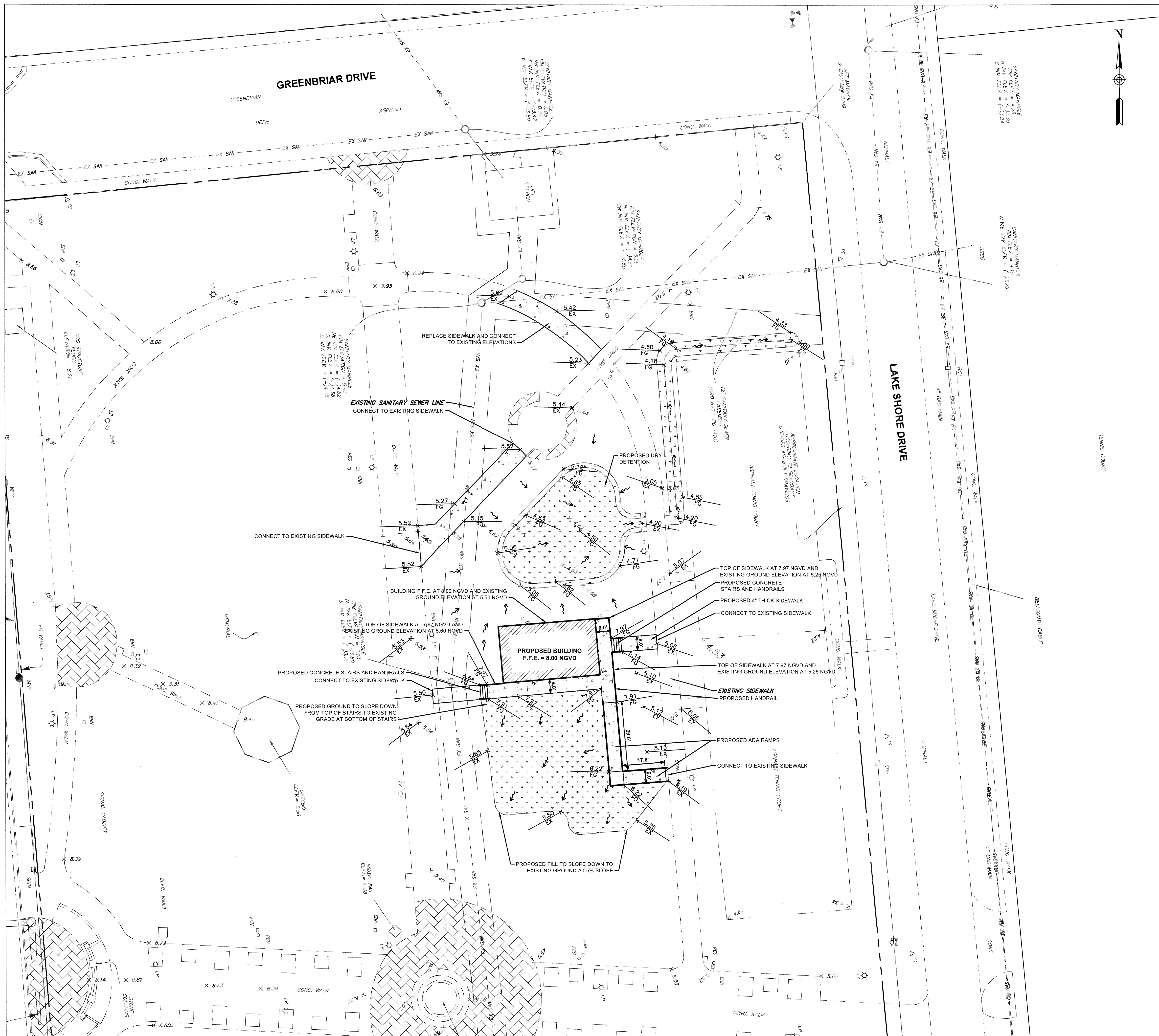
MATCHLINE



DESIGN DEVELOPMENT
 DRAWN: AS
 CHECKED: SD
 DATE: 2016-04-11
 SCALE: 20
 PROJECT NO. 1353
 SHEET:

C3.00

DATE: _____ of:



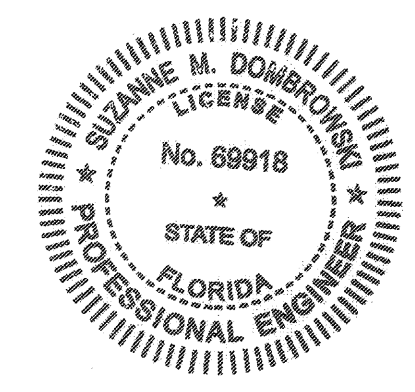
LEGEND

SYMBOL	DESCRIPTION
[Pattern]	AREA TO BE RE-GRADED
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Symbol]	EXISTING BURIED ELECTRIC
[Symbol]	EXISTING BURIED TELEPHONE
[Symbol]	EXISTING ABANDONED FORCE MAIN
[Symbol]	EXISTING FORCE MAIN
[Symbol]	EXISTING BURIED GAS LINE
[Symbol]	EXISTING OVERHEAD ELECTRIC WIRE
[Symbol]	EXISTING SANITARY SEWER PIPE
[Symbol]	EXISTING STORM DRAINAGE PIPE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING ELEVATION
[Symbol]	PROPOSED ELEVATION
[Symbol]	DIRECTION OF FLOW

PAVING, GRADING AND DRAINAGE NOTES:

- MINIMUM FINISHED FLOOR ELEVATION = 8.00 N.G.V.D. ACTUAL BUILDING ELEVATIONS WILL BE DESIGNED AND SUBMITTED FOR PERMITS PRIOR TO CONSTRUCTION.
- ALL SIDEWALKS SHALL MEET ALL A.D.A. REQUIREMENTS (5% MAX. LONGITUDINAL SLOPE AND 2% MAX. TRANSVERSE SLOPE).
- ALL INLETS SHALL BE TYPE 'C' AND MANHOLES SHALL BE TYPE 'P-7' 4'Ø. ALL H-20 RATED, UNLESS OTHERWISE NOTED ON PLAN.
- CONCRETE PIPE FOR STORM SEWERS SHALL CONFORM TO ASTM L76-79, TABLE III, WALL B, OR LATEST REVISION. ALL PIPE SHALL HAVE MODIFIED TONGUE AND GROOVE JOINTS, AND HAVE RUBBER GASKETS, UNLESS OTHERWISE SPECIFIED.
- BEDDING AND INITIAL BACKFILL OVER DRAINAGE PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" DIAMETER.
- BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- BACKFILL MATERIAL UNDER AREAS NOT TO BE PAVED SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- DRAINAGE STRUCTURES AND LINES TO BE CLEANED PRIOR TO ENGINEER'S ACCEPTANCE.
- CONTRACTOR TO PROVIDE DETAILED AS-BUILTS SURVEYS THAT CLEARLY DEFINE THE AREAS OF WORK COMPLETED UNDER THIS CONTRACT INCLUDING BUT NOT LIMITED TO ALL RIM ELEVATIONS (EXISTING AND PROPOSED STRUCTURES), ALL INVERTS, BOTTOM OF STRUCTURE, SUFFICIENT SWALE ELEVATIONS TO DEMONSTRATE THAT SWALES DRAIN TO INLETS, LOCATION OF EXFILTRATION TRENCH, LOCATION OF DRIVEWAY RESTORATION, AND RESTORED ASPHALT PAVEMENT.
- CONTRACTOR SHALL RE-SOD ALL AREAS BEING RE-GRADED OR AFFECTED BY CONSTRUCTION.

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY



SUZANNE DOMBROWSKI, PE
FL. REG. NO. 69918
CHEN MOORE & ASSOCIATES
500 AUSTRALIAN AVENUE, SUITE 530
WEST PALM BEACH, FLORIDA 33401

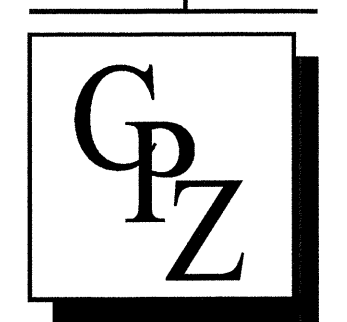
THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 5J-17.062 F.A.C.

NO.	REVISION	DATE
01	REVISED	07/21/2016
02	REVISED	11/06/2016

CONSULTANT:
CHEN-MOORE ASSOCIATES
500 AUSTRALIAN AVENUE, SUITE 530
WEST PALM BEACH, FLORIDA 33401
WWW.CHENMOORE.COM
CERTIFICATE OF APPROVED PROFESSIONAL ENGINEER

KELSEY PARK
LAKE SHORE DR. LAKE PARK

CPZ ARCHITECTS, INC.
4316 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA 33317
PHONE: (954) 792-8222 FAX: (954) 357-0559
WWW.CPZARCHITECTS.COM



DRAWING TITLE:
PAVING, GRADING AND DRAINAGE PLAN

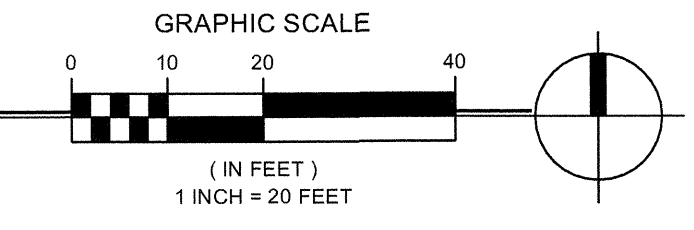
DESIGN DEVELOPMENT
DRAWN: AS
CHECKED: SD
DATE: 2016-04-11
SCALE: :20
PROJECT NO. 1353

SHEET:

C4.00

DATE:

PAVING, GRADING AND DRAINAGE PLAN



SUZANNE DOMBROWSKI, P.E.
FL. REGISTRATION #69918

NO.	REVISION	DATE
BID SET		07/21/2010
RE-BID		11/06/2010

CONSULTANT:
CHEN+MOORE
 & ASSOCIATES
 550 Australian Avenue, Suite 550
 West Palm Beach, FL 33417
 (561) 744-8100
 www.chenmoore.com
 CERTIFICATE OF PROFESSIONAL ENGINEERING
 BOARD - CIVIL ENGINEER

KELSEY PARK
 LAKE SHORE DR., LAKE PARK

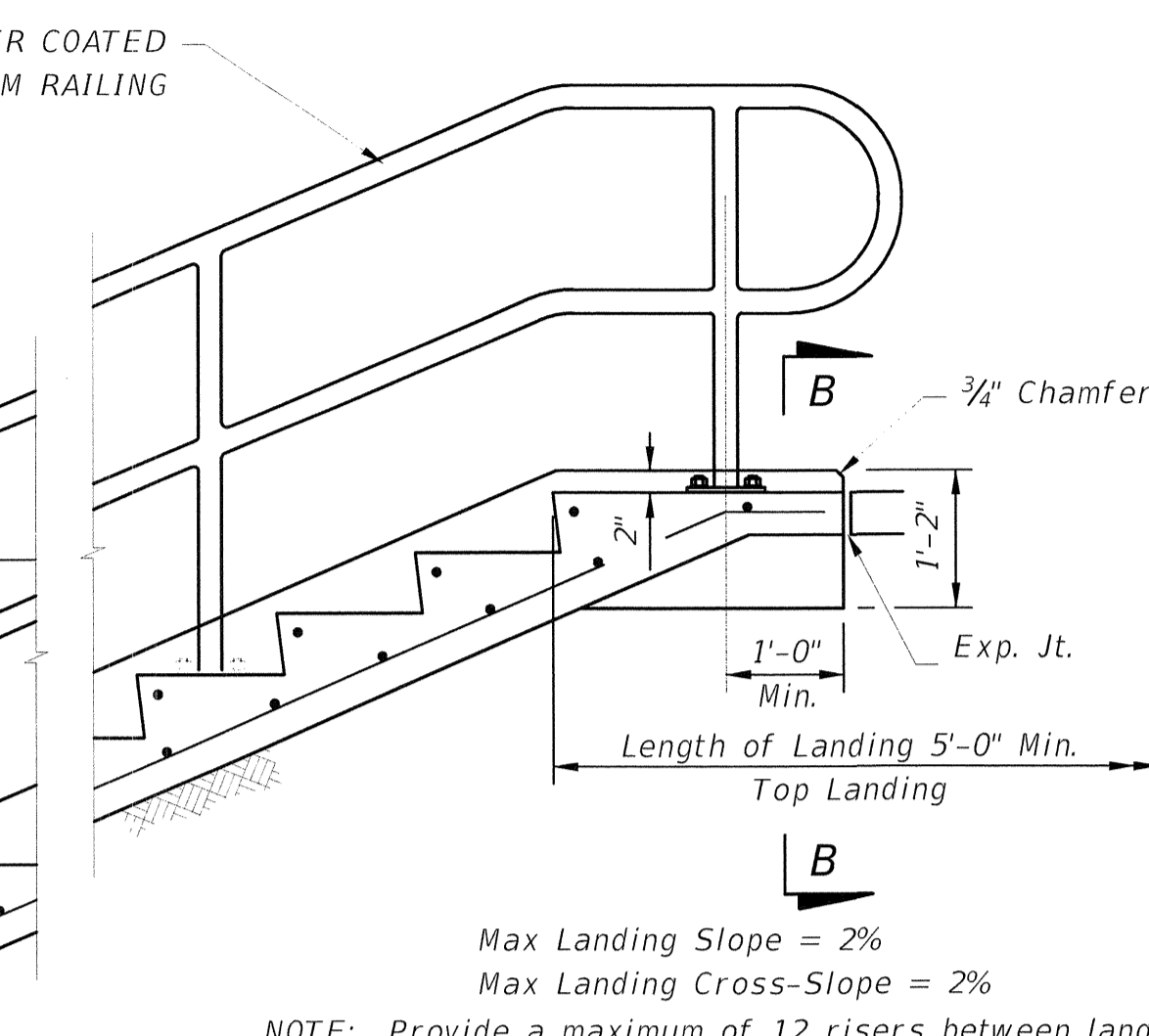
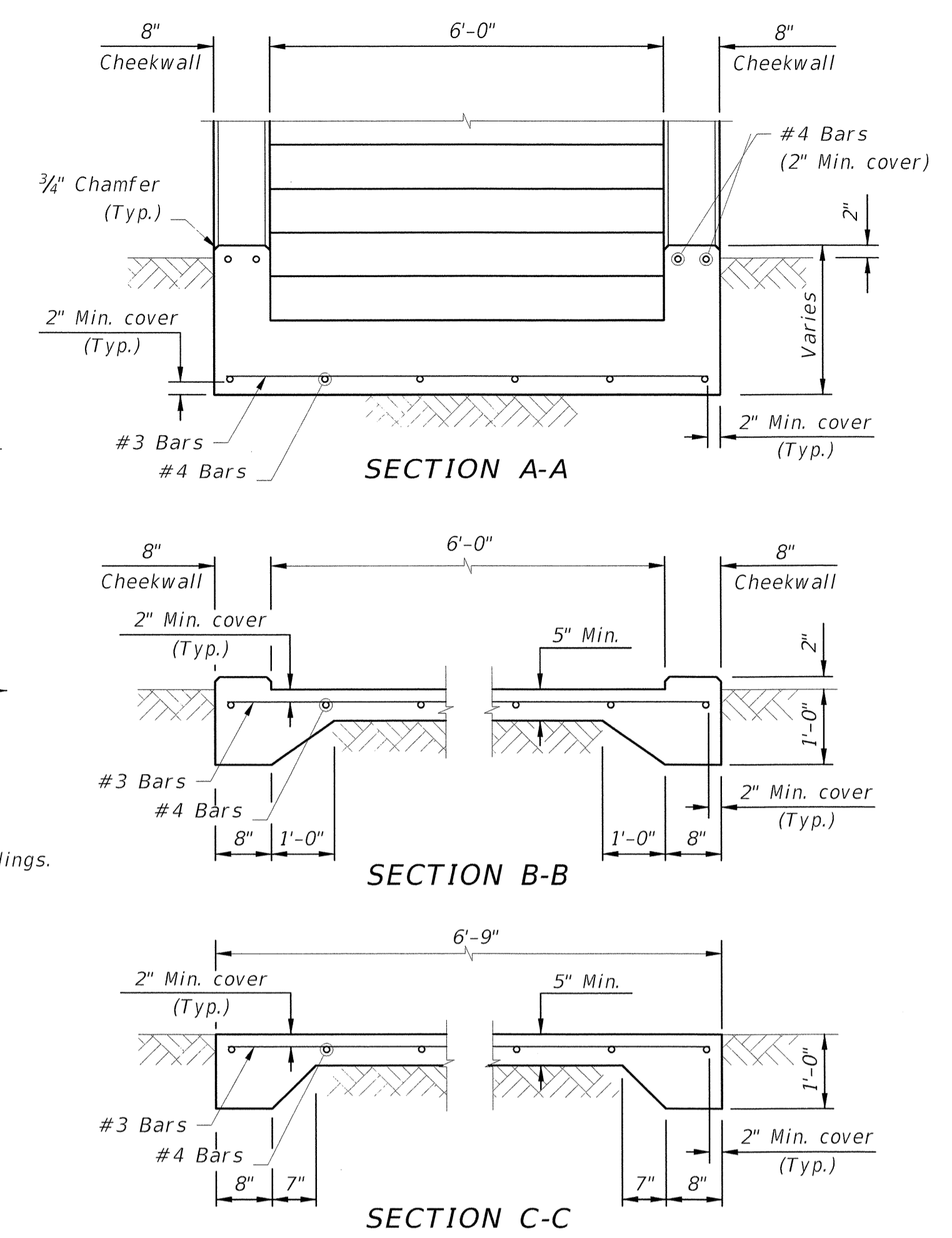
CPZ ARCHITECTS, INC.
 4316 WEST BROWARD BOULEVARD
 PLANTATION, FLORIDA 33317
 PHONE: (954) 792-8353 FAX: (954) 337-0539
 AA 12606085 WWW.CPZARCHITECTS.COM



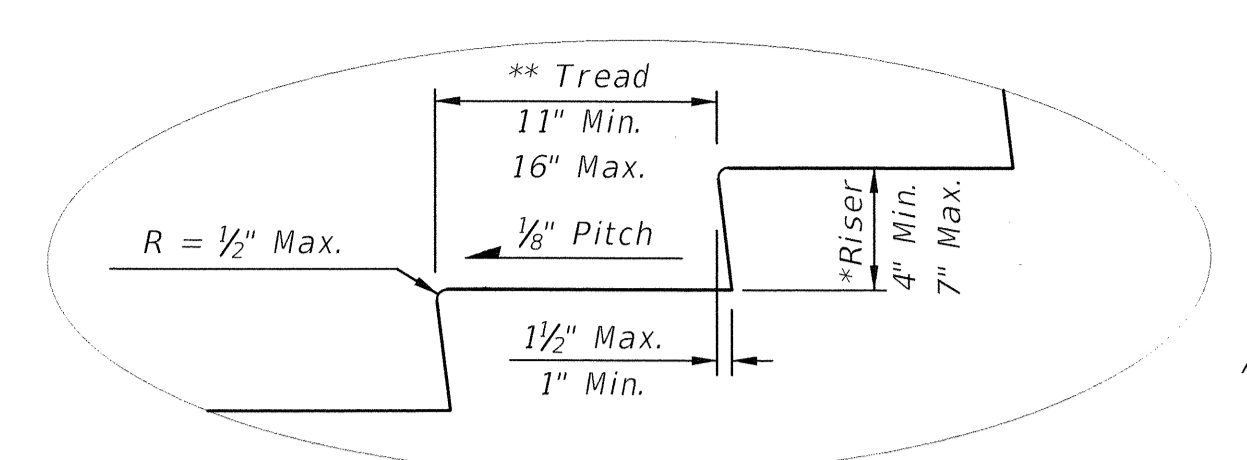
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 DETAILS

DESIGN DEVELOPMENT
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 CHECKED: SD
 DATE: 2016-04-11
 SCALE: :20
 PROJECT NO. 1353
 SHEET:

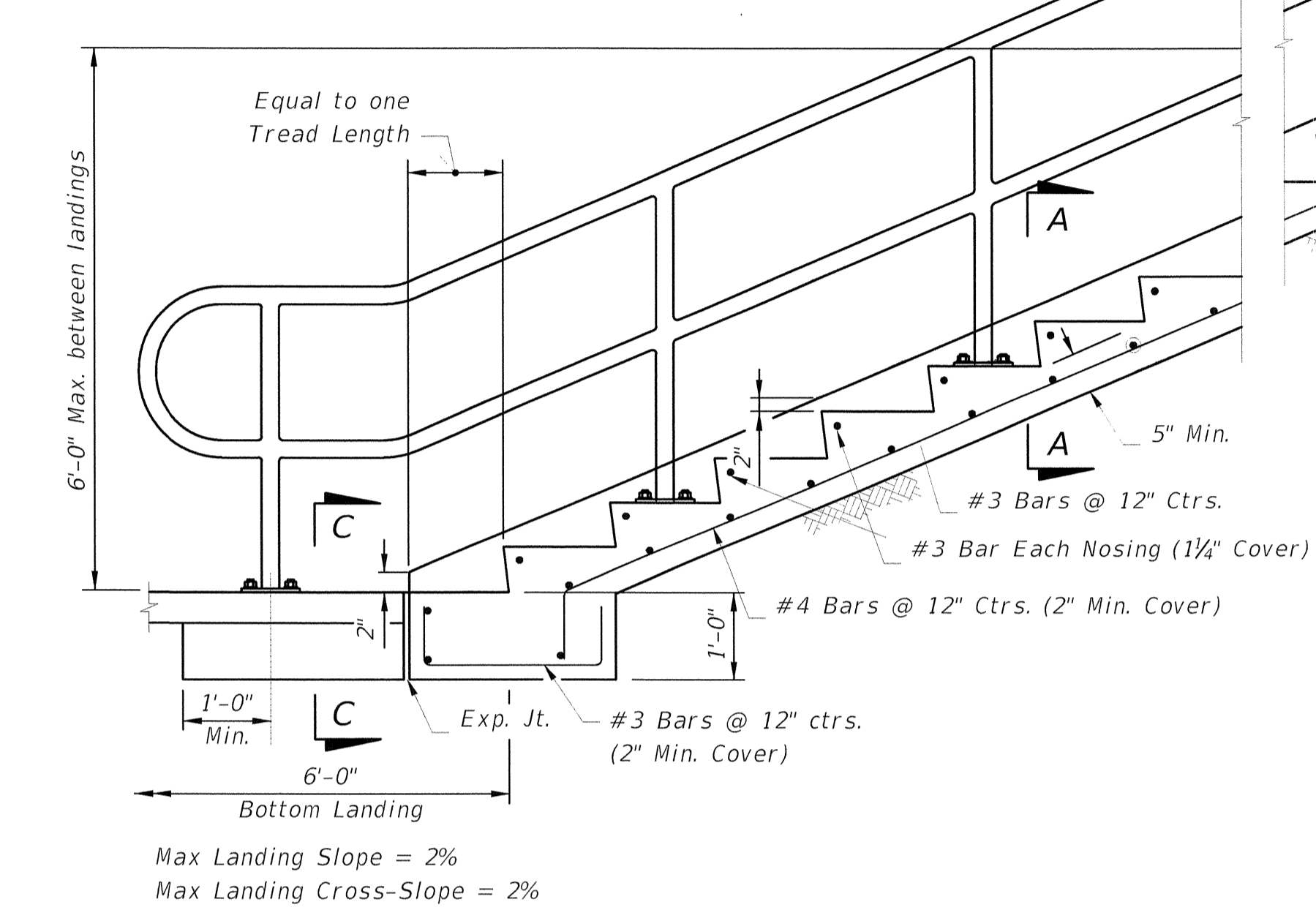
C6.00
 of:



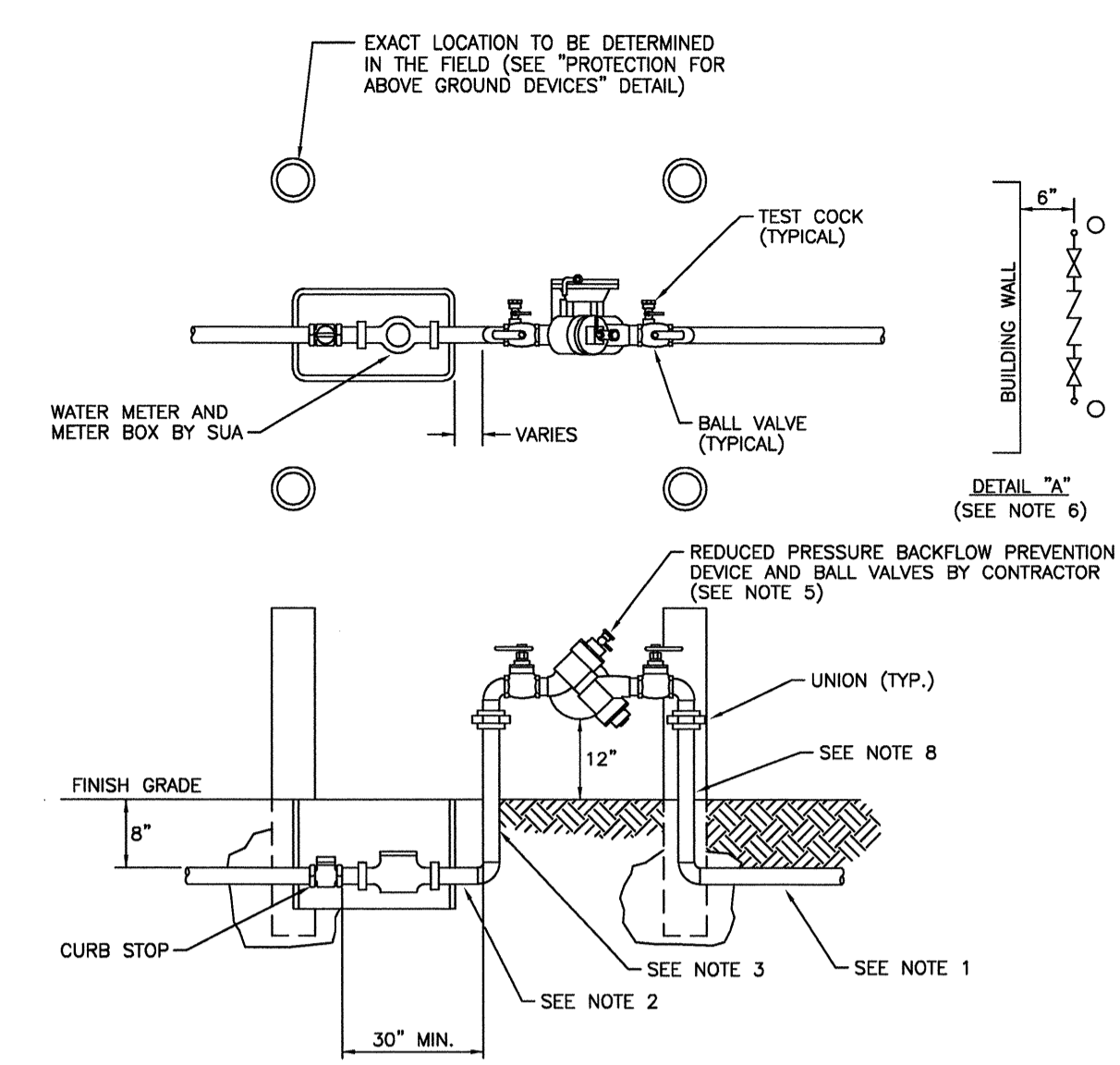
NOTE: Provide a maximum of 12 risers between landings.



STAIR TREAD AND RISER DETAILS
 * The greatest riser height within the flight of steps shall not exceed the smallest by more than 3/8".
 ** The greatest tread depth within the flight of steps shall not exceed the smallest by more than 3/8".

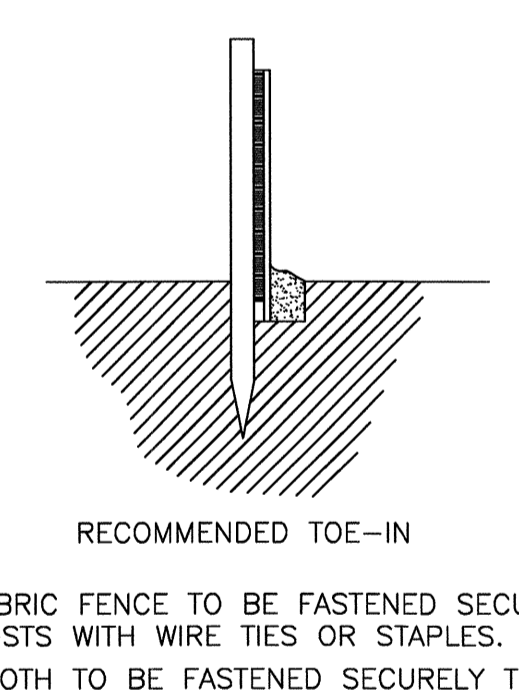
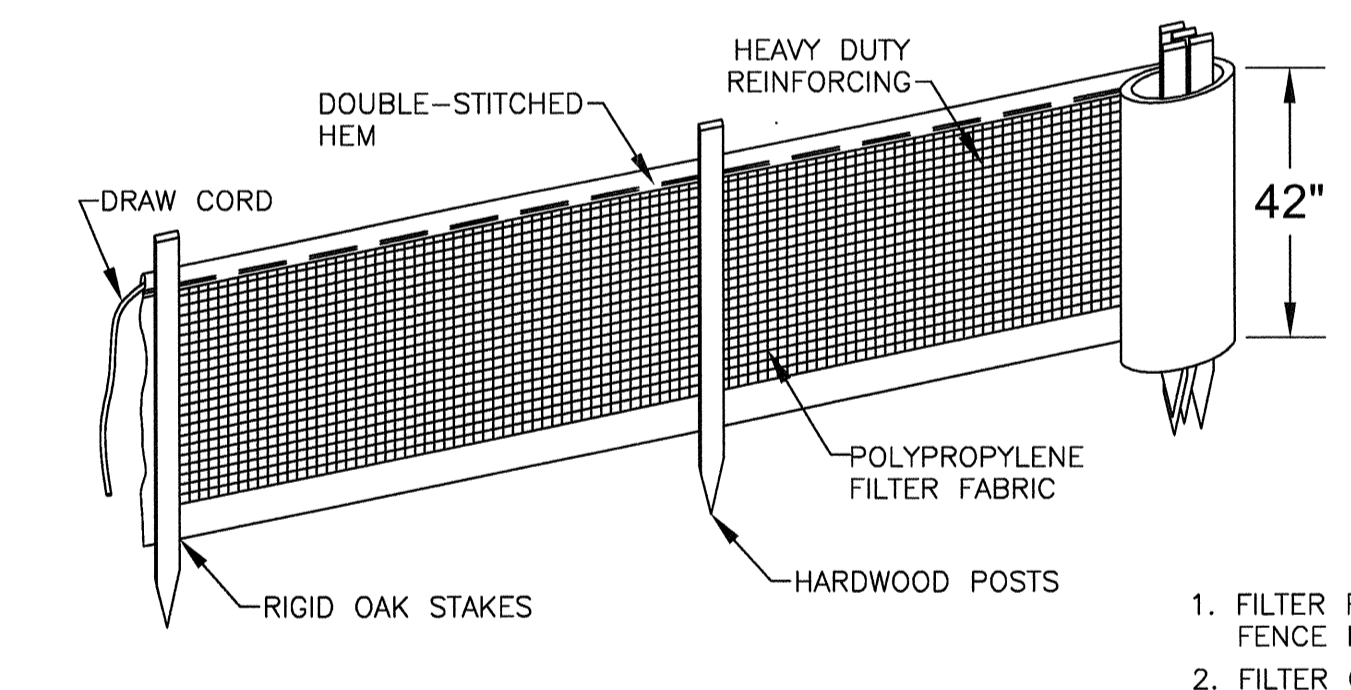


Max Landing Slope = 2%
 Max Landing Cross-Slope = 2%



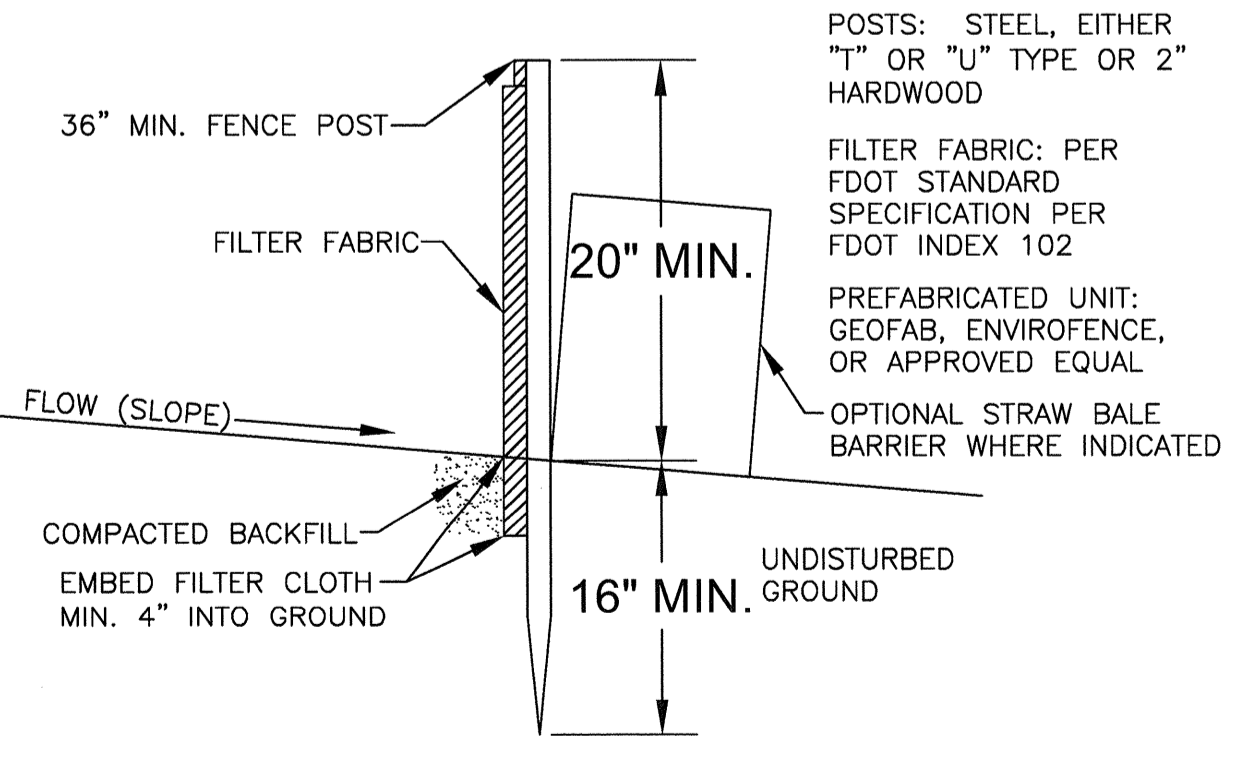
NOTES:
 1. TYPE "K" COPPER TUBING (SOFT DRAWN) OR POLYETHYLENE TUBING SDR 9 COPPER TUBE SIZE.
 2. IF THIS DISTANCE IS LESS THAN 3 FEET ONLY COPPER TUBING SHALL BE PERMITTED.
 3. BOTH RISERS SHALL BE TYPE "K" COPPER TUBING (HARD DRAWN) WITH COPPER/BRASS SOLDER FITTINGS AND ADAPTERS. ONLY LEAD FREE SOLDER AND FLUX SHALL BE PERMITTED.
 4. BOTH 1 1/2" AND 2" ANGLE METER STOPS SHALL BE EQUIPPED WITH LOCKING CAPS AND METER FLANGES.
 5. APPROVED BACKFLOW PREVENTION DEVICES WITH SILICONE RUBBER SEAL RINGS OR DISKS:
 A.) FEBCO MODEL #825 YAS, 3/4" TO 2"
 B.) FEBCO MODEL #825 YAS, 3/4" TO 2" (NO UNIONS REQUIRED)
 C.) WILKENS MODEL #975 XL, 3/4" TO 2"
 6. WHEN THE DEVICE IS INSTALLED PARALLEL TO A BUILDING WALL THERE SHALL BE A MIN. OF 6" BETWEEN THE EDGE OF THE DEVICE AND THE BUILDING WALL.
 7. BACKFLOW PREVENTION DEVICE SHALL BE EQUIPPED WITH BALL VALVES IN LIEU OF GATE VALVES.
 8. BACKFLOW PREVENTION DEVICE SHALL BE SUPPORTED AT BOTH RISERS WITH STAINLESS STEEL UNISTRUT. RISERS TO BE SECURED TO UNISTRUT WITH STAINLESS STEEL (304) MOUNTING HARDWARE AND NEOPRENE INSULATORS BETWEEN ALL DISSIMILAR METALS.

7 WATER METER AND BACKFLOW DEVICE - 3/4" TO 2"
 N.T.S. SEACOAST UTILITY AUTHORITY

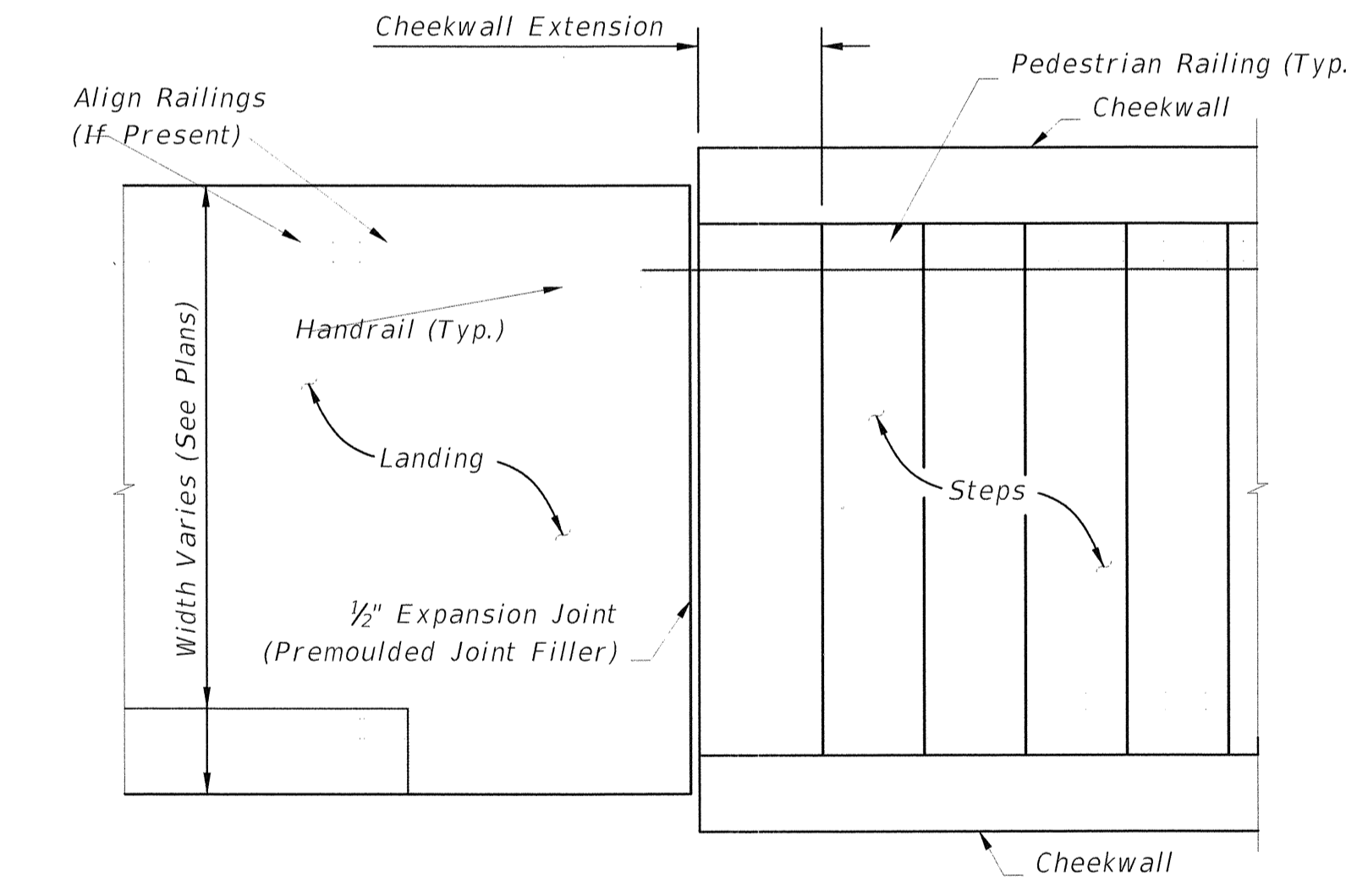


1. FILTER FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH TIES SPACED EVERY 24 INCHES AT TOP AND MID-SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE OR DEPTH OF ACCUMULATED SEDIMENT REACHES 6 INCHES.
5. SILT FENCE SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE.
6. THE CONTRACTOR SHALL INSPECT AND REPAIR THE SILT FENCE AFTER EACH RAIN EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
7. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFFSITE AND CAN BE PERMANENTLY STABILIZED.
8. THE SILT FENCE SHALL BE PLACED ON SLOPE CONTOUR TO MAXIMIZE ITS PONDING EFFICIENCY.
9. IF DITCH LEVEL IS DEEPER THAN 30", THEN A FLOATING SILT SCREEN SHALL BE USED.

COMPLY WITH F.D.O.T. DESIGN STANDARDS OF JAN. 2004 INDEX # 102

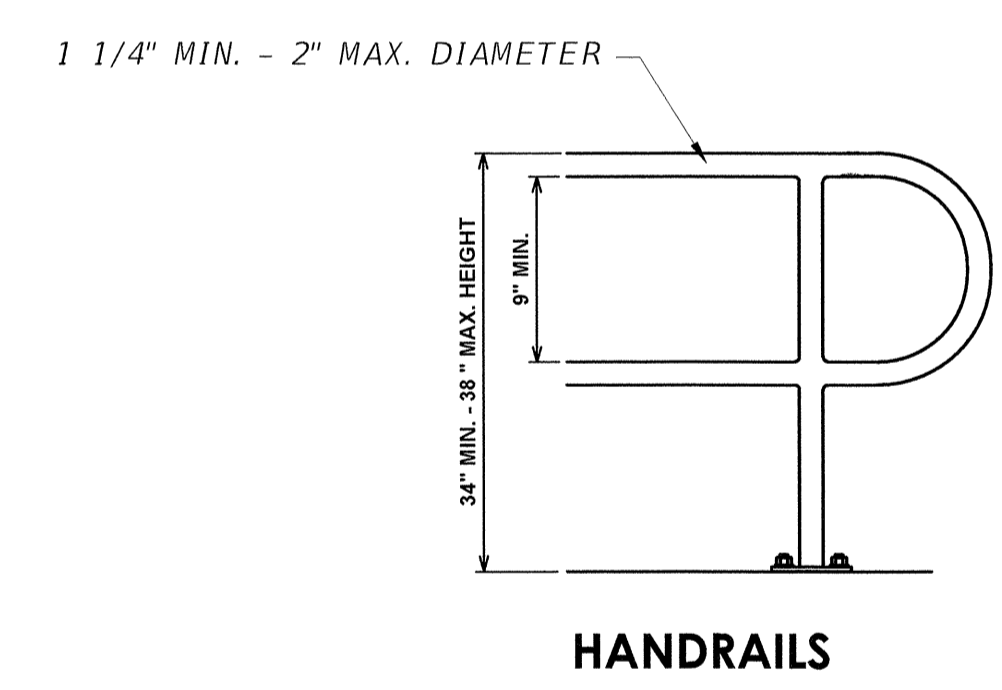


8 SILT FENCE INSTALLATION
 N.T.S. CITY OF WEST PALM BEACH - ENGINEERING & PUBLIC WORKS



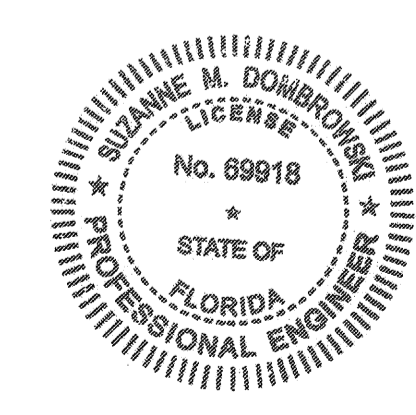
PLAN AT JUNCTION OF STEPS & LANDING
 (Bottom Landing shown, Top Landing similar)

- NOTES:**
1. DO NOT USE THIS INDEX FOR SUSPENDED (STRUCTURAL) STEPS OR STAIRWAYS.
 2. CONSTRUCT STEPS IN ACCORDANCE WITH SECTION 522 OF THE FDOT STANDARD SPECIFICATIONS.
 3. CONCRETE: CLASS NS, SPECIFICATION 347.
 4. TREAD FINISH: BROOM FINISH PARALLEL TO STEPS UNLESS OTHERWISE SHOWN IN PLANS.
 5. PEDESTRIAN RAILING: WHITE POWDER COATED ALUMINUM RAILING. SEE INDEX NOS. 852, 862, 870, 880 OR PROJECT SPECIFIC DESIGN.
 6. THE AMOUNT OF FILL FOR THE SITE IS 7,000 CUBIC FEET (0.16 ACRE-FEET).



HANDRAILS

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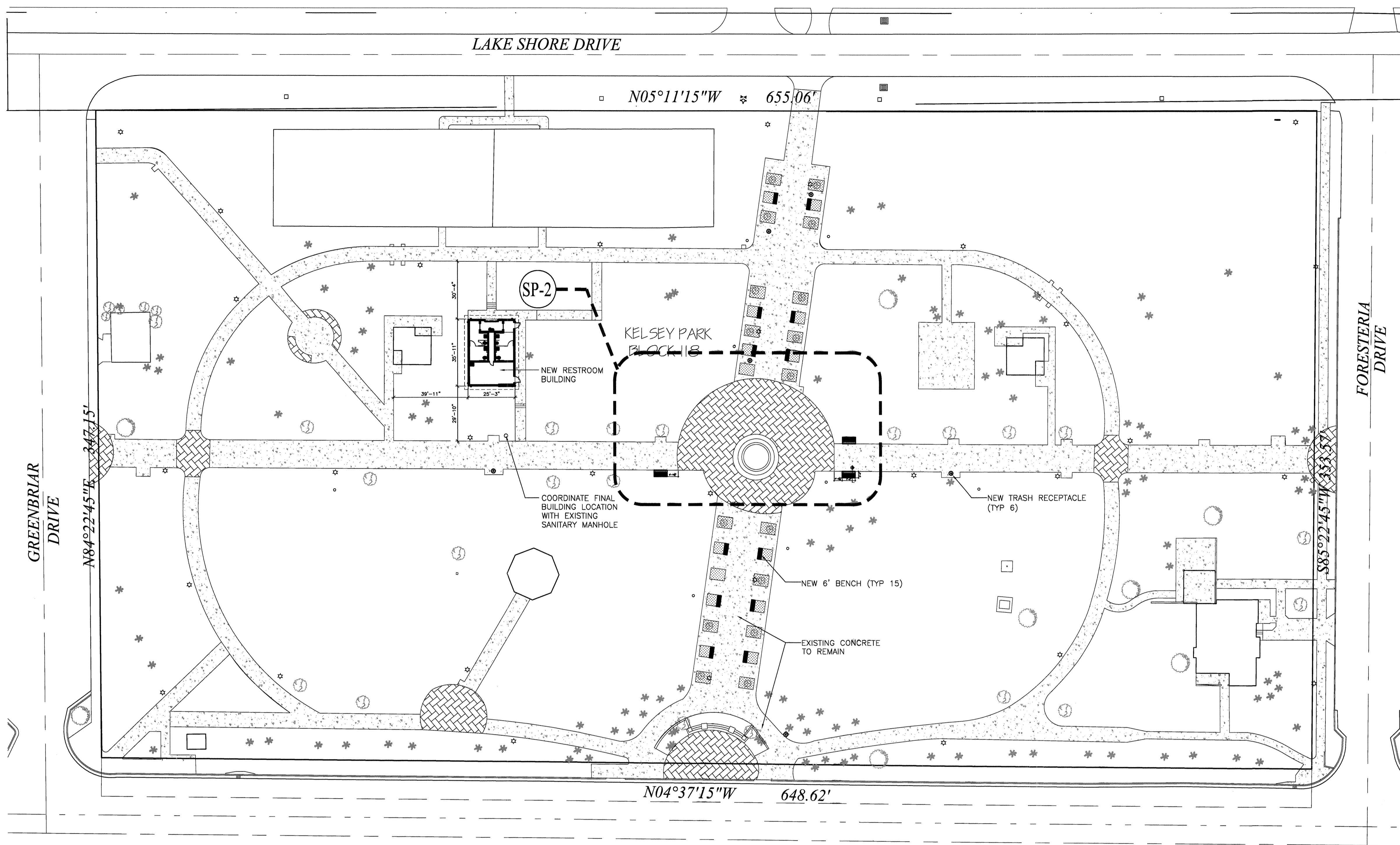
SUZANNE DOMBROWSKI, PE
 FL. REG. NO. 69918
 CHEN MOORE & ASSOCIATES
 500 AUSTRALIAN AVENUE, SUITE 530
 WEST PALM BEACH, FLORIDA 33401

9 CONCRETE STAIRS AND HANDRAILS
 N.T.S.

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 5J-17.062 F.A.C.

SUZANNE DOMBROWSKI, P.E.
 FL REGISTRATION #69918

DATE:



US HIGHWAY NO. 1

LEGEND:

- NEW 6' BENCH
- NEW TRASH RECEPTACLE
- EXISTING CONCRETE TO REMAIN
- EXISTING CONCRETE TO BE REMOVED

NO.	REVISION	DATE
BID SET		07/31/18
RE BID		11/06/18

CONSULTANT:

ALTERNATE 1
Kelsey and Lake Shore Parks
(per plans sheets SP-1, SP-2, SP-3):

- 1A. Purchase & Delivery of 6' Park Benches to Town Public Works Department.
- 1B. Purchase & Delivery of Trash Receptacles to Town Public Works Department.

ALTERNATE 2
Kelsey and Lake Shore Parks
(per plan sheets SP-1, SP-2, SP-3):

- 2A. Purchase & Install of new 6' Park Benches (includes removal and disposal of existing).
- 2B. Purchase & Install of new Trash Receptacles (includes removal and disposal of existing).
- 2C. Construct new Concrete Slabs for Park Benches (includes removal and disposal of existing).

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY

SITE PLAN

SCALE: 1" = 30'

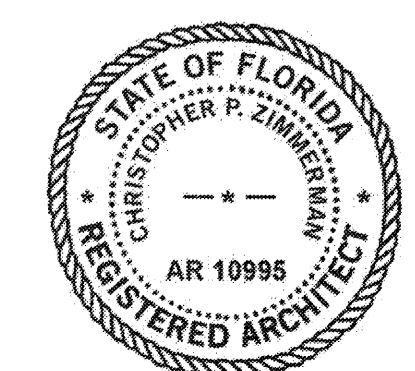
KELSEY PARK RESTROOM FACILITY
LAKE SHORE DR
LAKE PARK, FL

CPZ ARCHITECTS, INC.
416 WEST BROWARD BOULEVARD
LAKE PARK, FL 34953
PHONE: (888) 793-6525 FAX: (850) 317-0559
AA #2600685 WWW.CPZARCHITECTS.COM



DRAWING TITLE:
SITE PLAN

DRAWN: DL
CHECKED: CPZ
DATE: 11/06/18
SCALE: AS INDICATED
PROJECT NO. 1542
SHEET:



CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA

DATE: 11/06/18

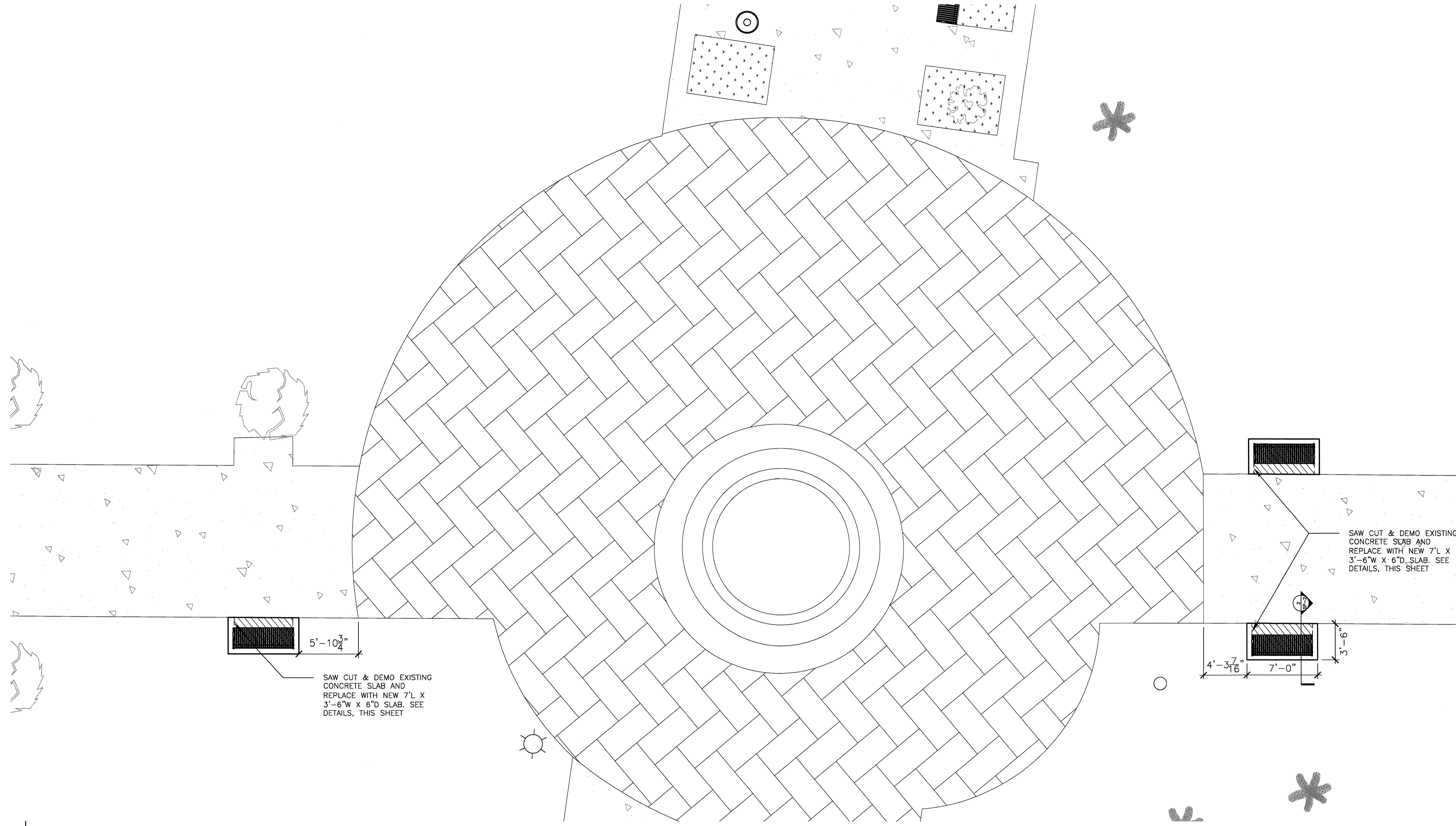
SP-1

1 of 1

LEGEND:		
	NEW 6' BENCH	
	NEW TRASH RECEPTACLE	
	EXISTING CONCRETE TO REMAIN	
	EXISTING CONCRETE TO BE REMOVED	

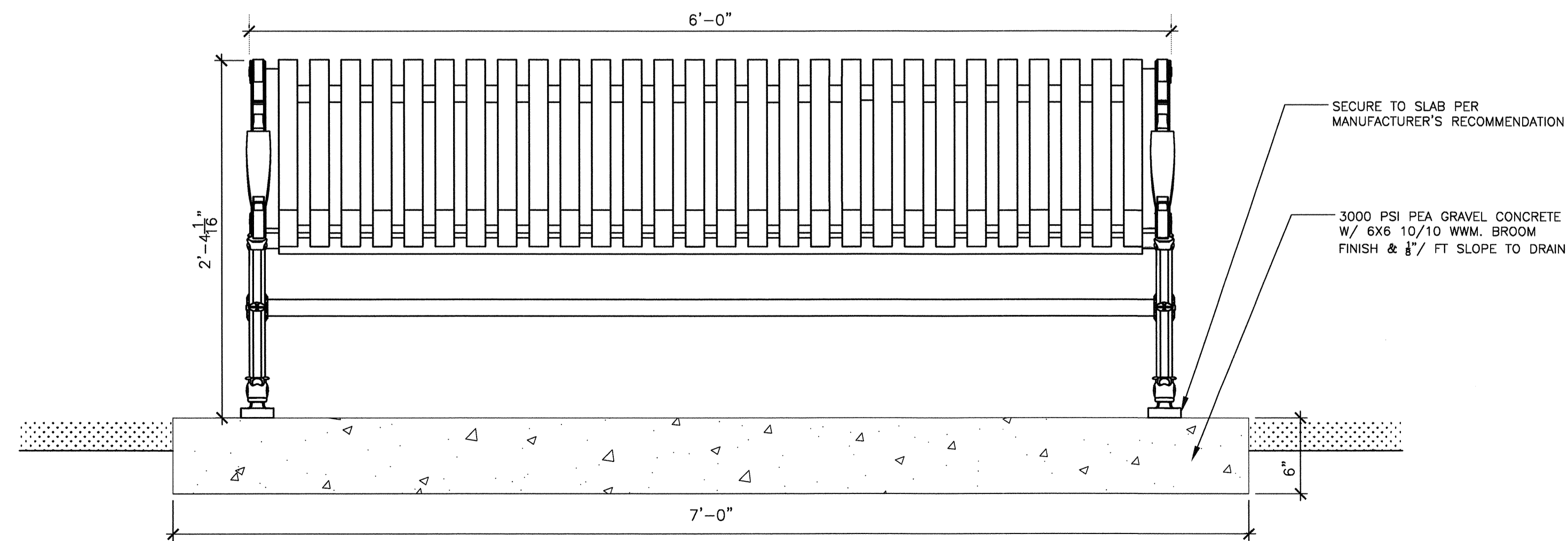
NO.	REVISION	DATE
BID SET		07/31/16
RE-BID		11/08/16

CONSULTANT:



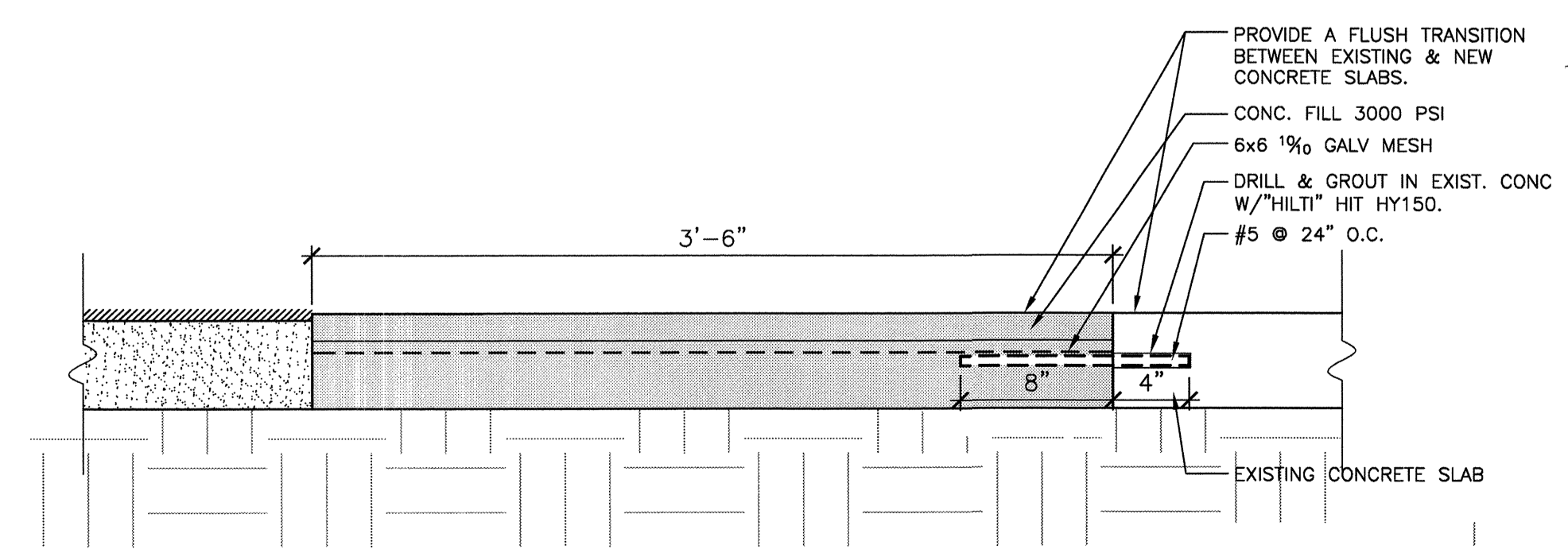
ENLARGED SITE PLAN

SCALE: 3/16" = 1'



1 TYP BENCH CONCRETE SLAB

SCALE: 1/2" = 1'



2 TYP CONCRETE DOWEL DETAIL

SCALE: 1/2" = 1'

- ALTERNATE 1**
Kelsey and Lake Shore Parks
(per plans sheets SP-1, SP-2, SP-3):
- 1A. Purchase & Delivery of 6' Park Benches to Town Public Works Department.
 - 1B. Purchase & Delivery of Trash Receptacles to Town Public Works Department.
- ALTERNATE 2**
Kelsey and Lake Shore Parks
(per plan sheets SP-1, SP-2, SP-3):
- 2A. Purchase & Install of new 6' Park Benches (includes removal and disposal of existing).
 - 2B. Purchase & Install of new Trash Receptacles (includes removal and disposal of existing).
 - 2C. Construct new Concrete Slabs for Park Benches (includes removal and disposal of existing).

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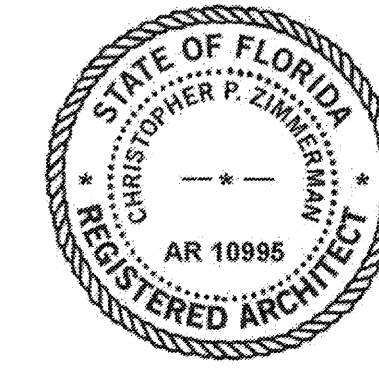
KELSEY PARK RESTROOM FACILITY
LAKE SHORE DR
LAKE PARK, FL.

CPZ ARCHITECTS, INC.
4316 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA 33317, (954) 337-0559
FAX: (954) 775-7575
AA 62600685 WWW.CPZARCHITECTS.COM



DRAWING TITLE:
SITE PLAN

DRAWN: DL
CHECKED: CPZ
DATE: 11/08/16
SCALE: AS INDICATED
PROJECT NO. 1542
SHEET:



CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA

DATE: 11/08/16

SP-2

1 of 1

NO.	REVISION	DATE
BID SET		07/31/16
RE-BID		11/06/16

CONSULTANT:

CPZ ARCHITECTS, INC.
 4316 WEST BROWARD BOULEVARD
 PLANTATION, FLORIDA 33317
 PHONE: (954) 792-8523 FAX: (954) 337-0659
 A/E 72606685 WWW.CPZARCHITECTS.COM



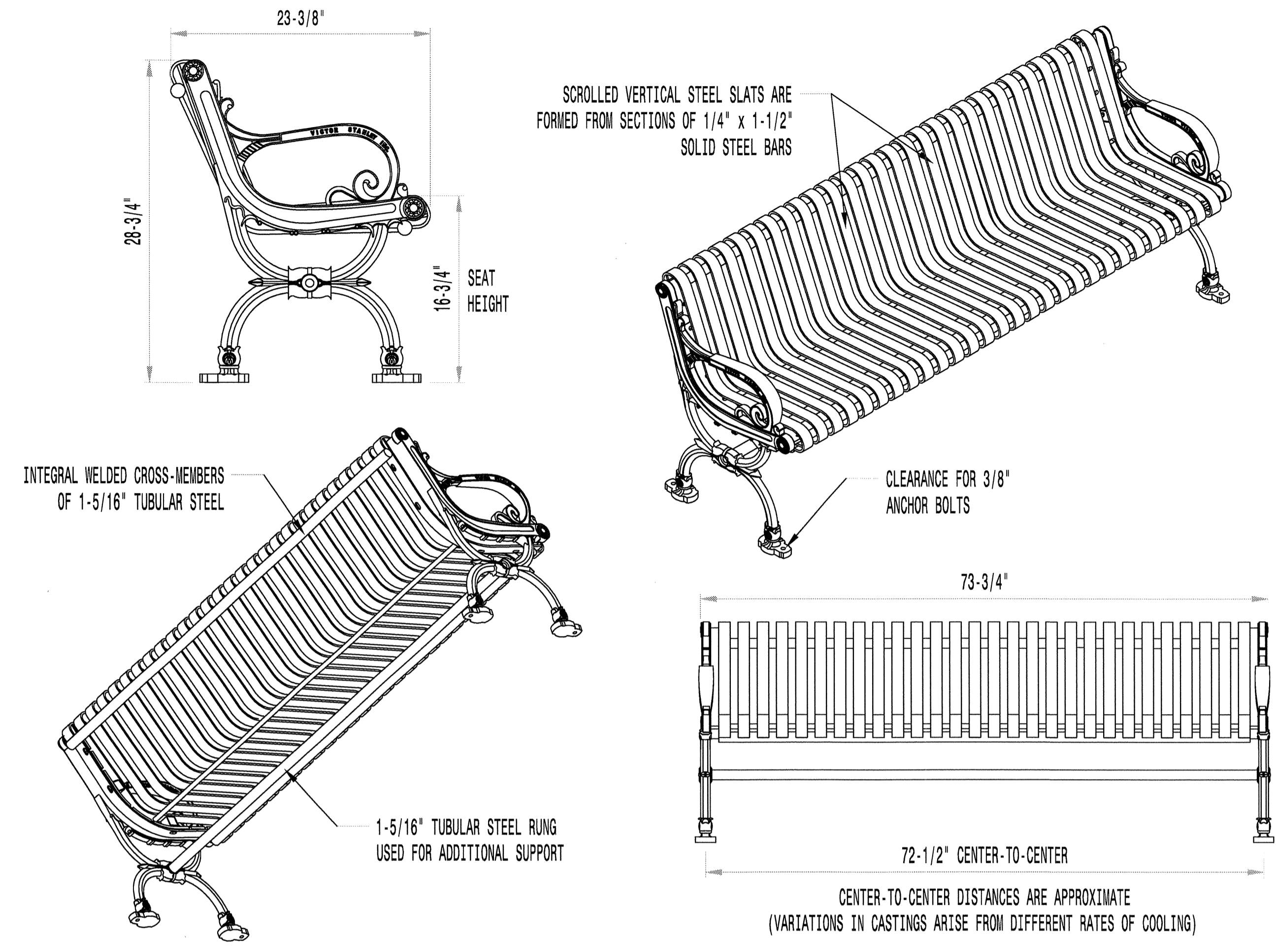
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SITE PLAN DETAILS

DRAWN:	DL
CHECKED:	CPZ
DATE:	11/06/16
SCALE:	AS INDICATED
PROJECT NO.:	1542
SHEET:	

SP-3

1 of 1

* ALL DIMENSIONS ARE IN INCHES *



OPTIONS:
POWDER COATING 'BLACK'

LENGTHS
STANDARD 6' LENGTH

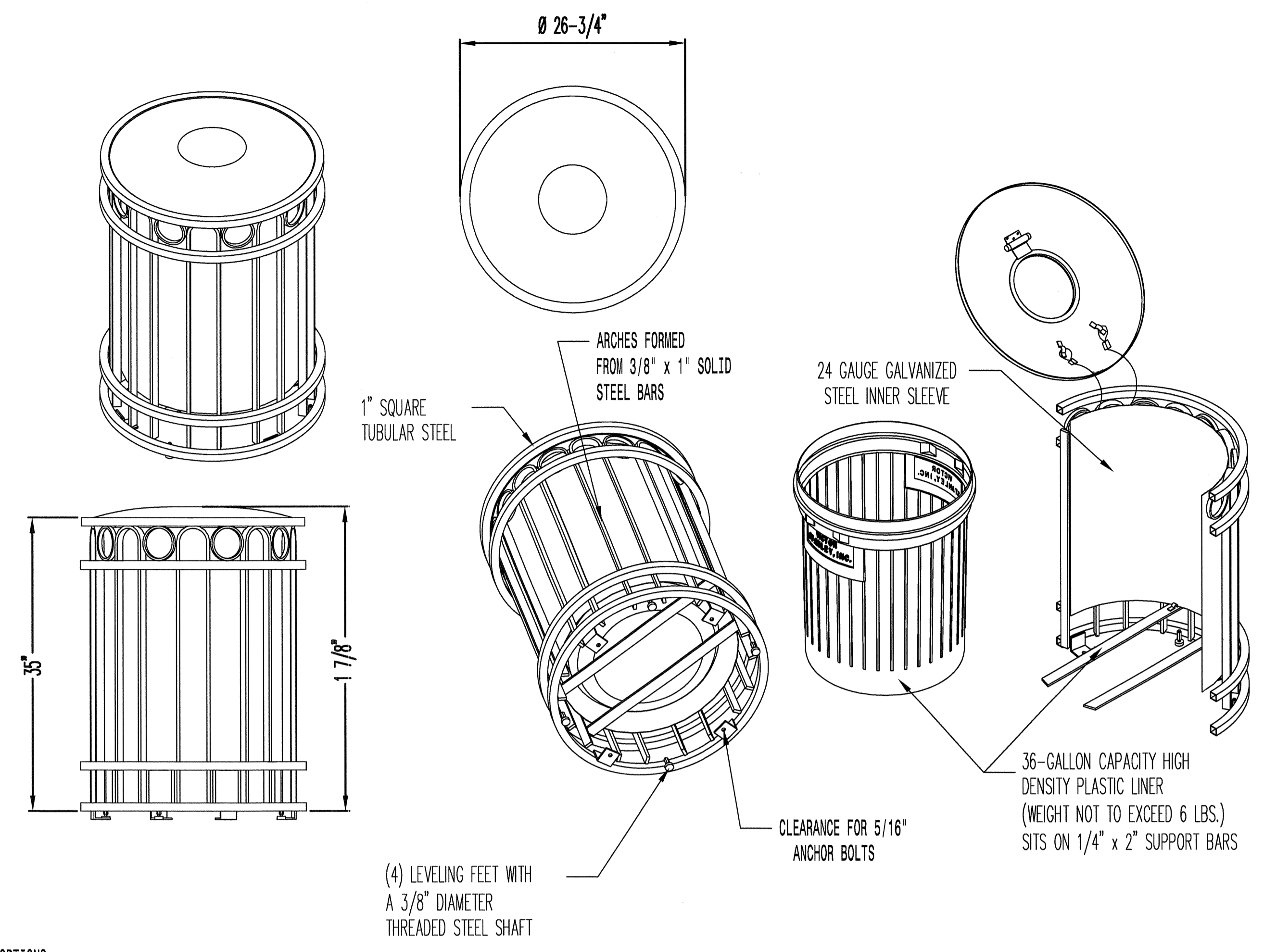
- NOTES:
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 - ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD COATING FILM. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 - IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 - PROVIDED ANCHOR BOLTS AS REQUIRED.
 - FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE.

CR-10
CLASSIC SERIES
BENCH WITH DUCTILE IRON END FRAMES
SHOWN: STANDARD 6-FOOT LENGTH

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REV. 5/20/13 DRAWN L.D.L. 2013-499

1 TYP BENCH DETAIL
SP-3

SCALE: 1"=1'



OPTIONS:
POWDER COATING 'BLACK'

- LIDS
DSP-32 FORMED DOME WITH SELF-CLOSING DOOR.
- SECURITY
LID IS SECURED WITH VINYL COATED GALVANIZED STEEL AIRCRAFT CABLE. CABLE IS LOOPED AROUND ATTACHMENT BRACKETS AND CRIMPED IN PLACE.

- NOTES:
- DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.
 - ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD FILM COATING. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).
 - PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 - PLASTIC INNER LINERS ARE MOLDED ON TOOLING DESIGNED FOR AND OWNED BY VICTOR STANLEY, INC. THEY OFFER MAXIMUM CAPACITY AND STRENGTH WITH LIGHTWEIGHT CONSTRUCTION USING CRITICAL MOLDED RIBS, INTEGRAL HANDHOLDS, AND HIGH-STRENGTH MATERIALS. THIS MINIMIZES HANDLING DIFFICULTY AND FACILITATES EASY EMPTYING AND STORAGE WHILE AFFORDING LONG SERVICE LIFE.
 - PROVIDE ANCHOR BOLTS AS REQUIRED
 - FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE.

PSO-32
PROTONE SERIES
36-GALLON LITTER RECEPTACLE
SHOWN: OPTIONAL DSP-32 FORMED DOME LID WITH SELF-CLOSING DOOR

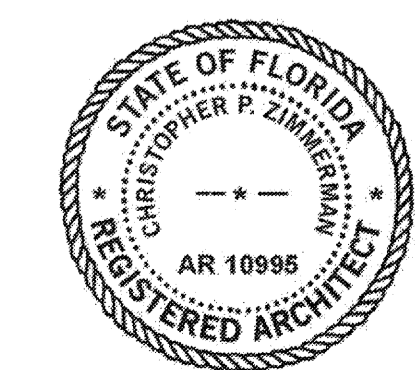
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REV. 1/8/07 DRAWN M.C.W. 2007-90

2 TYP TRASH RECEPTACLE DETAIL
SP-3

SCALE: 1"=1'

- | ALTERNATE 1 | ALTERNATE 2 |
|---|--|
| Kelsey and Lake Shore Parks
(per plans sheets SP-1, SP-2, SP-3): | Kelsey and Lake Shore Parks
(per plans sheets SP-1, SP-2, SP-3): |
| 1A. Purchase & Delivery of 6' Park Benches to Town Public Works Department. | 2A. Purchase & Install of new 6' Park Benches (includes removal and disposal of existing). |
| 1B. Purchase & Delivery of Trash Receptacles to Town Public Works Department. | 2B. Purchase & Install of new Trash Receptacles (includes removal and disposal of existing). |
| | 2C. Construct new Concrete Slabs for Park Benches (includes removal and disposal of existing). |

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CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA

DATE: 11/06/16

NO.	REVISION	DATE
103114		
1109/16		

CONSULTANT:

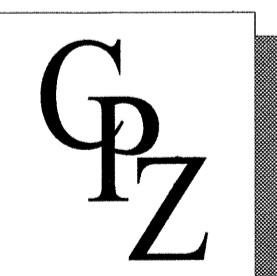
GENERAL NOTES	GENERAL NOTES	REFLECTED CEILING NOTES	FINISH NOTES
<ol style="list-style-type: none"> ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL AND MUNICIPAL BUILDING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES, INCLUDING, BUT NOT LIMITED TO, OSHA, ETC. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS. THE TERMS "CONSTRUCTION CONTRACTOR," "GENERAL CONTRACTOR," "G.C." AND "CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR INFERRED PRIOR TO PRICING OR BIDDING. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ANY AND ALL WORK. THE CONTRACTOR SHALL HAVE HAD EXPERIENCE ON AT LEAST THREE PROJECTS INVOLVING QUALITIES AND COMPLEXITIES AT LEAST EQUAL TO THOSE REQUIRED UNDER ALL DIVISIONS DETAILED IN THESE DRAWINGS. ALL WORKMEN PERFORMING UNDER THIS WORK SHALL BE SKILLED WORKMEN IN THEIR RESPECTIVE TRADES. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR, AND HE WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS. GENERAL CONTRACTOR SHALL REVIEW AND FAMILIARIZE HIMSELF WITH THE GENERAL NOTES & SPECIFICATIONS DWG. AND DETERMINE WHICH NOTES APPLY DIRECTLY TO HIS RESPONSIBILITY. EACH SUBTRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN ALL CONTRACTORS' COSTS. G.C. SHALL BE RESPONSIBLE TO PICK UP THE BUILDING PERMIT AT THE BUILDING DEPARTMENT OFFICES AND PAY ALL FEES. THE TOWN WILL ISSUE NO-FEE PERMIT. GC AND ALL SUB-CONTRACTORS WILL BE REQUIRED TO BE REGISTERED WITH THE TOWN FOR WHICH THERE WILL BE A SMALL FEE BASED ON HOW THE COMPANY IS LICENSED IN THE COUNTY. GC IS RESPONSIBLE TO ARRANGE FOR ALL CODE REQUIRED INSPECTIONS. G.C. SHALL PROVIDE ALL THE DRAWINGS, COMPLETED PAPERWORK AND CERTIFICATES OF INSPECTION AND SHALL PERFORM ALL THE CONTROLLED INSPECTIONS AS REQUIRED FOR BUILDING DEPARTMENT APPROVAL. UPON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION AND A CERTIFICATE OF SUBSTANTIAL COMPLETION (A.I.A. DOCUMENT #G-704). THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECT'S OFFICE FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL A SIGNED AUTHORIZATION TO PROCEED IS RETURNED TO THE GENERAL CONTRACTOR. NOT USED CONTRACTOR SHALL SCHEDULE ALL WORK TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COOPERATE WITH OTHER SUB-CONTRACTORS IN THE REQUIRED SEQUENTIAL INSTALLATION SCHEDULE AS APPROVED BY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED; DIMENSIONS GOVERN. ALL WORK IS TO CONFORM TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND SHALL BE NEW AND BEST QUALITY OF THE KINDS SPECIFIED. NO MATERIAL SUBSTITUTIONS SHALL BE MADE. ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY ARCHITECT PRIOR TO THE START OF ANY WORK. ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED AS DIRECTED BY THE SUPPLIER/MANUFACTURER, IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARD PRACTICE. ALL SUBCONTRACTORS' SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL THROUGH THE GENERAL CONTRACTOR PRIOR TO WORK BEING PERFORMED, UNLESS OTHERWISE NOTED. NOT USED WORKMEN WILL BE ASSIGNED ONE TOILET AREA WHICH THE GENERAL CONTRACTOR WILL PROVIDE AND BE RESPONSIBLE FOR CLEANING, MAINTAINING, AND UPON COMPLETION OF THE WORK, RESTORING TO ITS ORIGINAL CONDITION. 	<ol style="list-style-type: none"> CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIMES. ALL LADDERS, BAKERS, AND SCAFFOLDING SHALL BE IN GOOD OPERATING CONDITION. ALL DAMAGED LADDERS, BAKERS, AND ROLLING SCAFFOLDING WILL BE IMMEDIATELY REMOVED FROM THE JOB SITE. ALL ELECTRIC HAND TOOLS MUST BE GROUNDED PROPERLY. PROTECTIVE EYE GOGGLE WILL BE WORN DURING ANY CUTTING, WHETHER BY HAND OR BY MECHANICAL MEANS, OF FLOORS, WALLS, AND ARCHES. ALL WINDOWS SHALL BE KEPT CLOSED IN THE WORK AREAS. ALL FIRE EXITS SHALL BE KEPT CLEAR AND ACCESSIBLE AT ALL TIMES. FIRE EXTINGUISHERS MUST BE KEPT ON THE JOB SITE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE WORK AREA AND THE AREAS INVOLVED IN THE DELIVERY OF HIS MATERIALS. GENERAL CONTRACTOR IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, AND SELVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR THE DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS, OR EQUIPMENT WHICH IS PART OF HIS CONTRACT. NOT USED GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT AS REQUIRED ALL OWNER OCCUPIED AREAS. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR DAMAGES CAUSED BY HIS SUBCONTRACTORS. THE GENERAL CONTRACTOR SHALL HAVE A COMPETENT SUPERINTENDENT ON THE PREMISES AT ALL TIMES WHEN WORK IS IN PROGRESS. GC IS REQUIRED TO POST CLEARLY VISIBLE AND PROTECTED FROM WEATHER ALL REQUIRED DAVIS BACON REQUIRED NOTICES/ WAGE RATES AND ALL STATE AND FEDERAL COMPLIANCE POSTERS. <p style="text-align: center;">CONSTRUCTION NOTES</p> <ol style="list-style-type: none"> FINAL PLACEMENT OF ALL PARTITIONS TO BE APPROVED IN THE FIELD BY ARCHITECTS' REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY WORK. ALL PARTITION DIMENSIONS ARE FROM FINISHED SURFACE OR FROM FACE OF CONCRETE BLOCK WALL, UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR TAPING AND SPACKLING OF GYPSUM BOARD INSTALLED. PROVIDE ACCESS DOORS FOR PLUMBING, ELECTRICAL, ETC. AS REQUIRED TO ACCESS EQUIPMENT OR CONTROLS. LOCATION TO BE APPROVED BY ARCHITECT. ALL DOORS TO BE UNDERCUT TO 5/8" A.F.F. UNLESS OTHERWISE NOTED. ALL DOORS SHALL HAVE DOOR STOPS AND BUMPERS OR SILENCERS. DOOR STOPS TO BE FLOOR MOUNTED TYPE, UNLESS OTHERWISE NOTED. ALL LOCKSETS SHALL BE MASTER KEYPED AS REQUIRED BY THE OWNER. SEE DOOR SCHEDULE & HARDWARE SCHEDULE FOR INFORMATION. CONTRACTOR SHALL FURNISH AND INSTALL FIREPROOF BLOCKING IN CEILINGS OR PARTITIONS AS REQUIRED, OR WHERE WALL MOUNTED EQUIPMENT OR CABINETS IS INDICATED, FOR A COMPLETE INSTALLATION. 	<ol style="list-style-type: none"> SEE ENGINEER'S DRAWINGS FOR ADDITIONAL NOTES AND GENERAL INFORMATION. SEE ENGINEER'S DRAWINGS FOR ALL LIGHT FIXTURE CIRCUITING, EMERGENCY AND EXIT LIGHTING, SMOKE DETECTORS, STROBE LIGHTING, ALARM SPEAKERS, SWITCHING AND RELATED WORK. CONTRACTOR IS TO VERIFY ALL LIGHT FIXTURE WATTAGE (MAX) AND PROVIDE PROPER NUMBER OF SWITCHES AT THAT LOCATION TO SERVICE INDICATED LIGHT FIXTURES. SEE ENGINEER'S DRAWINGS FOR ALL EXHAUST FANS, DUCTWORK LAYOUTS, TRANSFER DUCTS, FUSIBLE LINK DAMPERS, ETC. ARCHITECTS' DRAWINGS INDICATE EXHAUST FANS FOR LOCATION ONLY. WHERE DISCREPANCIES OCCUR BETWEEN ENGINEERING AND ARCHITECTURAL DRAWINGS SHALL GOVERN. GENERAL CONTRACTOR SHALL PROVIDE A COMPOSITE CEILING PLAN (3/8" = 1'-0" MIN.) AND NECESSARY SHOP DRAWINGS COORDINATING ALL TRADES, SHOWING THE LOCATION OF SUSPENSION MEMBERS, LIGHT FIXTURES, EMERGENCY AND EXIT LIGHTING, HVAC FIXTURES, DRAPERY POCKETS, FIRE DAMPERS, ACCESS DOORS, FASCIA'S, SOFFITS AND ALL OTHER ITEMS PENETRATING OR ATTACHED TO THE CEILING. H.V.A.C. SUBCONTRACTOR TO SUBMIT A LAYOUT SHOP DRAWING INDICATING ALL DIFFUSER LOCATIONS AND DUCTWORK LAYOUTS TO ARCHITECTS OFFICE FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OF ANY WORK. ACCESS DOOR LOCATIONS TO BE REVIEWED IN THE FIELD PRIOR TO INSTALLATIONS, AND THEIR LOCATIONS TO BE APPROVED BY THE ARCHITECT. SEE REFLECTED CEILING PLAN FOR CEILING HEIGHTS. MAINTAIN CEILING HEIGHT THROUGHOUT. NOTIFY ARCHITECT OF ANY COMPLICATIONS WITH HEIGHT. G.C. SHALL BE RESPONSIBLE FOR VERIFYING COMPATIBILITY OF LIGHTING FIXTURES WITH THE SPECIFIED CEILING SYSTEM. ALL SWITCHES TO BE MOUNTED AT 3'-2" A.F.F. TO CENTER LINE OF SWITCH. MULTIPLE SWITCHES TO BE GANGED AND PROVIDED WITH SINGLE GANG PLATE. GENERAL CONTRACTOR TO PROVIDE INITIAL LAMPING OF ALL FIXTURES AND INSTALL APPROPRIATE LAMPS AS REQUIRED BY SPECIFIED LIGHT FIXTURE. ALL EXHAUST FAN EQUIPMENT TO BE LOCATED OUTSIDE THE SPECIFIED ROOM AND DUCTED INTO THE SPACE TO THE CEILING REGISTER. ALL EXHAUST FANS TO BE CONTROLLED BY A (RED) PILOT LIGHT WALL MOUNTED SWITCH. <p style="text-align: center;">POWER & COMMUNICATION NOTES</p> <ol style="list-style-type: none"> SEE ENGINEER'S DRAWING FOR ALL CIRCUITING AND RELATED WORK. GENERAL CONTRACTOR SHALL VERIFY THE AVAILABLE ELECTRICAL SERVICE AND ADVISE THE ARCHITECT OF HIS FINDINGS PRIOR TO SUBMITTING A BID. ELECTRICAL CONTRACTOR SHALL DISCONNECT, CONNECT, AND PROVIDE NECESSARY ELECTRIC RUNS IN ORDER TO CONFORM WITH NEW PLAN. SWITCHES, DUPLEX OUTLETS, AND COVER PLATES SHALL BE INSTALLED BY COMPETENT MECHANICS IN A FIRST CLASS MANNER. THE ELECTRICAL CONTRACTOR SHALL INCLUDE AND COORDINATE ELECTRICAL REQUIREMENTS FOR ALL EXHAUST FANS, WATER HEATERS, AND SPECIAL EQUIPMENT, ETC. NOT USED. NOT USED. CENTERLINE-TO-CENTERLINE DIMENSIONS OF ANY OUTLET PAIR SHALL NOT EXCEED 6". ALL BACK-TO-BACK OUTLETS IN ADJOINING ROOMS TO BE STAGGERED. NOT USED. NO FLOOR OR WALL POWER OUTLETS SHALL BE CONNECTED TO LIGHTING CIRCUITS. PROVIDE TAMPER-PROOF CIRCUIT BREAKER CLAMPS ON ALL DEDICATED CIRCUIT BREAKERS. GENERAL CONTRACTOR SHALL LABEL ALL CIRCUIT BREAKERS. WHERE EXPOSED CONDUIT HAS BEEN SPECIFIED, THE CONDUIT SHALL BE RUN IN CORNERS OR ON SIDE OF COLUMNS IN A NEAT AND ORDERLY WAY USING 90° CORNERS RUNNING PARALLEL TO WALLS, COLUMNS, BEAMS AND OTHER CONDUITS TO ABOVE HIGHEST POINT OF BASEBOARD CONVECTOR, AT WHICH POINT CONDUIT IS TO RUN HORIZONTALLY TO ACTUAL LOCATION OF OUTLET AS DIMENSIONED ON PLAN. 	<ol style="list-style-type: none"> SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL, IN TRIPPLICATE, PRIOR TO COMMENCEMENT OF THE WORK. ALL WALLS SHALL BE PROPERLY PREPARED (SPACKLED, SANDED, ETC.) FOR PAINTING AS PER FINISH PLAN AND MANUFACTURER'S SPECIFICATIONS. ALL PAINTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR THE PARTICULAR SURFACE. ALL SURFACES WHICH ARE TO BE PAINTED SHALL RECEIVE (1) COAT OF PRIMER AND (2) COATS OF FINISH PAINT. (3) COATS TOTAL. ALL WALLS TO BE PAINTED SHALL BE PAINTED WITH A LATEX BASE EGGSHELL FINISH PAINT UNLESS OTHERWISE NOTED. ALL DOORS, DOOR FRAMES, WINDOW FRAMES SHALL BE PAINTED WITH AN ALKYD BASE SEMI-GLOSS FINISH PAINT UNLESS OTHERWISE NOTED. ALL DOORS AND FRAMES TO BE PAINTED THE SAME COLOR AND TYPE OF PAINT ON BOTH SIDES, UNLESS OTHERWISE NOTED. NOT USED. FLOORS MUST BE FREE OF DUST, OIL AND ALL FOREIGN MATTER. BUILDING MUST BE A MIN. OF 65°, 24 HOURS PRIOR TO INSTALLATION OF FLOOR COVERING. CRACKS 1/16" OR MORE, HOLES, AND OTHER UNEVENNESS MUST BE FILLED WITH A LATEX BASE FLOOR FILLER. HIGH SPOTS MUST BE LEVELLED. FLOOR MUST BE SWEEPED CLEAN, WET MOPPED WITH WARM WATER AND SWEEPED AGAIN. IF SWEEPING LEAVES A RESIDUE, FLOORS SHALL BE VACUUMED.

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CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10995
STATE OF FLORIDA

DATE: 11/06/16

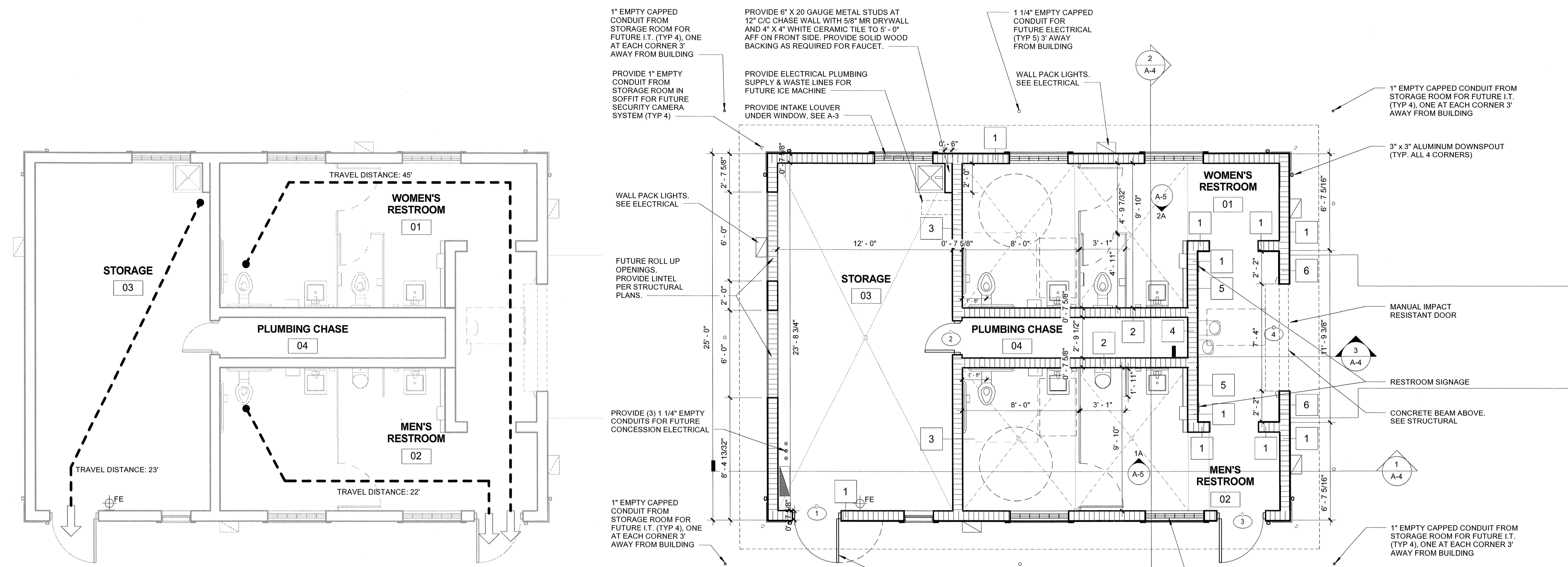
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GENERAL NOTES

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CHECKED: EG/CPZ
DATE: 11/06/16
SCALE: 12" = 1'-0"
PROJECT NO. 1533
SHEET:

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LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN
SCALE: 1/4" = 1'-0"

LIFE SAFETY LEGEND:

--- DENOTES PATH OF TRAVEL

FE FIRE EXTINGUISHER MOUNTED ON BRACKET

FIRE EXTINGUISHERS:

EXTINGUISHMENT REQUIREMENTS (NFPA10-6.2):

(1) 2-A RATED SINGLE EXTINGUISHER (AT MINIMUM), PER EVERY 3000 SQ. FT. NOT TO EXCEED 75'-0" OF TRAVEL MOUNT CABINET W/ OPERATING INSTRUCTIONS FACING OUTWARDS.

MOUNT FIRE EXTINGUISHER ON STANDARD WALL BRACKET @ 48" A.F.F.

CONTRACTOR PROVIDE SHOP DRAWING SUBMITTAL OF EXTINGUISHERS PRIOR TO ORDERING.

NOTE: DURING CONSTRUCTION CONTRACTOR TO PROVIDE PORTABLE FOR EXTINGUISHERS PER NFPA 1141 SECTION 9.2.

FLOOR PLAN LEGEND:

▬ DENOTES NEW BLOCK WALL

1i WALL TYPE, SEE DETAILS ON SHEET A-6(R)

101 DOOR TAG, SEE SCHEDULE ON SHEET A-6(R)

□ WALL PACK LIGHTS

FE FIRE EXTINGUISHER MOUNTED ON BRACKET

FLOOR PLAN NOTES:

- SEE FINISH SCHEDULE AND PLAN FOR FLOOR AND WALL FINISHES ON SHEET A-5.
- SEE CEILING, ELECTRICAL AND MECHANICAL SHEETS FOR EXHAUST FAN, LIGHT, AND RECEPTACLE LOCATION PLANS.
- CONTRACTOR TO COORDINATE ALL WORK WITH OWNER'S REPRESENTATIVE.

MISCELLANEOUS NOTES:

- IF FLAMMABLE OR COMBUSTIBLE LIQUIDS WILL BE STORED, HANDLED, OR USED ON THE CONSTRUCTION SITE, THEY SHALL COMPLY W/ NFPA 1 SECTION 16.2.3 CLASSIFICATION OF HAZARD CONTENTS PER NFPA101 SECTION 6.2.2.3 "ORDINARY HAZARD CONTENT"
- THRESHOLD AT ALL EXTERIOR DOOR OPENINGS SHALL NOT EXCEED 1/2" (13 MM) IN HEIGHT PER NFPA 101 SECTION 7.2.1.3.3

SOIL TREATMENT NOTE:

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTER TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. SEE SECTION 202, REGISTERED TERMITICIDE. UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

BUILDING CODE INFORMATION		PROPERTY ADDRESS: Lake Shore Dr Lake Park, FL 33403	
GOVERNING CODE:	FLORIDA BUILDING CODE 5th EDITION (2014) ACCESSIBILITY, BUILDING, ENERGY CONSERVATION, EXISTING BUILDING, FUEL GAS, MECHANICAL, PLUMBING, RESIDENTIAL, TEST PROTOCOLS.	DESCRIPTION OF WORK:	THIS PROJECT CONSISTS OF A NEW SINGLE STORY RESTROOM BUILDING ON AN EXISTING PUBLIC PARK PROPERTY
	FLORIDA FIRE PREVENTION CODE 2010 EDITION NFPA 101 2009 ED.	CLASSIFICATION OF WORK:	NEW CONSTRUCTION PER FLORIDA BUILDING CODE 5th EDITION (2014)- BUILDING
USE AND CLASSIFICATION (FBC-B CHAPTER 3):	U-UTILITY & MISC	OCCUPANT LOAD (CHAPTER 10):	UTILITY: 882 S.F. / 300 S.F. PER OCCUPANT (FBC-B TABLE 1004.1.2) = 3 PERSONS
CONSTRUCTION TYPE (FBC-B CHAPTER 6):	III-B		
CONSTRUCTION:	CMU, CONCRETE STRUCTURE, WOOD ROOF STRUCTURE.		
BUILDING HEIGHT & AREA LIMITATIONS (FBC-B TABLE 503):		EGRESS: PER FBC-B CHAPTER 10 & NFPA 101 CH. 22	
MAX. # OF STORIES PERMITTED:	2	MAX. TRAVEL DISTANCE PERMITTED (FBC-B TABLE 1016.2):	300'-0"
MAX. # OF STORIES PROVIDED:	1	MAX. TRAVEL DISTANCE PROVIDED:	45'-0"
MAX. HEIGHT PERMITTED:	55'	COMMON PATH OF EGRESS TRAVEL PERMITTED (FBC-B TABLE 1014.3):	100'-0"
MAX. HEIGHT PROVIDED:	UNDER 20'	COMMON PATH OF EGRESS TRAVEL PROVIDED:	LESS THAN 100'-0"
MAX. AREA PERMITTED (PER FLOOR):	8,500 SF *	MIN. CORRIDOR WIDTH REQUIRED (FBC-B TABLE 1018.2, 1023.2):	3'-8"
MAX. AREA PROVIDED (PER FLOOR):	892 SF	CORRIDOR WIDTH PROVIDED:	N/A
AREA CALCULATIONS:		MAX. DEAD END CORRIDOR PERMITTED (FBC-B 1018.4):	20'-0"
TOTAL AREA (BLDG.) PROVIDED:	892 SF	MAX. DEAD END CORRIDOR PROVIDED:	NONE
		EGRESS WIDTH PER PERSON REQUIRED (FBC-B 1005.1):	0.2" PER OCC. LEVEL = .6" (32" MIN.)
		EGRESS WIDTH PER PERSON PROVIDED:	34" (LEVEL)
		MINIMUM CLEAR OPENING REQUIRED (FBC-B 1008.1.1):	32"
		MINIMUM CLEAR OPENING PROVIDED:	34"
		EXITS REQUIRED (FBC-B TABLES 1015.1, 1021, 1021.2):	1
		EXITS PROVIDED:	1 FROM EACH SPACE. TOTAL = 3
		FIRE PROTECTION FEATURES:	
		MAXIMUM TRAVEL DISTANCE TO FIRE EXTINGUISHERS REQUIRED (NFPA 10):	75'-0"
		MAXIMUM TRAVEL DISTANCE TO FIRE EXTINGUISHERS PROVIDED:	LESS THAN 75'-0"
		NUMBER OF FIRE EXTINGUISHERS PROVIDED:	1
		TYPE OF FIRE EXTINGUISHERS PROVIDED:	MP5 UL RATING 2A-10B-C (TYPICAL)
		FIRE RESISTANCE RATINGS (FBC-B TABLE 601)	
BUILDING ELEMENT	TYPE III-B		
STRUCTURAL FRAME	0		
BEARING WALLS	0		
EXTERIOR	2		
INTERIOR	0		
NON-BEARING- EXTERIOR	0		
NON-BEARING INTERIOR WALLS & PARTITIONS	0		
FLOOR CONSTRUCTION	0		
ROOF CONSTRUCTION	0		
FIRE SPRINKLERS	NOT PROVIDED		
CLASSIFICATION OF HAZARD OF CONTENTS (NFPA 101 SECTION 26.1.5)		ORDINARY HAZARD CONTENTS	

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STATE OF FLORIDA
CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA

CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA

DATE: 11/06/16

NO.	REVISION	DATE
1	ISSUED	07/31/16
2	REVISION	11/06/16

CONSULTANT:

KELSEY PARK RESTROOM FACILITY
LAKE SHORE DR
LAKE PARK, FL.

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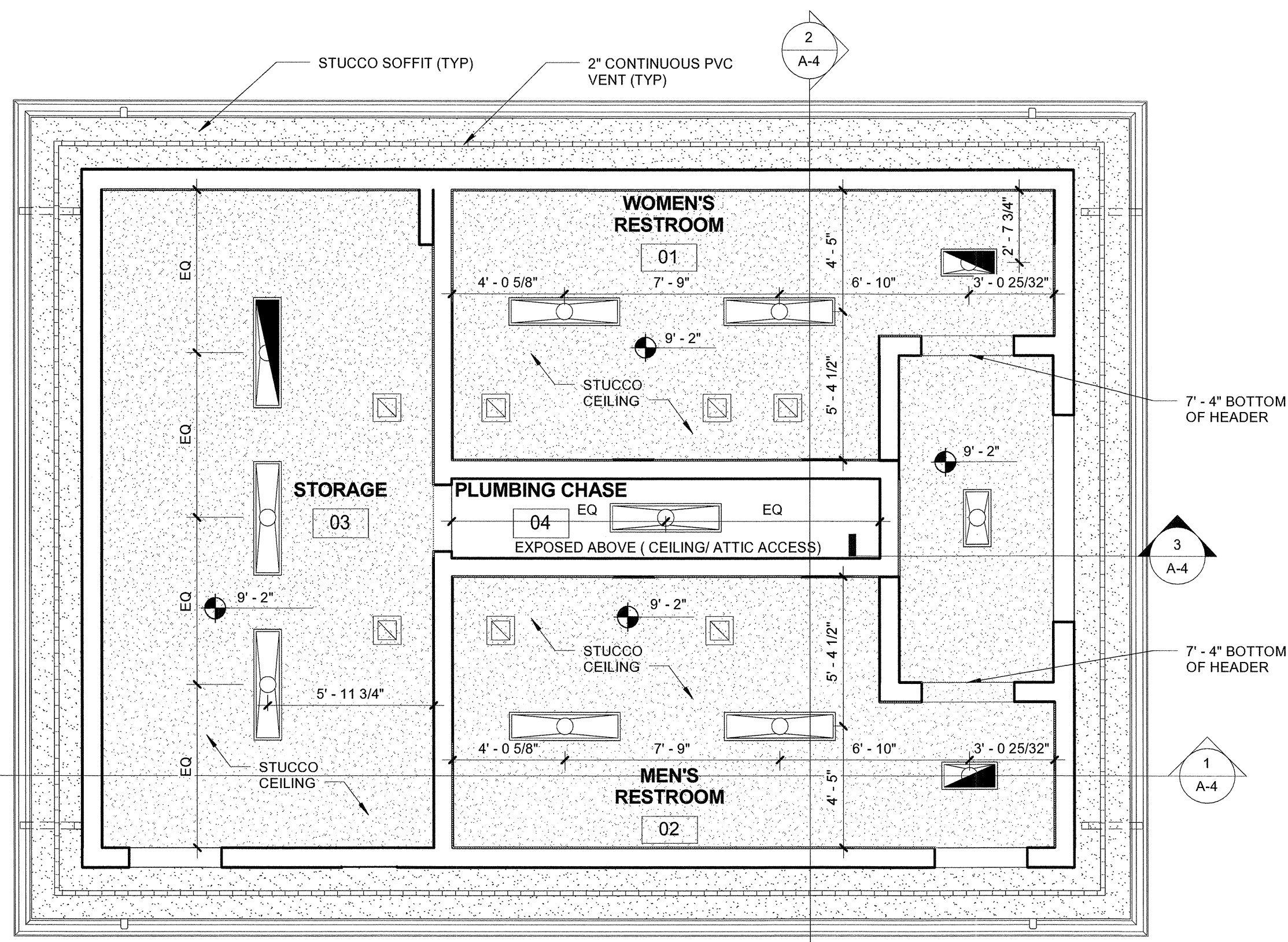


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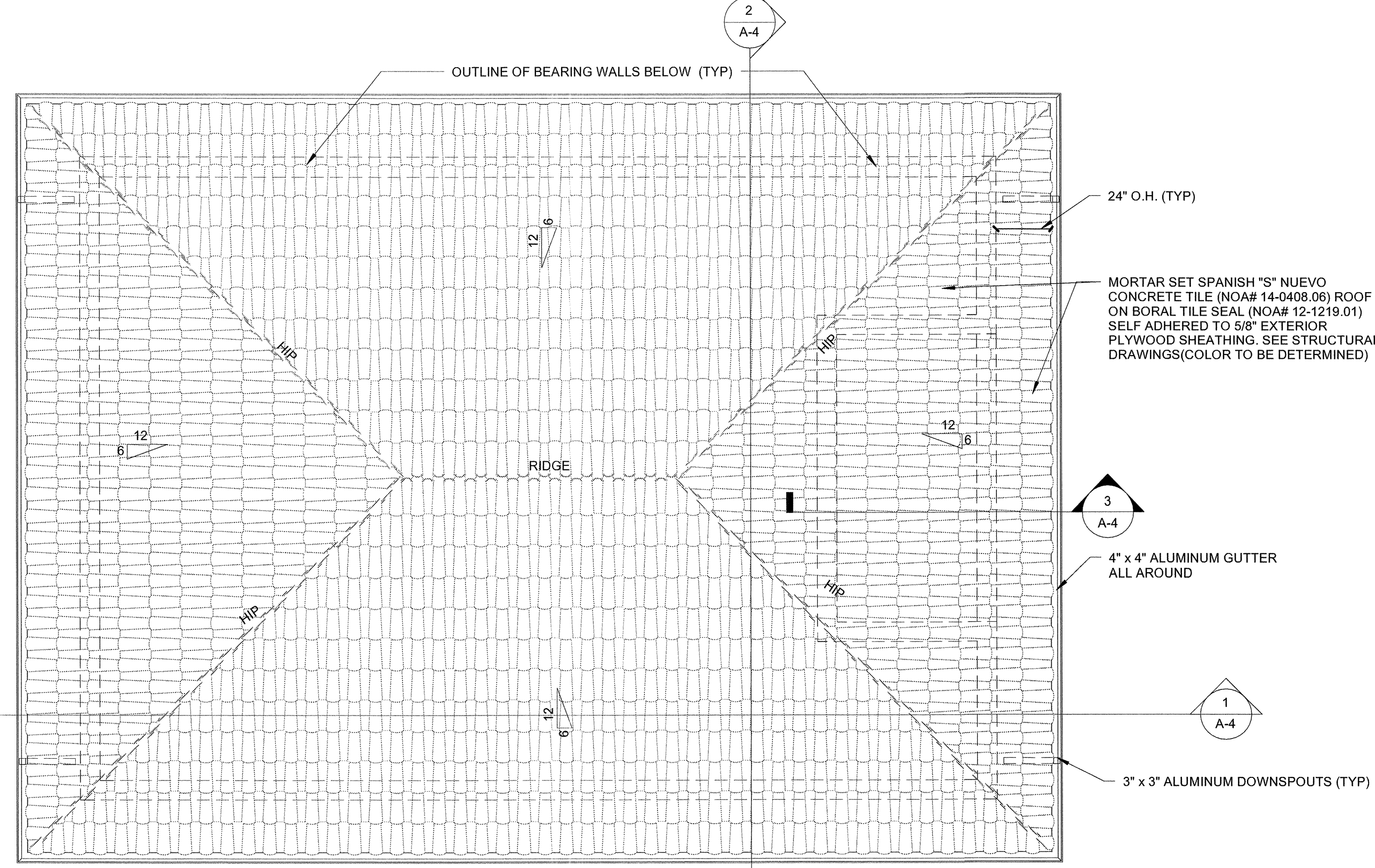
LIFE SAFETY & FLOOR PLAN

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DATE: 11/06/16
SCALE: As indicated
PROJECT NO. 1533
SHEET:

A-1



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"

REFLECTED CEILING NOTES:

1. SEE ELECTRICAL SHEETS FOR LIGHT SPECIFICATIONS.
2. SEE MECHANICAL PLANS FOR EXHAUST FAN LAYOUT.
3. ALL CONDUITS TO BE INSTALLED ABOVE THE CEILING.

LEGEND:

- 1' X 4' LED LIGHT FIXTURE
- 1' X 4' LED LIGHT FIXTURE W/ EMERGENCY BATTERY BALLAST
- 1' X 2' LED LIGHT FIXTURE
- 1' X 2' LED LIGHT FIXTURE W/ EMERGENCY BATTERY BALLAST
- EXHAUST FAN (SEE MECHANICAL)
- STUCCO CEILING
- EXPOSED CEILING

NOTE:
SEE LIGHTING SCHEDULE FOR MANUFACTURER MODEL OF ALL LIGHT FIXTURES.

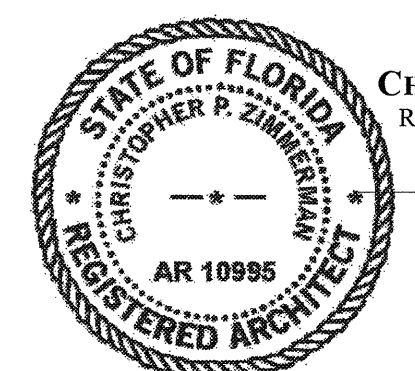
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1	ISSUED FOR PERMITS	07/13/16
2	RE-BID	11/06/16

CONSULTANT:

ROOFING SPECIFICATIONS:

1. CONTRACTOR TO PROVIDE WRITTEN WARRANTY FOR ALL LABOR AND MATERIALS FOR A MINIMUM OF FIVE YEARS AFTER THE DATE OF INSTALLATION. ALSO MUST PROVIDE MANUFACTURERS WRITTEN WARRANTY WHICH WILL EXCEED THE FIVE YEAR LABOR WARRANTY. MANUFACTURER TO PROVIDE A TWENTY (20) YEAR, NO DOLLAR LIMIT (NDL), EDGE TO EDGE, WATERTIGHTNESS WARRANTY INCLUSIVE OF ALL FLASHINGS AND PENETRATIONS.
2. THE WATERPROOFING MEMBRANE SHALL BE BORAL TILE SEAL UNDERLAYMENT WITH A MINIMUM OF 4" HEAD LAP (SEE MIAMI-DADE COUNTY NOA 12-1219.01). ALL HIP AND RIDGES SHALL BE LAPPED A MINIMUM OF SIX INCHES.
3. ALL FLASHINGS AND DRIP METAL SHALL BE AS SPECIFIED BY THE ROOFING MANUFACTURER'S RECOMMENDATION TO MEET THEIR WARRANTIES.
4. CONCRETE TILE ROOFING SHALL BE SPANISH "S" NUEVO CONCRETE ROOF TILE MORTAR SET IN SANGRIA BLEND COLOR. INSTALLATION SHALL BE IN ACCORDANCE WITH ALL REQUIREMENTS OF FBC 3402.3(D) AND THE MANUFACTURER'S SPECIFICATIONS OUTLINED IN THE METRO-DADE PRODUCT CONTROL NOTICE OF ACCEPTANCE NO. 14-0408.06.
5. ALL DEBRIS FROM THE CONTRACTOR'S ACTIVITIES SHALL BE REMOVED FROM THE PROPERTY AND ALL SURFACES SWEEP OR RAKED CLEAN. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROTECTION FROM THE WEATHER DURING THE ROOFING AND PROTECTION OF ALL AREAS OF THE PROPERTY AFFECTED BY THE CONTRACTOR'S ACTIVITIES.

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DRAWING TITLE:

RCP, ROOF PLAN & DETAILS

DRAWN: DL

CHECKED: CPZ

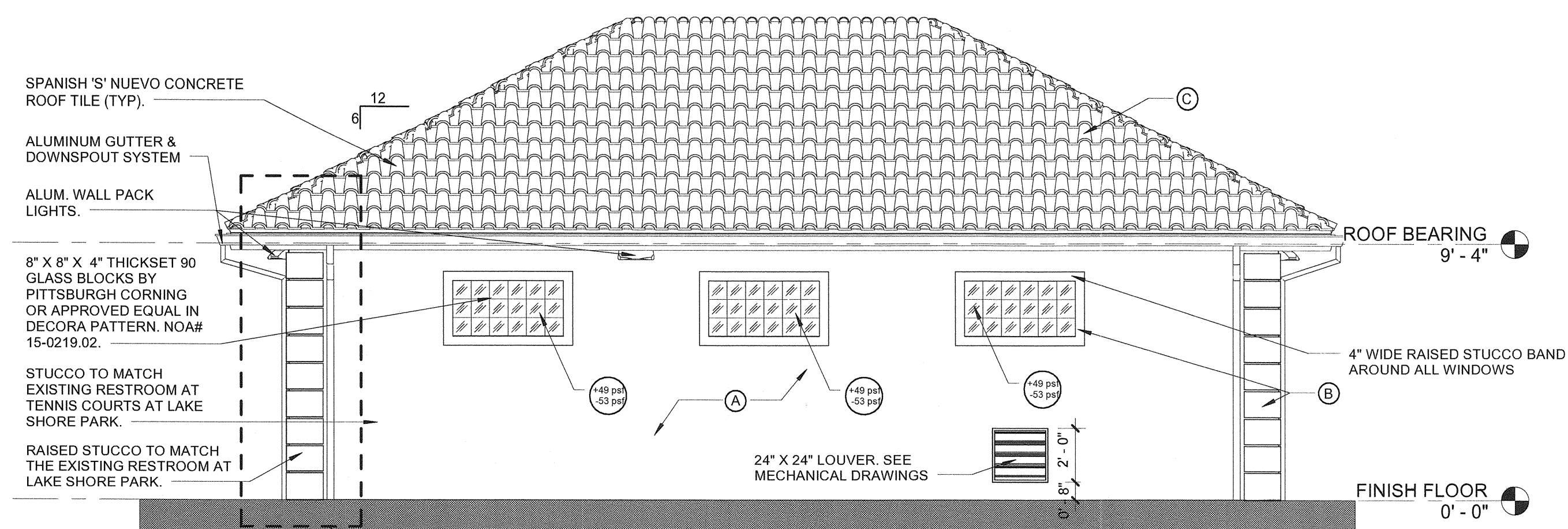
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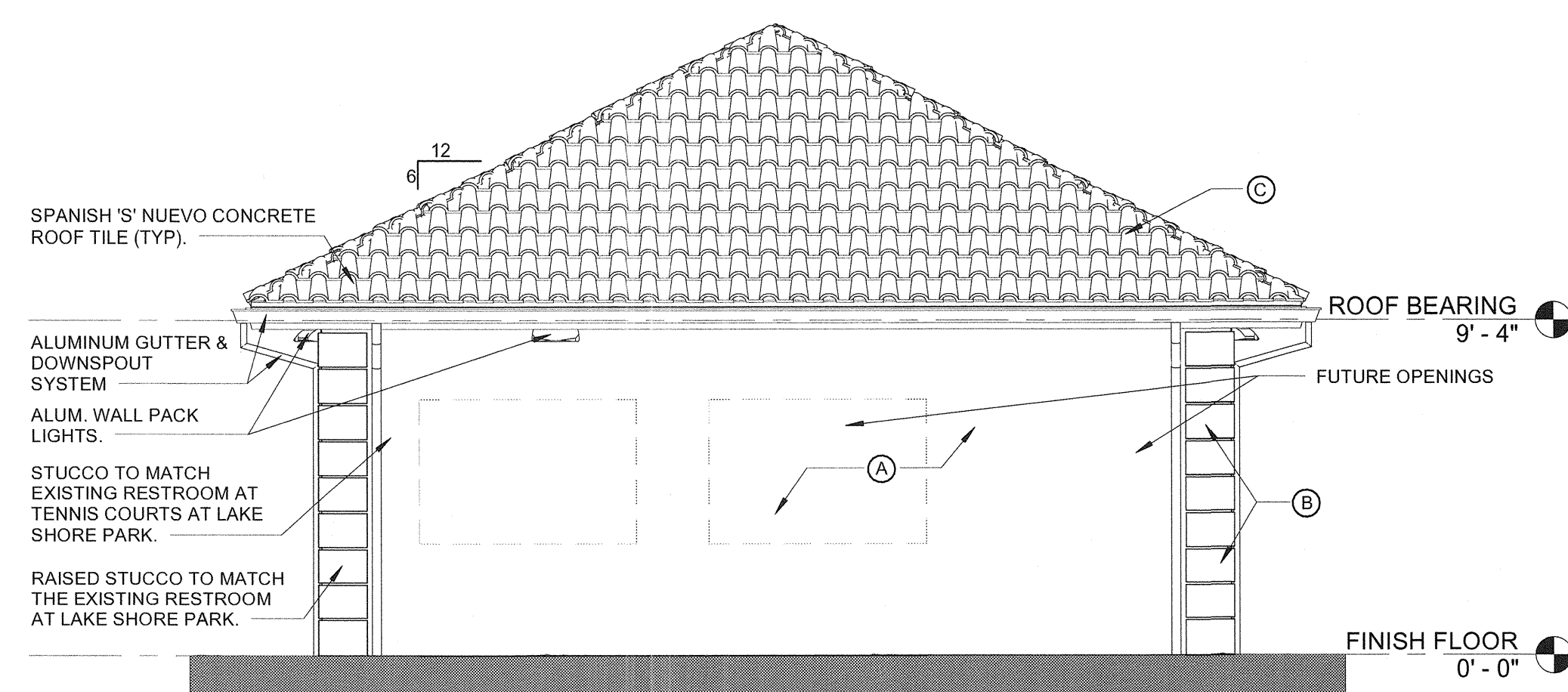
A-2



South

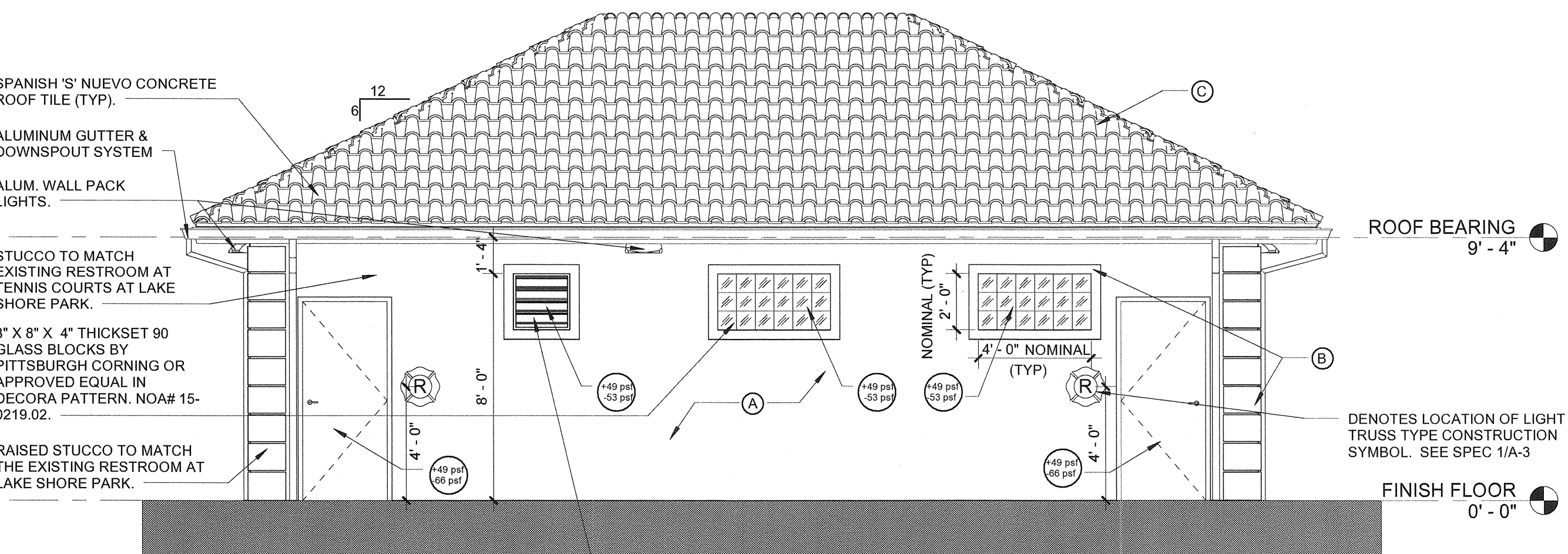
SCALE: 1/4" = 1'-0"

GC RO PAINT THIS AREA OF BUILDING TO VERIFY PAINT COLORS, PRIOR TO ORDERING ALL PAINT



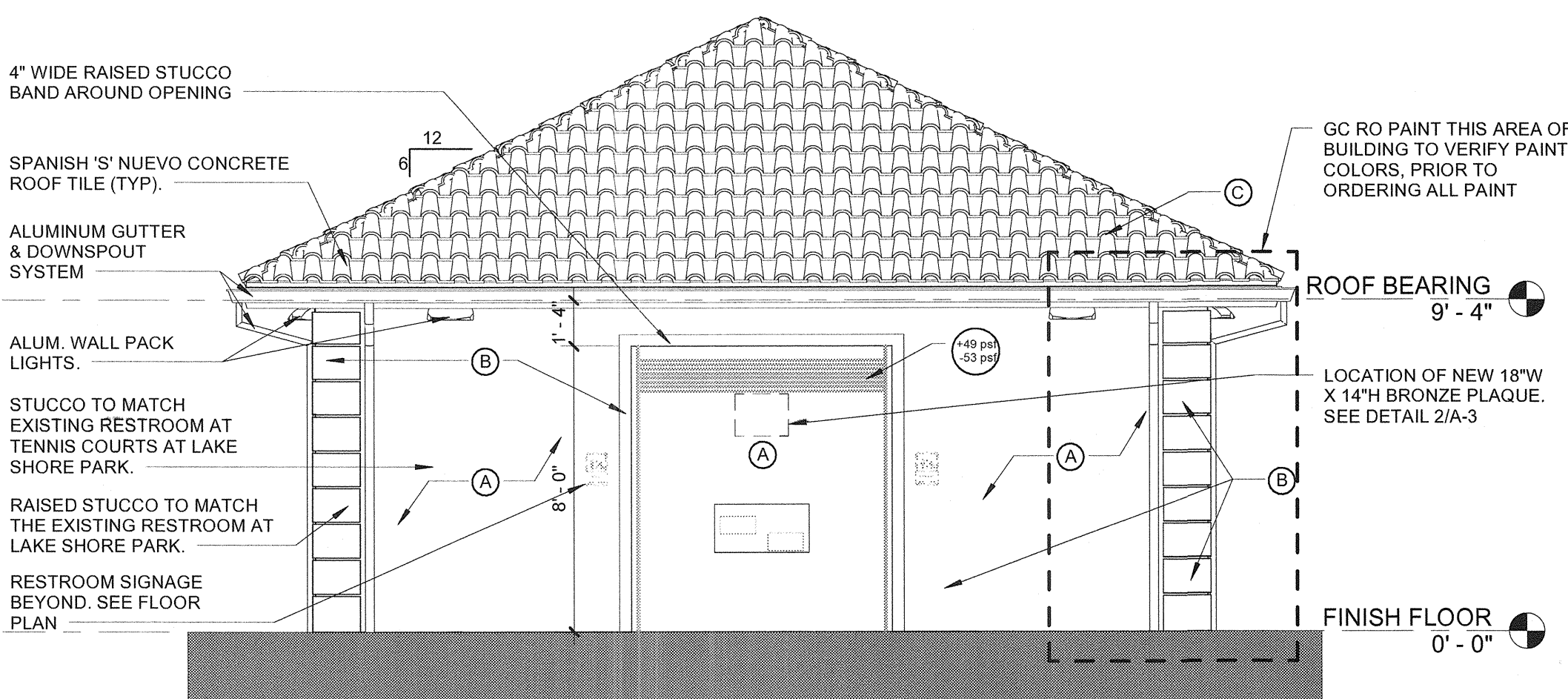
East

SCALE: 1/4" = 1'-0"



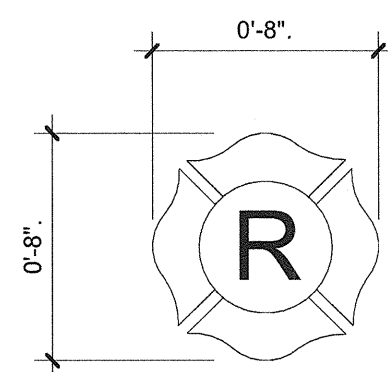
North

SCALE: 1/4" = 1'-0"



West

SCALE: 1/4" = 1'-0"



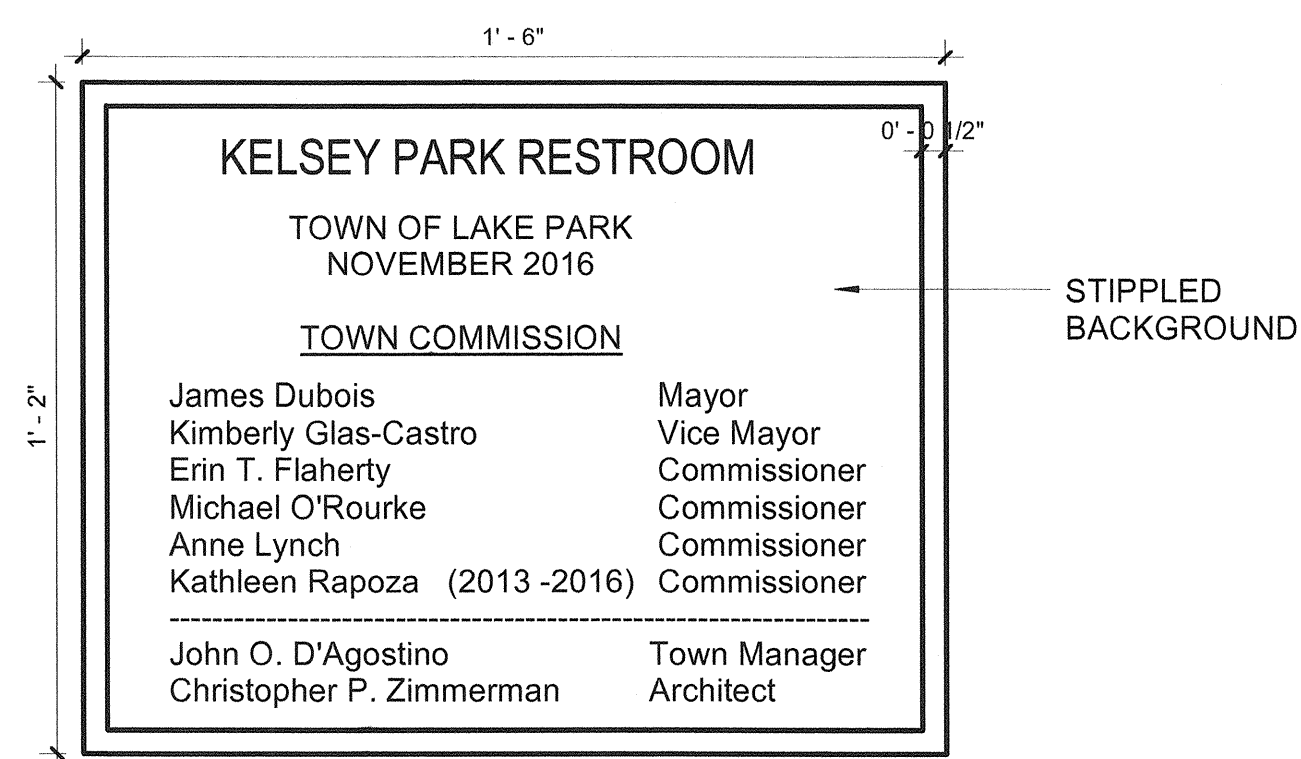
LIGHT FRAME TRUSS TYPE CONSTRUCTION SYMBOL SHALL BE LOCATED 24" ADJACENT TO MAIN ENTRY DOOR AS SHOWN IN ELEVATIONS

SIGN TO HAVE RAISED BRIGHT RED REFLECTIVE LETTERS & CROSS W/ A CONTRASTING BACKGROUND

SIGN TO BE PLACED 48" ABOVE THE WALKING SURFACE

1 LIGHT-FRAME TRUSS-TYPE EMBLEM

A-3 SCALE: 1" = 1'-0"



2 BRONZE PLAQUE DETAIL

A-3 SCALE: 3/4" = 1'-0"

SHERWIN WILLIAMS OR APPROVED EQUAL PAINT SPECIFICATION

A. CONCRETE, STUCCO, AND CEMENT PLASTER:

1. 100% ACRYLIC COATING:

A. PRIMER: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL LOXON ACRYLIC PRIMER (A24W300) AT A WET FILM THICKNESS OF 8 MILS TO DRY TO 3.2 MILS DRY FILM THICKNESS.

B. FIRST COAT: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL SUPERPAINT EXTERIOR LATEX SATIN (A89 SERIES) AT A WET FILM THICKNESS OF 4 MILS TO DRY TO 1.44 MILS DRY FILM THICKNESS.

C. SECOND COAT: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL SUPERPAINT EXTERIOR LATEX SATIN (A89 SERIES) AT A WET FILM THICKNESS OF 4 MILS TO DRY TO 1.44 MILS DRY FILM THICKNESS.

B. CMU BLOCK

1. 100% ACRYLIC COATING:

A. BLOCK FILLER: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL HEAVY DUTY LATEX BLOCK FILLER (B42W46) AT A WET FILM THICKNESS OF 18-34 MILS TO DRY TO 10-18 MILS DRY FILM THICKNESS, AT AN EFFECTIVE APPLICATION RATE OF APPROXIMATELY 50-88 SF/GAL.

B. FIRST FINISH COAT: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL SUPERPAINT EXTERIOR LATEX SATIN (A89 SERIES) AT A WET FILM THICKNESS OF 4 MILS TO DRY TO 1.44 MILS DRY FILM THICKNESS.

C. SECOND FINISH COAT: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL SUPERPAINT EXTERIOR LATEX SATIN (A89 SERIES) AT A WET FILM THICKNESS OF 4 MILS TO DRY TO 1.44 MILS DRY FILM THICKNESS.

C. METAL DOORS & FRAMES

1. FULL GLOSS:

A. PRIMER: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL PRO-CRYL UNIVERSAL PRIMER, (B66-310 SERIES) APPLIES AT 5.0 - 10.0 MILS WET TO ACHIEVE 2.0 - 4.0 MILS DRY FILM THICKNESS.

B. FIRST COAT: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL SHER-CRYL (TM) HPA HIGH PERFORMANCE ACRYLIC GLOSS (B66-300 SERIES), APPLIED AT A WET FILM THICKNESS OF 4 MILS, TO ACHIEVE A DRY FILM THICKNESS OF 1.4.

C. SECOND COAT: APPLY SHERWIN WILLIAMS OR APPROVED EQUAL SHER-CRYL (TM) HPA HIGH PERFORMANCE ACRYLIC GLOSS, (B66-300 SERIES), APPLIED AT A WET FILM THICKNESS OF 4 MILS, TO ACHIEVE A DRY FILM THICKNESS OF 1.4.

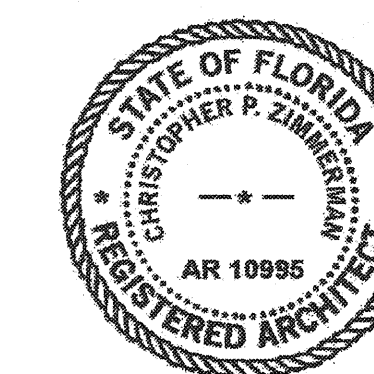
BUILDING COLORS:

- A MAIN BODY COLOR- COLOR TO MATCH EXISTING BUILDINGS AT LAKE SHORE PARK, BENJAMIN MOORE "LEMON GRASS CLASSIC # 339" OR APPROVED EQUAL.
- B QUOINS, TRIM, DOORS, & FRAME COLOR- COLOR TO MATCH EXISTING BUILDINGS AT LAKE SHORE PARK, WHITE
- C ROOF TILE - SPANISH 'S' NUEVO BY BERL COLOR T.B.D.

STUCCO NOTE:

STUCCO MIX SHALL INCLUDE THORO, ACRYLE 60 MIXED AT A RATE OF 1:3 WITH WATER AND INCLUDED IN ALL COATS OF STUCCO. ALL MASONRY AND POURED IN PLACE CONCRETE SURFACES SHALL BE PRESSURE WASHED (1800 PSI) PRIOR TO APPLYING STUCCO

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY



CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,095
STATE OF FLORIDA

DATE: 11/06/16

NO.	REVISION	DATE
BID SET		07/31/16
RE-BID		11/06/16

CONSULTANT:

KELSEY PARK RESTROOM FACILITY
LAKE SHORE DR
LAKE PARK, FL.

CPZ ARCHITECTS, INC.



DRAWING TITLE:

EXTERIOR ELEVATIONS

DRAWN: DL

CHECKED: EG/CPZ

DATE: 11/06/16

SCALE: As indicated

PROJECT NO. 1533

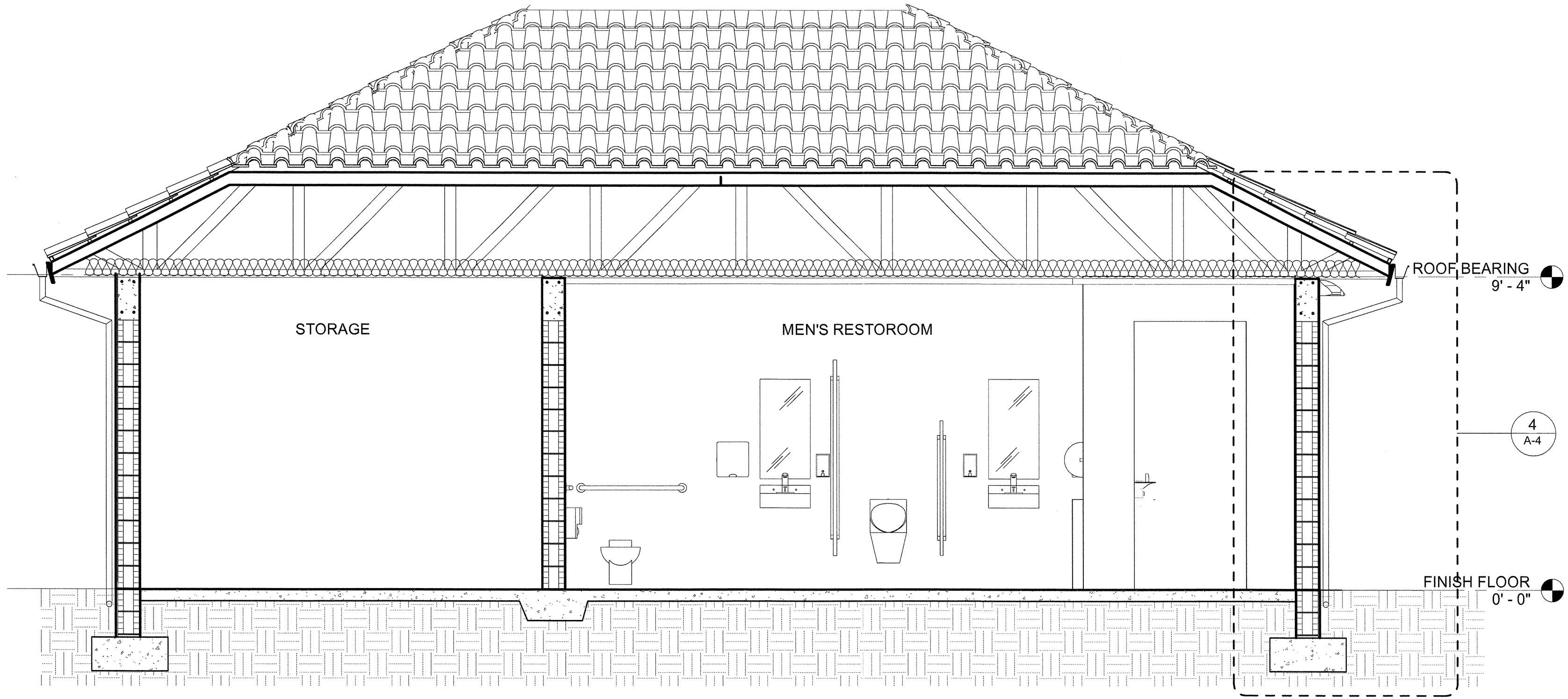
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A-3

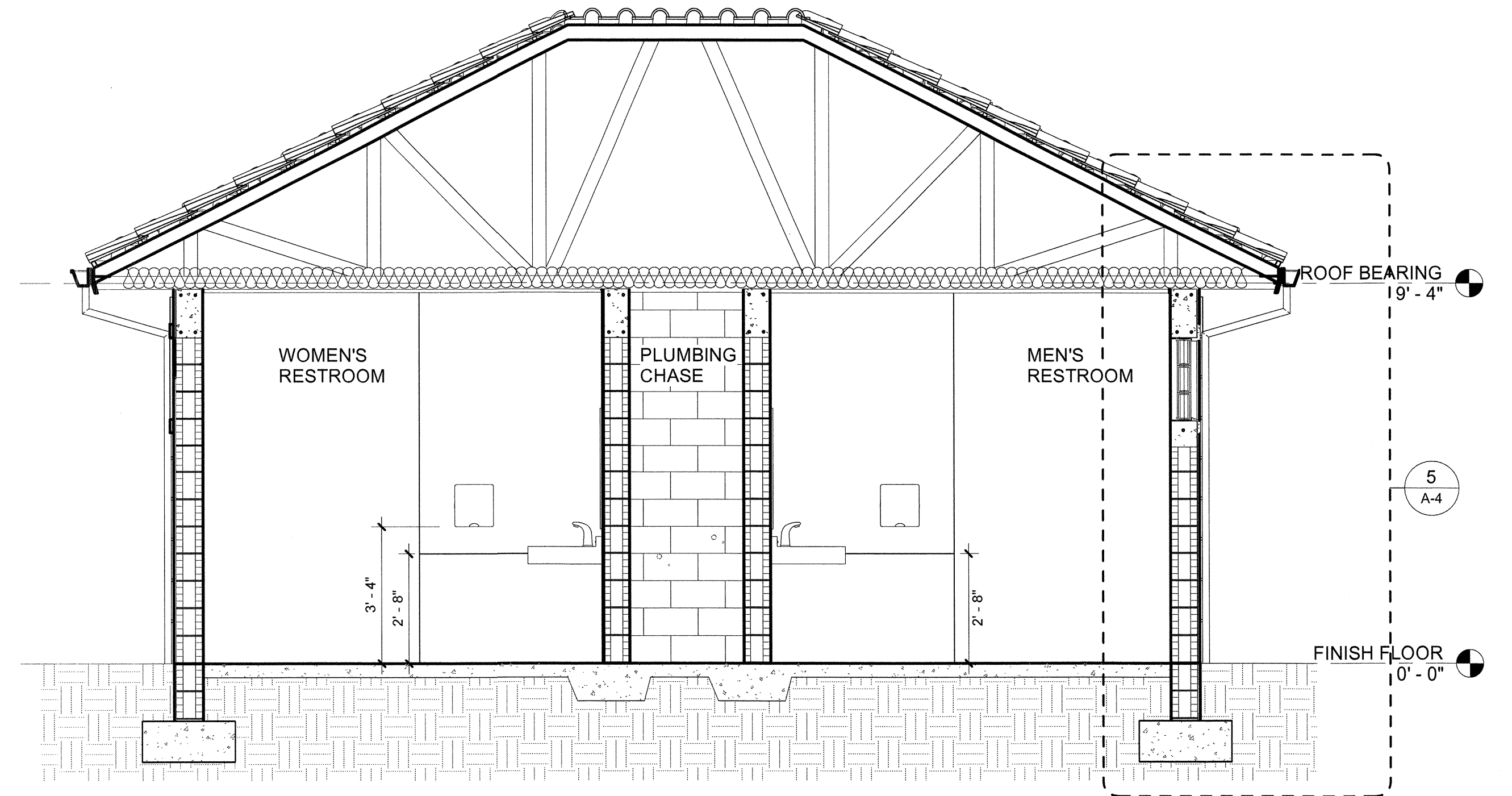
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NO.	REVISION	DATE
1	ISSUE	07/15/16
2	REVISION	11/06/16

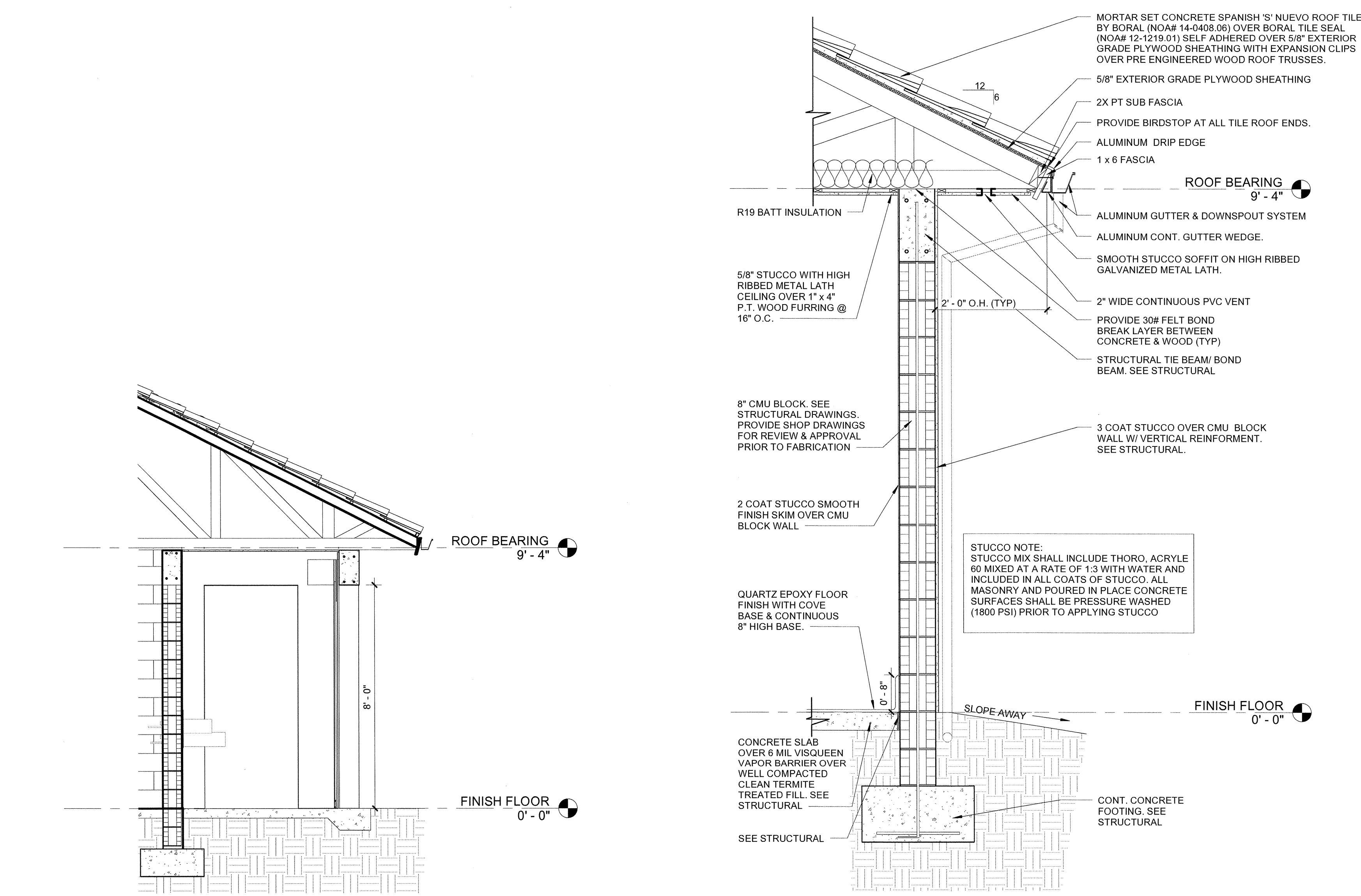
CONSULTANT:



1 BUILDING SECTION A
SCALE: 3/8" = 1'-0"

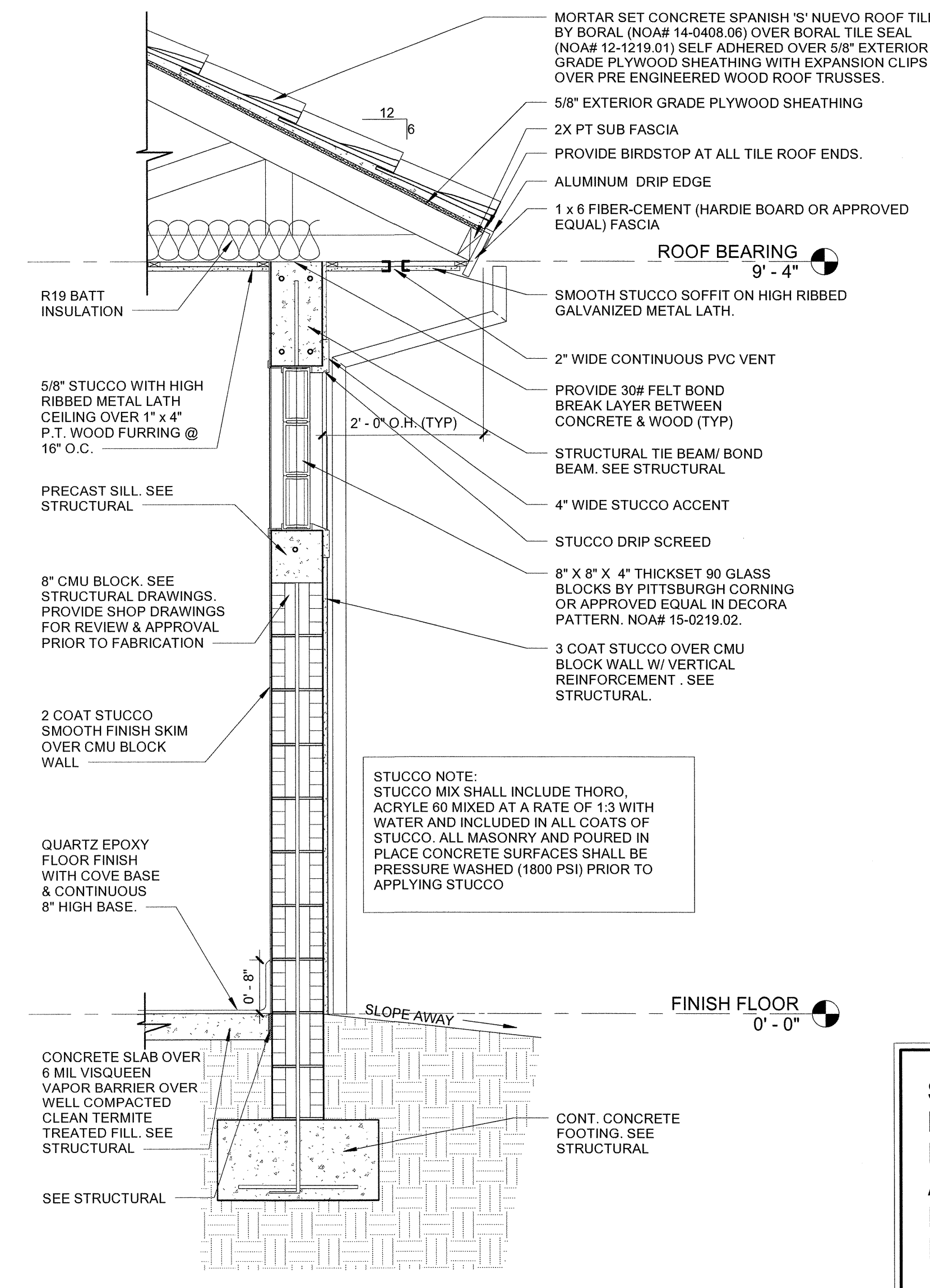


2 BUILDING SECTION B
SCALE: 3/8" = 1'-0"



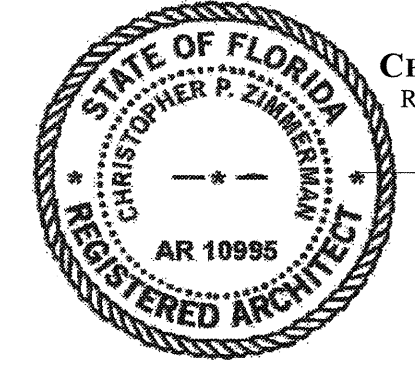
3 BUILDING SECTION C
SCALE: 3/8" = 1'-0"

4 ENLARGED WALL SECTION A
SCALE: 3/4" = 1'-0"



5 ENLARGED WALL SECTION B
SCALE: 3/4" = 1'-0"

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CHRIS P. ZIMMERMAN, A.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA

DATE: 11/06/16

CPZ ARCHITECTS, INC.
 4316 WEST BROWARD BOULEVARD
 PLANTATION, FLORIDA 33317
 PHONE: 954.375.0589
 FAX: 954.375.0588
 WWW.CPZARCHITECTS.COM



DRAWING TITLE:

BUILDING SECTIONS & DETAILS

DRAWN: DL

CHECKED: EG/CPZ

DATE: 11/06/16

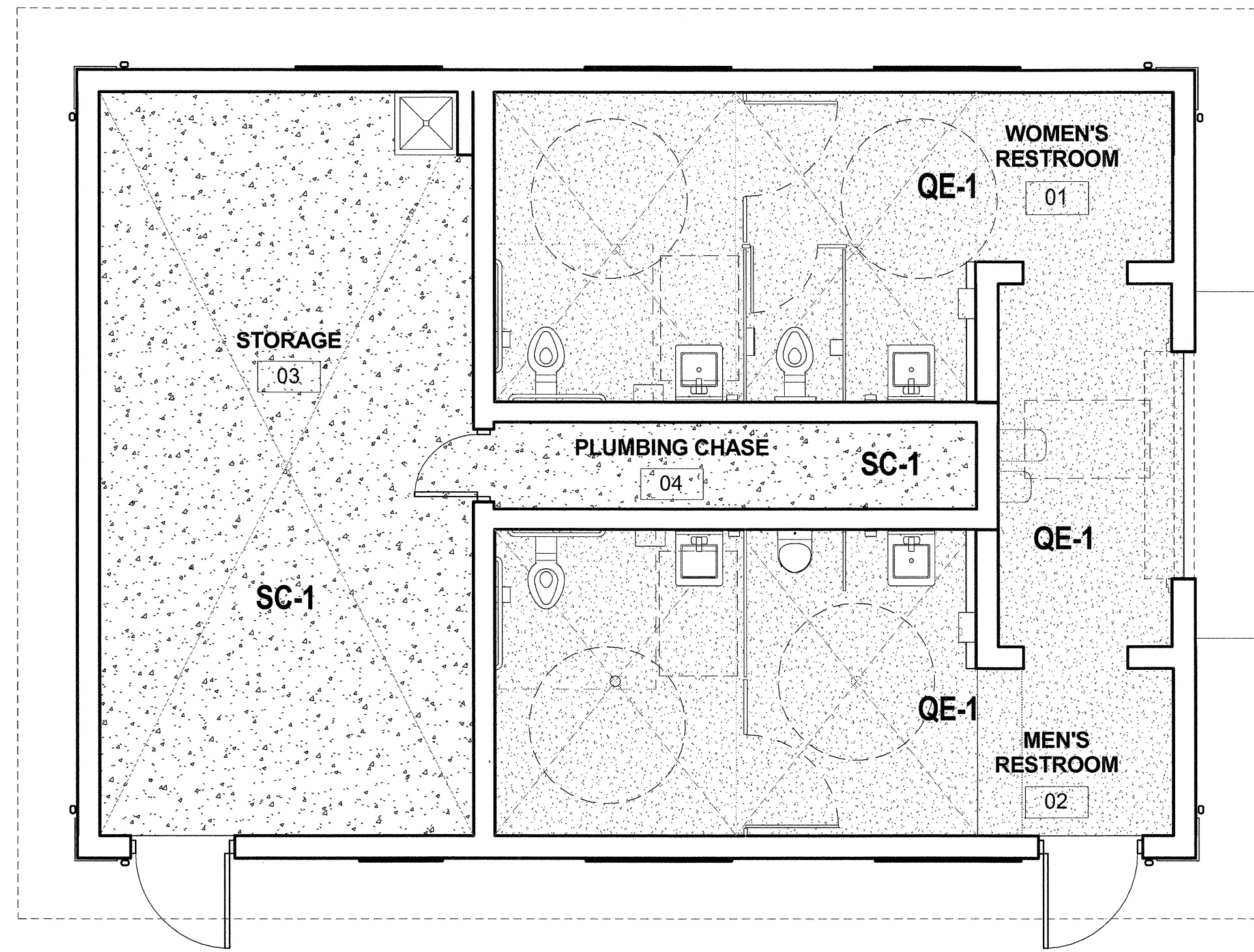
SCALE: As indicated

PROJECT NO. 1533

SHEET:

A-4

Z:\CPZ\Architect\2016\Project\1533\Lake Park Restroom Building\Building Progress\Arch\KELSEY.PARK.rvt
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FINISH MATERIALS	
FLOOR	
QE-1	DEX-O-TEX DECOR FLOR BROADCAST QUARTZ OR APPROVED EQUAL EPOXY FLOORING SYSTEM - DFS 11
SC-1	SEALED CONCRETE, DEX-O-TEX WEATHERSEAL XL WATER-BASED ACRYLIC SEALER - SATIN FINISH.
CEILING	
STCO	STUCCO CEILING, PROVIDE CONTROL JOINTS IN 10X10 SQUARES OR AREAS NOT TO EXCEED 100 SQ. FT.
EXP	EXPOSED STRUCTURE
WALLS	
P-1	PAINT: SW 6371 VANILLIN OVER SKIM COAT
EXP	EXPOSED STRUCTURE
BASE:	
QE-1	6" HIGH EPOXY BASE, SEE FLOORING SYSTEM
DOORS AND FRAMES:	
ALL DOORS SHALL BE FACTORY PRE-PRIMED. COLOR TO BE PAINTED TO MATCH TRIM COLOR	
TOILET PARTITIONS:	
TP-1	BOBRICK SIERRA SERIES SOLID COLOR REINFORCED COMPOSITE GOLDEN KHAKI SC01 OVERHEAD BRACED. ALL DOOR HARDWARE AND MOUNTING BRACKETS MADE OF GRADE 18-8S TYPE 304 STAINLESS STEEL. GAP FREE INTERLOCKING DESIGN WITH NO SIGHT LINE FEATURE. INSTITUTIONAL STAINLESS STEEL HARDWARE CONSISTING OF FULL HEIGHT U CHANNELS, ANGLE BRACKETS AND SELF-CLOSING HINGE.

INTERIOR FINISH CLASSIFICATIONS:		FINISH LEGEND			
MATERIAL	CLASSIFICATION	FLOOR	BASE	WALLS	CEILING
ACOUSTIC CEILINGS	A	C CARPET	V VINYL	SC SKIM COAT	ACT ACOUSTICAL TILE
CERAMIC / PORCELAIN TILE FLOORING	ASTM C650	CTF CERAMIC TILE	CTB CERAMIC TILE	CMU MASONRY BLOCK	GB GYPSUM WALLBOARD
VINYL BASE	B	PT PORCELAIN TILE	PTB PORCELAIN TILE	CT CERAMIC TILE	P PAINT
PAINTED GYPSUM WALLBOARD	A	CS SEALED CONCRETE	WD WOOD 4"	GB GYPSUM WALLBOARD	PL PLASTER
		SPT SPORTS FLOOR	QE QUARTZ EPOXY	P PAINT	EXP EXPOSED STRUCTURE
		N NONE	R RUBBER	VVC VINYL WALL COVERING	STCO STUCCO
		VCT VINYL TILE	CB CARPET	STCO STUCCO	CR CHAIR RAIL
			N NONE		

INTERIOR FINISH NOTES:

- PREP FLOOR ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- ALL FINISHES COMPLY WITH N.F.P.A. 101 SEC. 8-3.3.
- N.F.P.A. 1221 2-1.2.3. ALL FINISHES SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 50 OR LESS.
- CONTRACTOR SHALL PERFORM MOISTURE TEST ON ALL FLOOR SLABS TO VERIFY THAT THE MOISTURE CONTENT IS ACCEPTABLE TO THE FLOORING MANUFACTURER, PRIOR TO INSTALLING ANY FLOORING.
- CONTRACTOR TO PREP FLOOR SLAB FOR A SMOOTH AND LEVEL FLOOR INSTALLATION.

ROOM FINISH SCHEDULE										
NUMBER	NAME	FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	CEILING HEIGHT	REMARKS
01	WOMEN'S RESTROOM	QE-1	QE-1	PT-1	PT-1	PT-1	PT-1	STCO	9' 2"	
02	MEN'S RESTROOM	QE-1	QE-1	PT-1	PT-1	PT-1	PT-1	STCO	9' 2"	
03	STORAGE	SC-1	-	PT-1	PT-1	PT-1	PT-1	STCO	9' 2"	
04	PLUMBING CHASE	SC-1	-	PT-1	PT-1	PT-1	PT-1	EXP	-	

EPOXY FLOORING SPECIFICATION:

STEP 1: CONTRACTOR WILL EITHER WATER JET (AT A MINIMUM) OR GRIND THE CONCRETE SURFACE IN ORDER TO DEVELOP A FAIRLY SMOOTH FINISH.

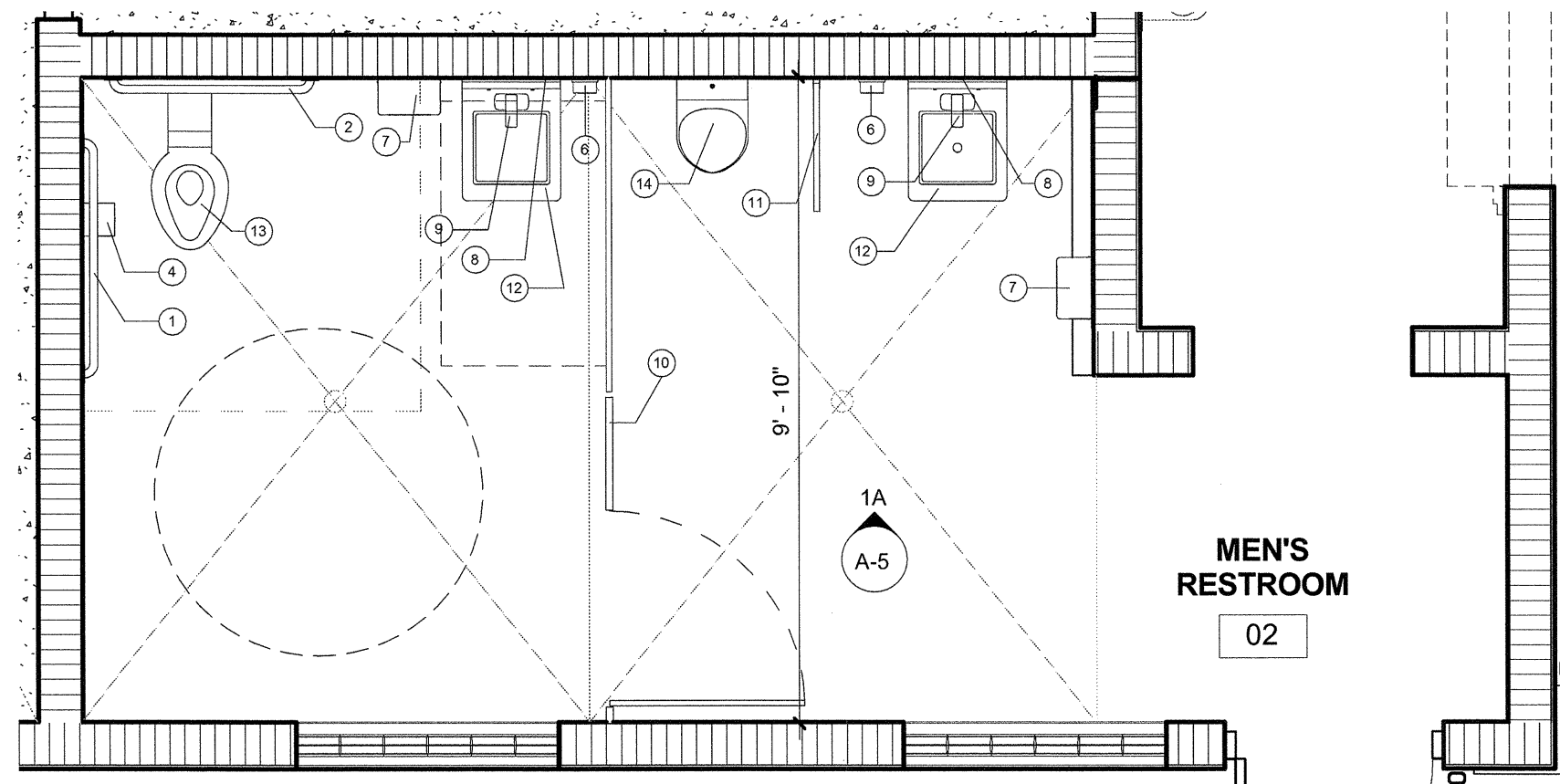
STEP 2: VAPOR CONTROL PRIMER 200 BY DEX-O-TEX, OR APPROVED EQUAL.

STEP 3: DECOR-FLOR BROADCAST EPOXY FLOOR THICKNESS TO BE 1/8" BY DEX-O-TEX OR APPROVED EQUAL.

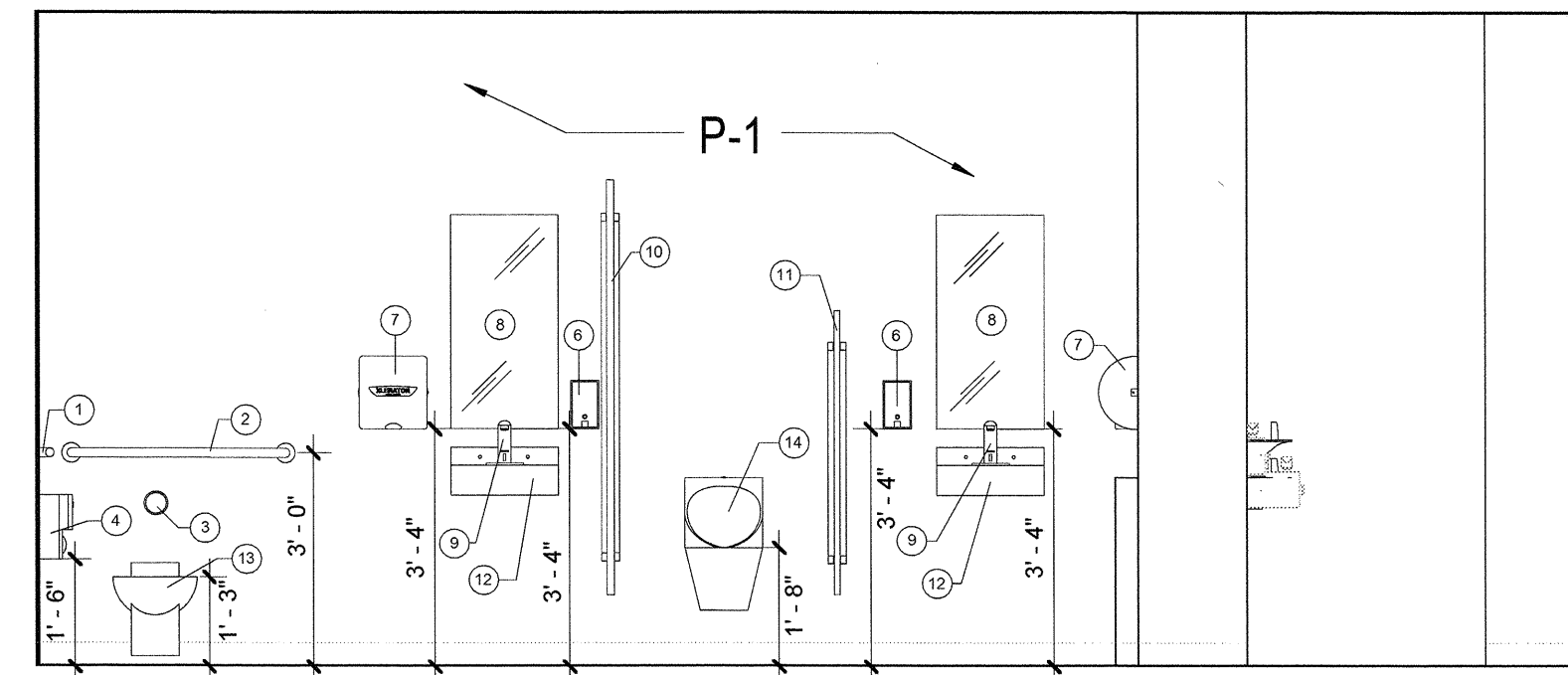
STEP 4: QUICK-GLAZE BY DEX-O-TEX OR APPROVED EQUAL. CONTRACTOR TO APPLY GROUT COAT AND TOP COAT.

NOTE: COLOR TO BE DFS09. PROVIDE CONT. 6" WALL BASE WITH 5/8" RADIUS COVE. INSTALL WALL BASE PER MANUFACTURERS RECOMMENDATIONS. CONTRACTOR TO SUBMIT COLOR SAMPLES AND SHOP DRAWINGS PRIOR TO FABRICATION FOR ARCHITECT REVIEW AND APPROVAL.

FINISH FLOOR PLAN
SCALE: 1/4" = 1'-0"

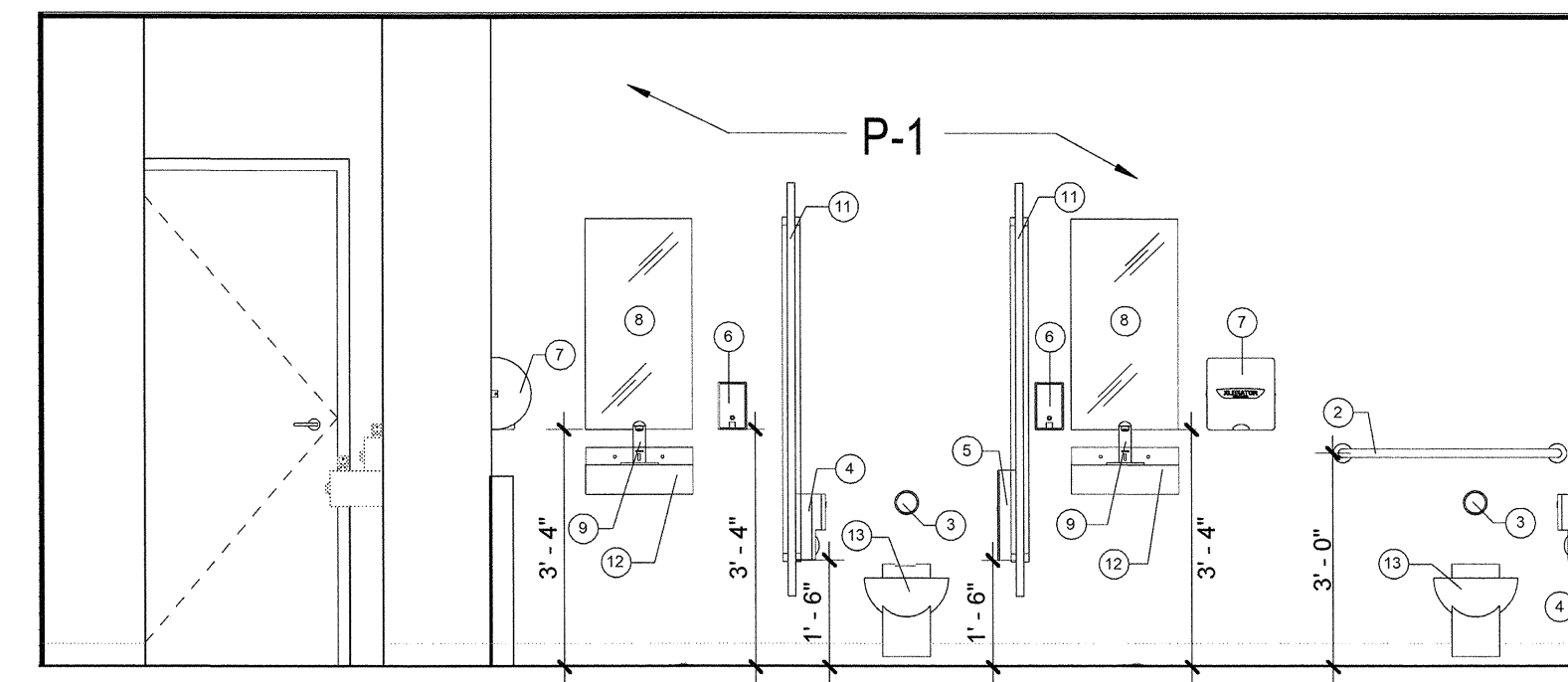


1 ENLARGED MEN'S RESTROOM
SCALE: 3/8" = 1'-0"

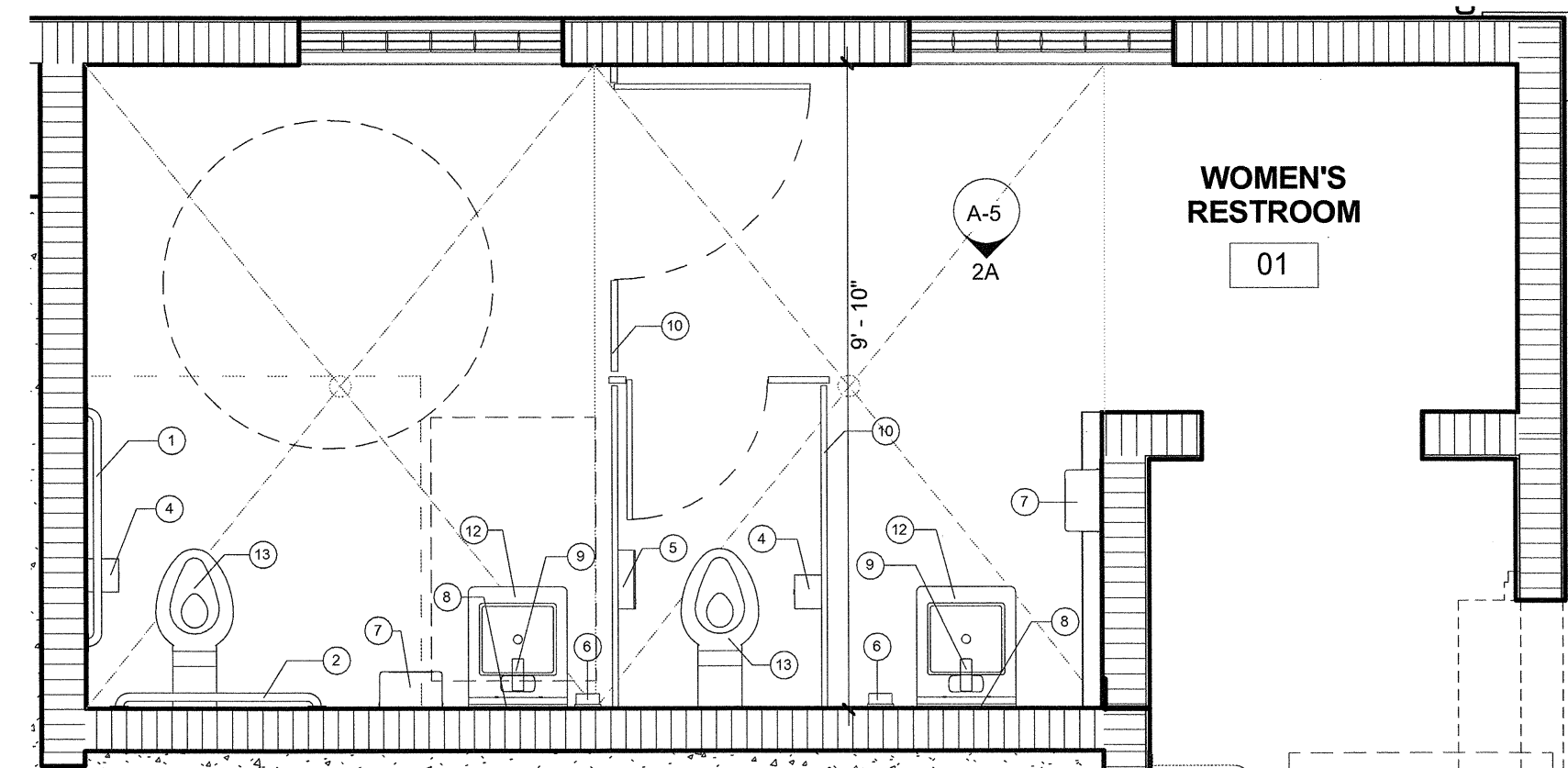


1A INT. ELEVATION 1A
SCALE: 3/8" = 1'-0"

NOTE: SEE 1/A-6 FOR TOILET ACCESSORY MOUNTING HEIGHTS



2A INT. ELEVATION 2A
SCALE: 3/8" = 1'-0"



2 ENLARGED WOMEN'S RESTROOM
SCALE: 3/8" = 1'-0"

TOILET ROOM ACCESSORIES SCHEDULE				
MARK	MANUFACTURER	MODEL #	DESCRIPTION	REMARKS
1	BOBRICK WASHROOM EQUIPMENT, INC.	B-6806 SERIES	X42" GRAB BAR	SATIN FINISH, STAINLESS STEEL
2	BOBRICK WASHROOM EQUIPMENT, INC.	B-6806 SERIES	X36" GRAB BAR	SATIN FINISH, STAINLESS STEEL
3	SLOAN VALVE CO.	SEE PLUMBING DRAWINGS	CONCEALED PUSH BUTTON FLUSH VALVE	SATIN FINISH, STAINLESS STEEL
4	BY OWNER		TOILET PAPER DISPENSER (DOUBLE ROLL)	
5	BOBRICK WASHROOM EQUIPMENT, INC.	B-254	SURFACE-MOUNTED SANITARY NAPKIN DISPOSAL	SATIN FINISH EXPOSED SURFACES WITH RADIUS ON CORNERS, STAINLESS STEEL
6	BY OWNER		SOAP DISPENSER	
7	XLERATOR	EHD-501 XLERATOR	HAND DRYER	FINISH TO BE PLATE CHROME
8	BOBRICK WASHROOM EQUIPMENT, INC.	B-1556 1824	FRAMELESS, STAINLESS STEEL MIRROR	STAINLESS STEEL
9	SLOAN VALVE CO.	SEE PLUMBING DRAWINGS	ELECTRIC 'NO TOUCH' FAUCET	SATIN FINISH, STAINLESS STEEL
10	BOBRICK WASHROOM EQUIPMENT, INC.	B-1092, SC014G.67 'SIERRA SERIES'	TOILET PARTITIONS SEE TP-1 IN FINISH SCHEDULE	SOLID COLOR REINFORCED COMPOSITE
11	BOBRICK WASHROOM EQUIPMENT, INC.	B-105, SC104 'SIERRA SERIES'	URINAL SCREENS SEE TP-1 IN FINISH SCHEDULE	SOLID COLOR REINFORCED COMPOSITE
12	ACORN	SEE PLUMBING DRAWINGS	WALL HUNG BASIN	STAINLESS STEEL
13	ACORN	SEE PLUMBING DRAWINGS	TOILET	STAINLESS STEEL
14	ACORN	SEE PLUMBING DRAWINGS	WALL HUNG URINAL	STAINLESS STEEL

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STATE OF FLORIDA
CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA
AR 10995
DATE: 11/06/16

NO.	REVISION	DATE
1	ISSUED	07/15/16
2	REVISED	11/06/16

CONSULTANT:

KELSEY PARK RESTROOM FACILITY
LAKE SHORE DR
LAKE PARK, FL.

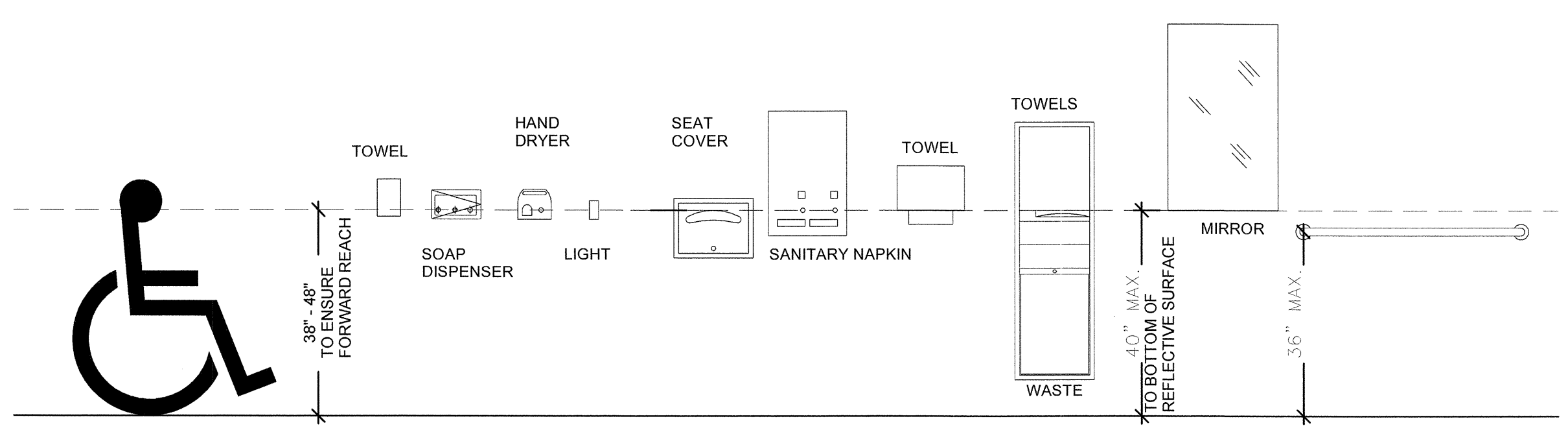
CPZ ARCHITECTS, INC.
416 WEST BROWARD BOULEVARD
LAKE PARK, FL 32903
PHONE: (850) 792-8825
FAX: (850) 374-6599
AA 12600685 WWW.CPZARCHITECTS.COM



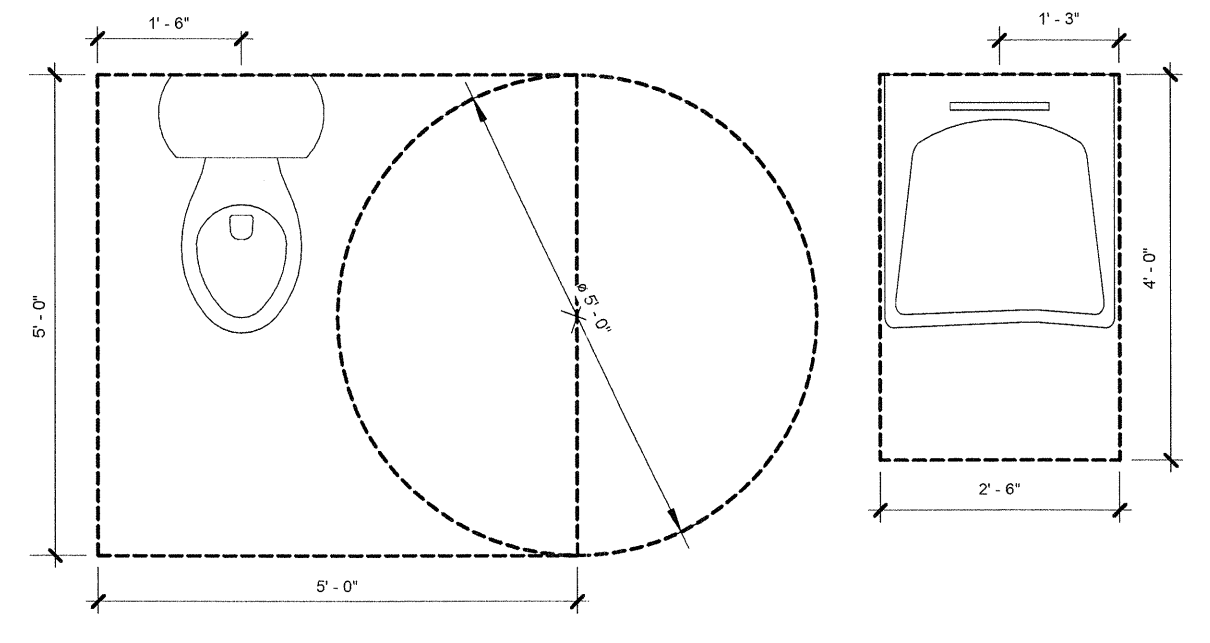
DRAWING TITLE:
FINISH FLOOR PLAN & INT. ELEVATIONS
DRAWN: DL
CHECKED: EG/CPZ
DATE: 11/06/16
SCALE: As indicated
PROJECT NO. 1533
SHEET:

A-5

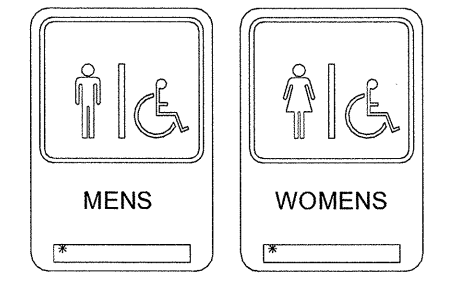
NO.	REVISION	DATE
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17	REVISION	
18	REVISION	
19	REVISION	
20	REVISION	



1 ADA TOILET ACCESSORY HEIGHTS
A-6 SCALE: 1/2" = 1'-0"



2 ACCESSIBLE WATER CLOSET & LAVATORY
REQUIRED CLEAR FLOOR SPACES
A-6 SCALE: 1/2" = 1'-0"



3 SIGNAGE
A-6 SCALE: 1/2" = 1'-0"

RAISED LETTERS, BRAILLE & SYMBOLS IN ACCORDANCE WITH ADA.

ALL CORNERS TO BE RADIUSED.

BACKGROUND COLOR TO BE "194 PEARL GRAY" WITH "103 BLACK" LETTERS. (LRV=90).

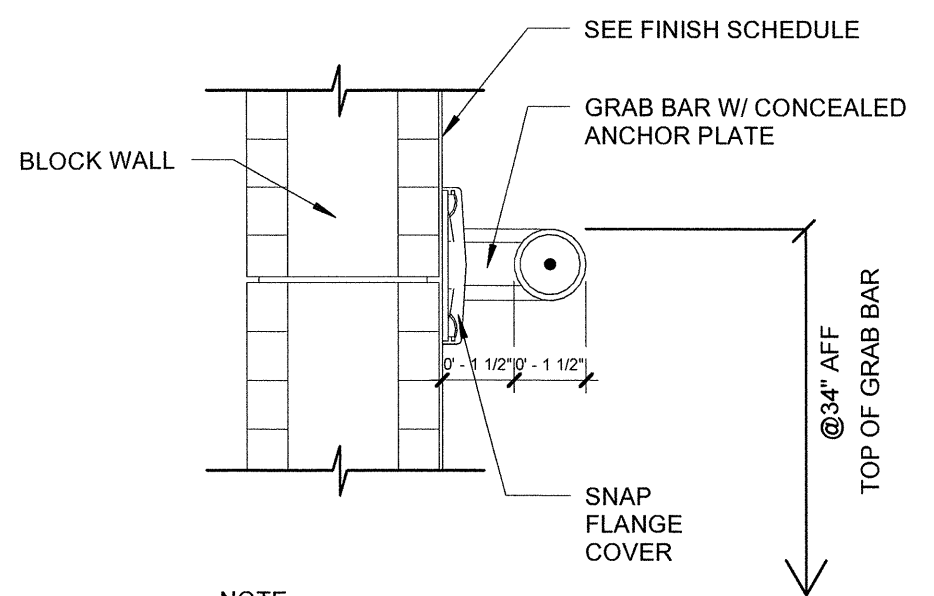
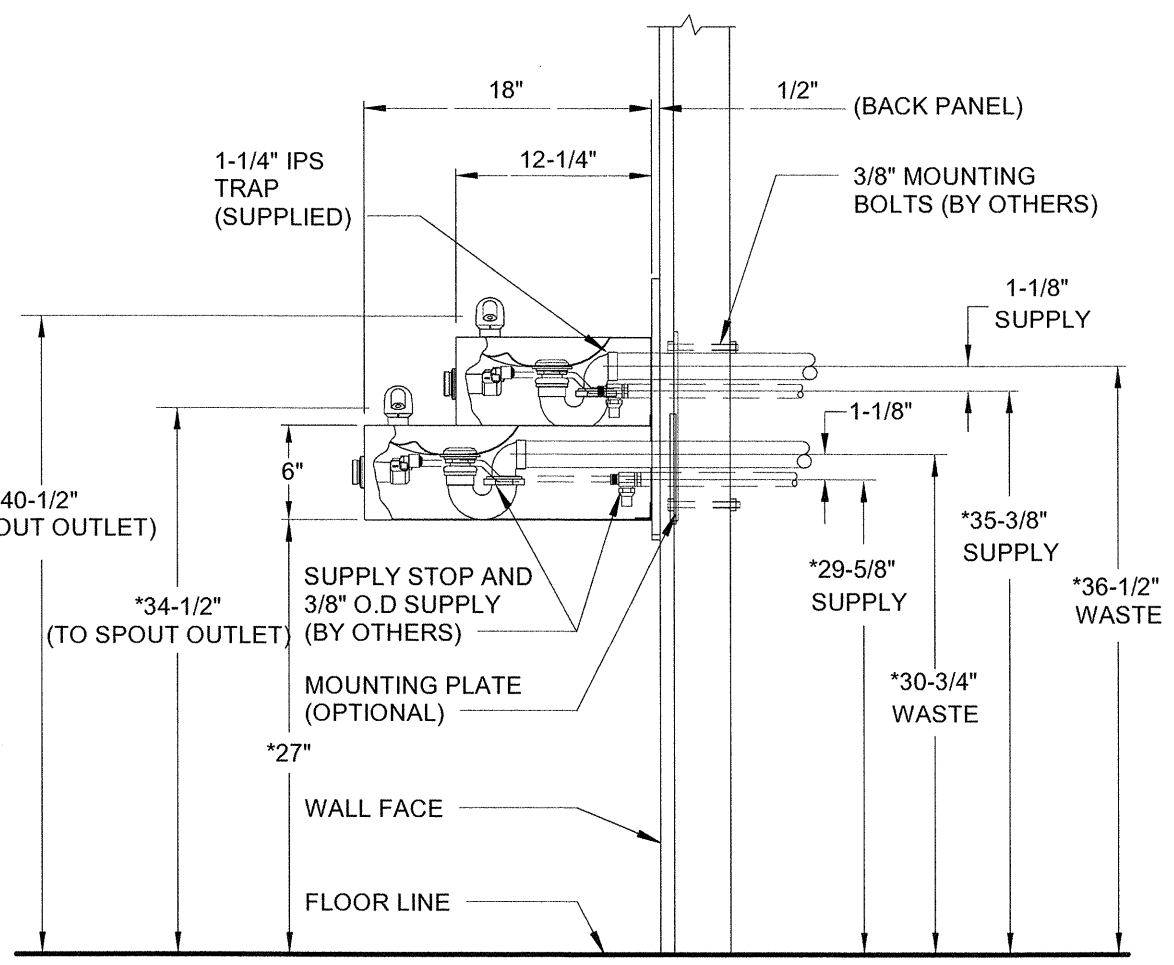
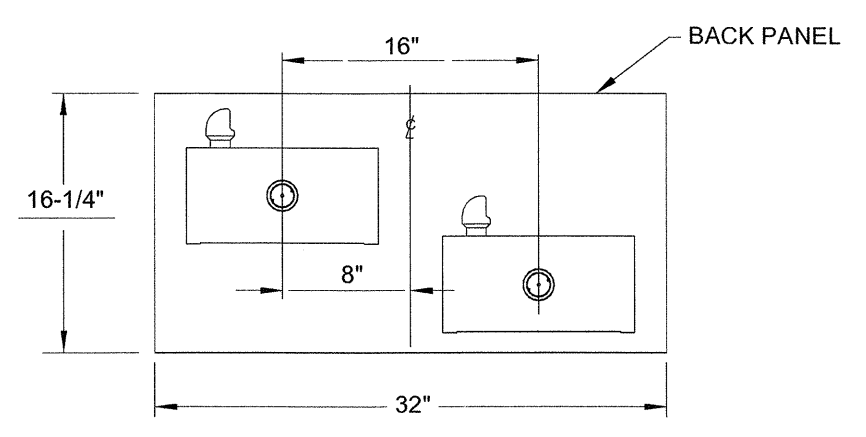
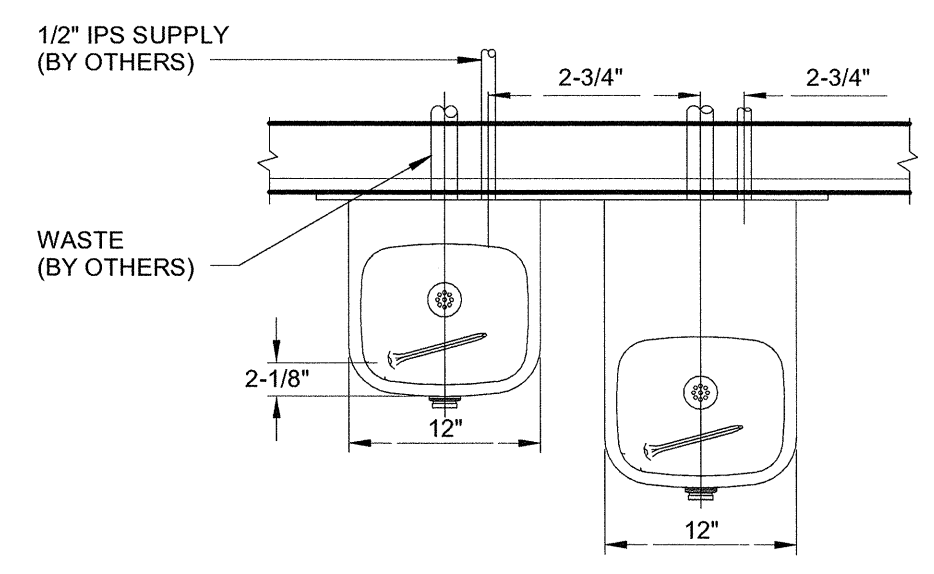
MOUNTING METHOD TO BE CONSTRUCTION ADHESIVE. MOUNTING HEIGHT TO BE 5'-0" A.F.F. TO CENTERLINE OF SIGN.

ALL SIGNAGE TO BE MOUNTED TO COMPLY WITH ADA REQUIREMENTS.

SUBMIT SHOP DRAWINGS FOR ARCHITECTS APPROVAL PRIOR TO FABRICATION.

SIGNS TO BE ALUMINUM

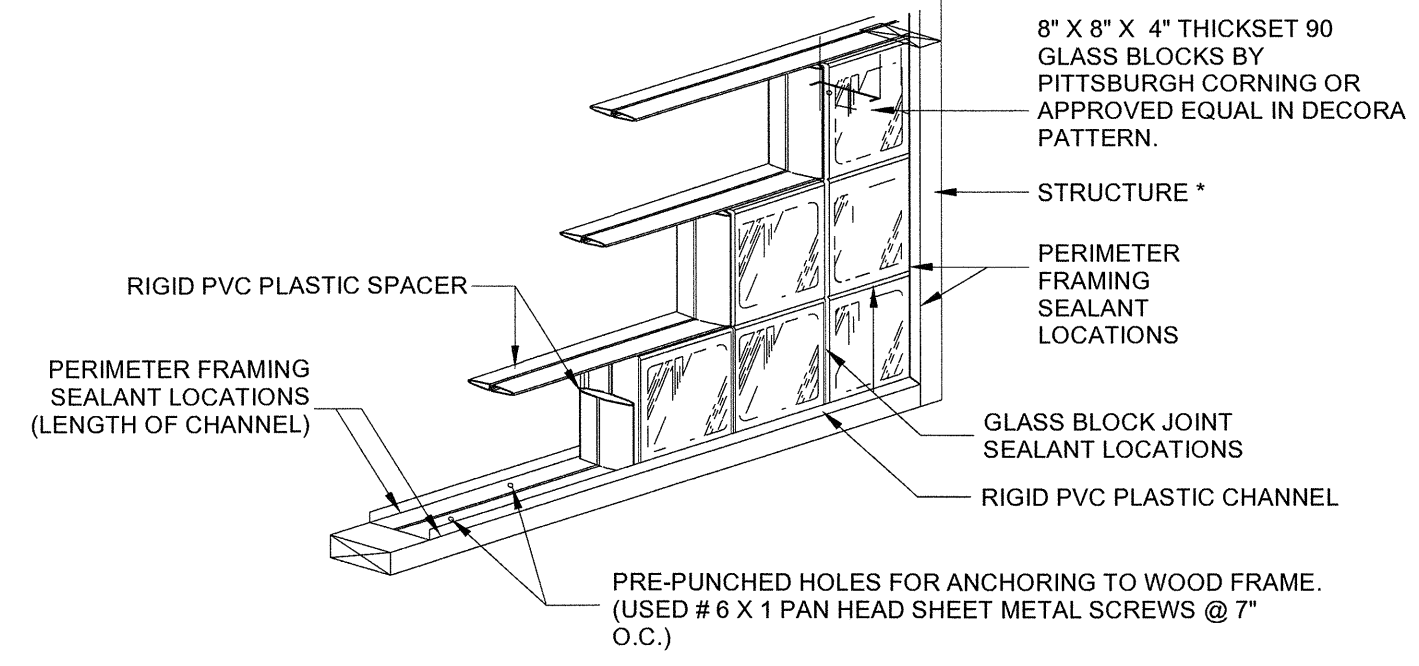
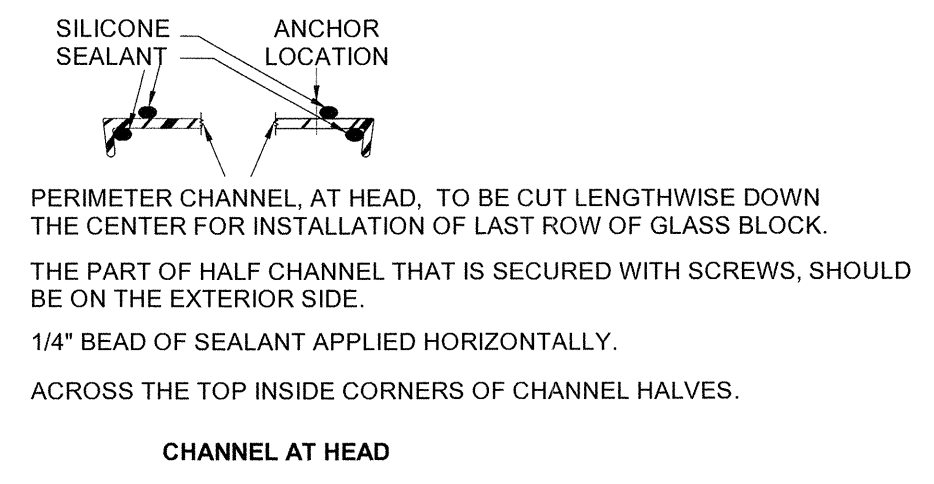
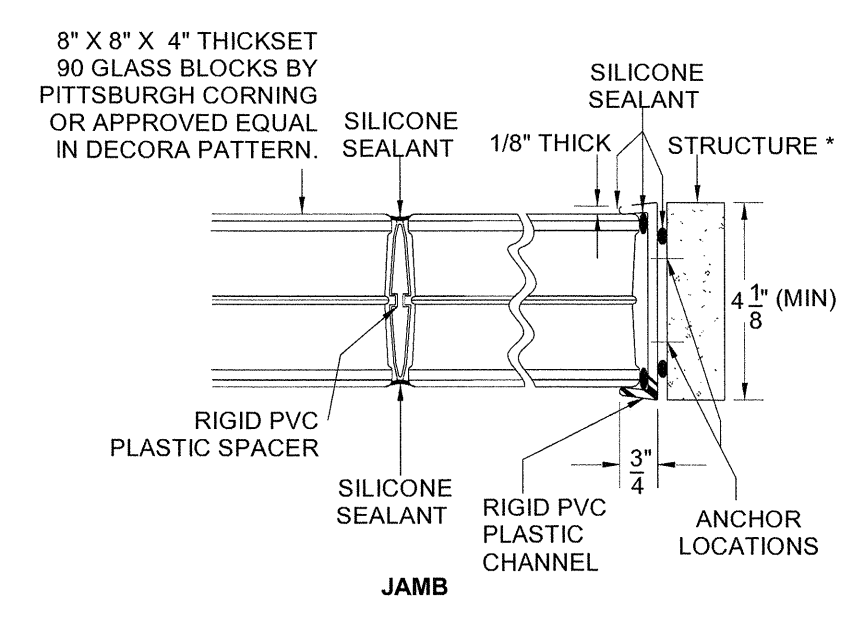
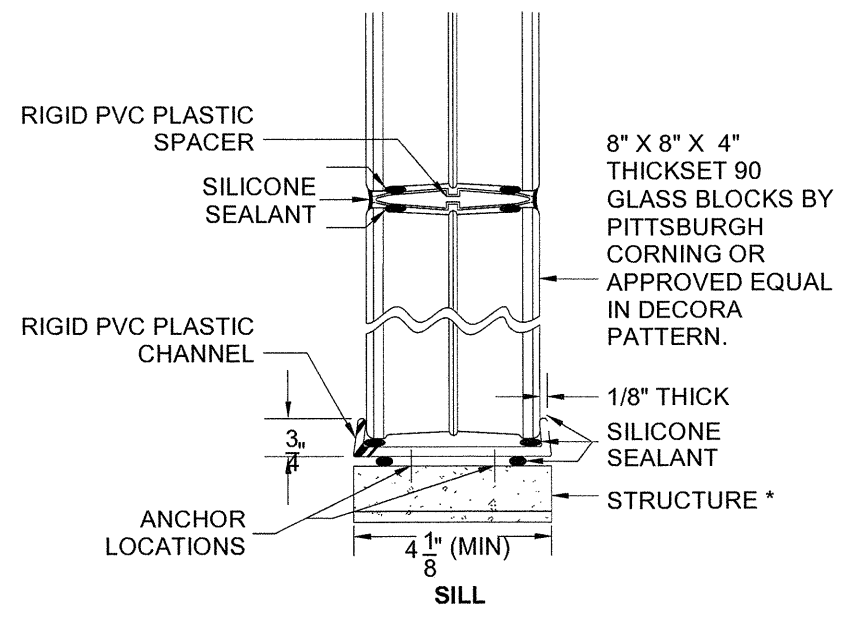
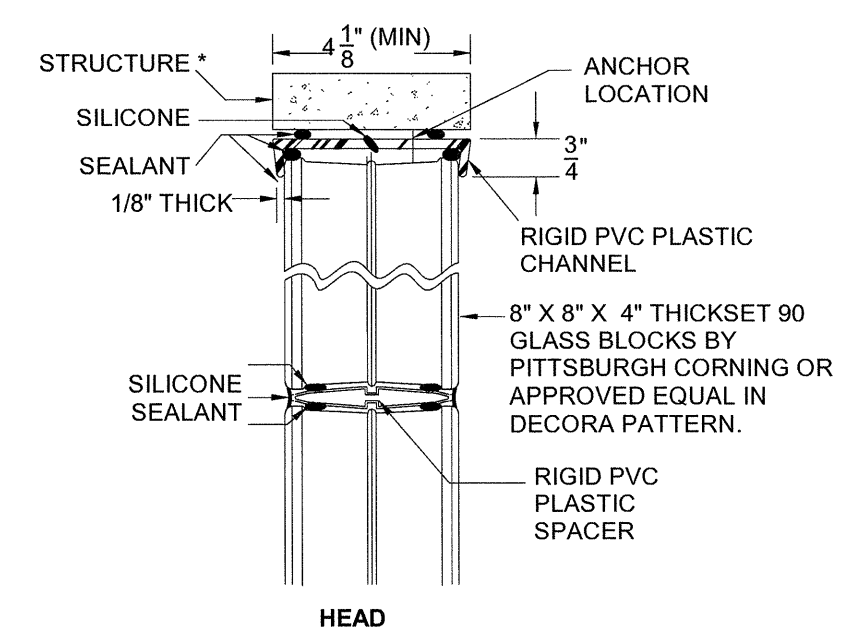
CONSULTANT:



NOTE: GRAB BAR SHALL BE SECURED AS TO WITHSTAND A LOAD OF NOT LESS THAN 250 LBS. APPLIED AT ANY POINT AND IN ANY DIRECTION.

5 BLOCKING DETAIL @ BLOCK WALL
A-6 SCALE: 3/4" = 1'-0"

4 DRINKING FOUNTAIN DETAIL & ELEVATION
DETAILTYP.
A-6 SCALE: 1" = 1'-0"

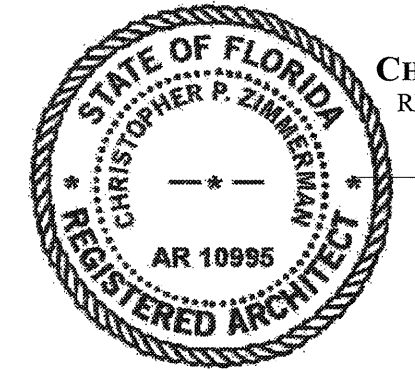


* THE STRUCTURE CAN BE ANY APPROVED MATERIAL AS LONG AS THE SCREW ANCHORS HAVE THE SAME SPACING AND CAPACITY.

SEE NOA# 15-0219.02

6 GLASS BLOCK DETAILS
A-6 SCALE: 3/4" = 1'-0"

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CHRIS P. ZIMMERMAN, A.I.A.
REGISTERED ARCHITECT NO. 10,995
STATE OF FLORIDA

DATE: 11/06/16

DETAILS

DRAWN: DL
CHECKED: EG/CPZ
DATE: 11/06/16
SCALE: As indicated
PROJECT NO. 1533
SHEET:

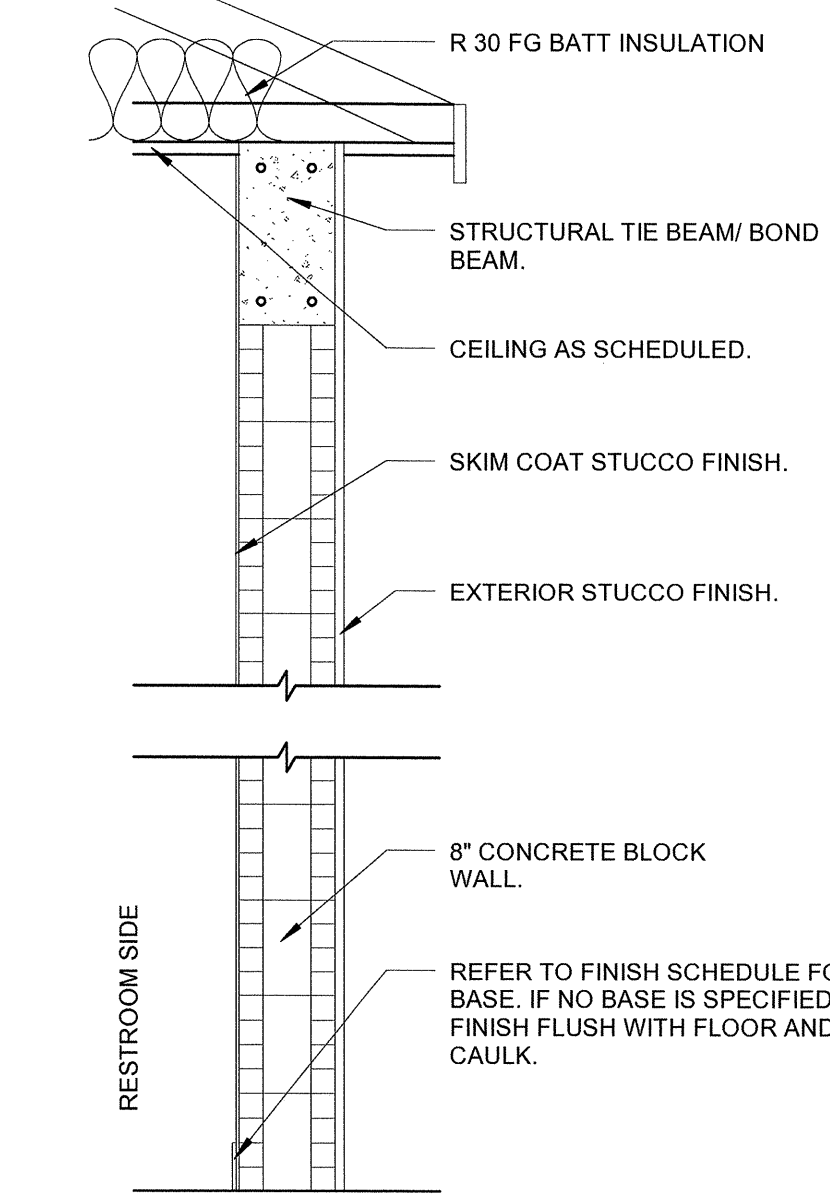
KELSEY PARK RESTROOM FACILITY
 LAKE SHORE DR
 LAKE PARK, FL.
 CPZ ARCHITECTS, INC.
 4536 WEST BROWARD BOULEVARD
 PLANTATION, FLORIDA 33317
 (954) 377-0399
 AA/20060885 WWW.CPZARCHITECTS.COM



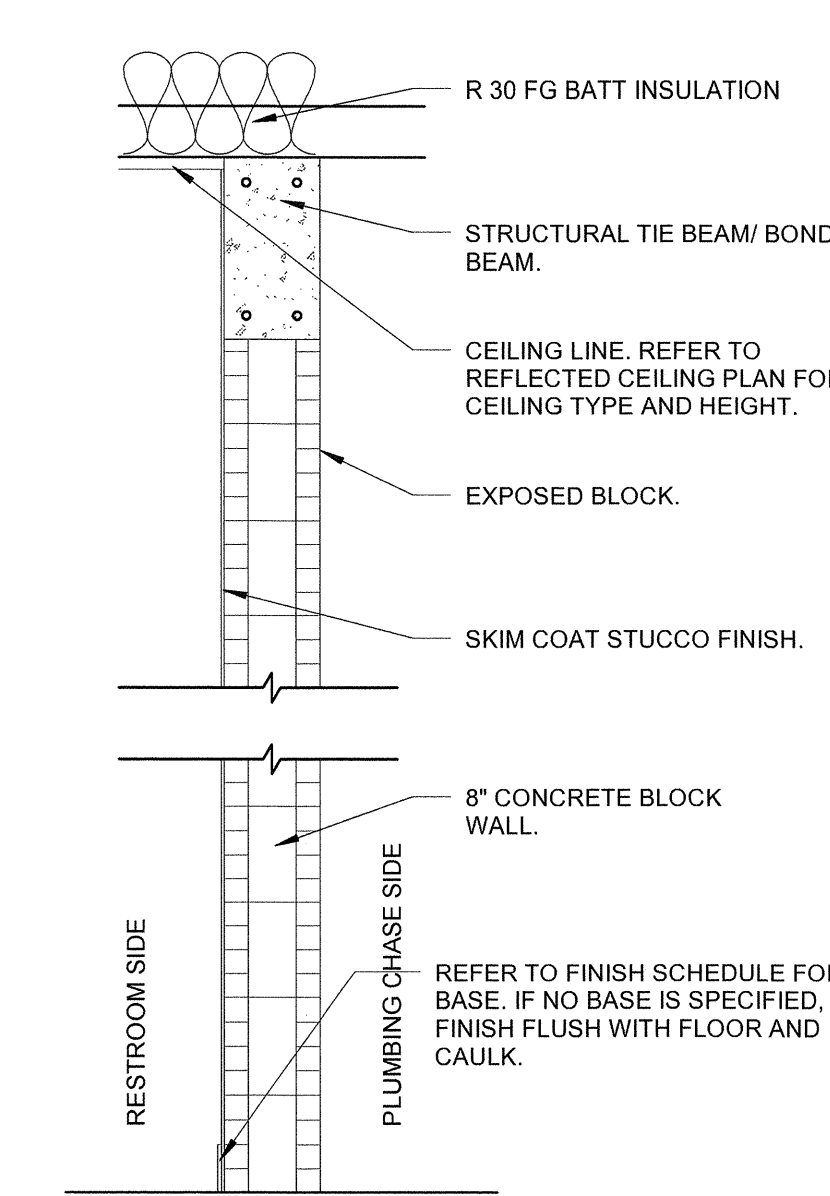
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A-6

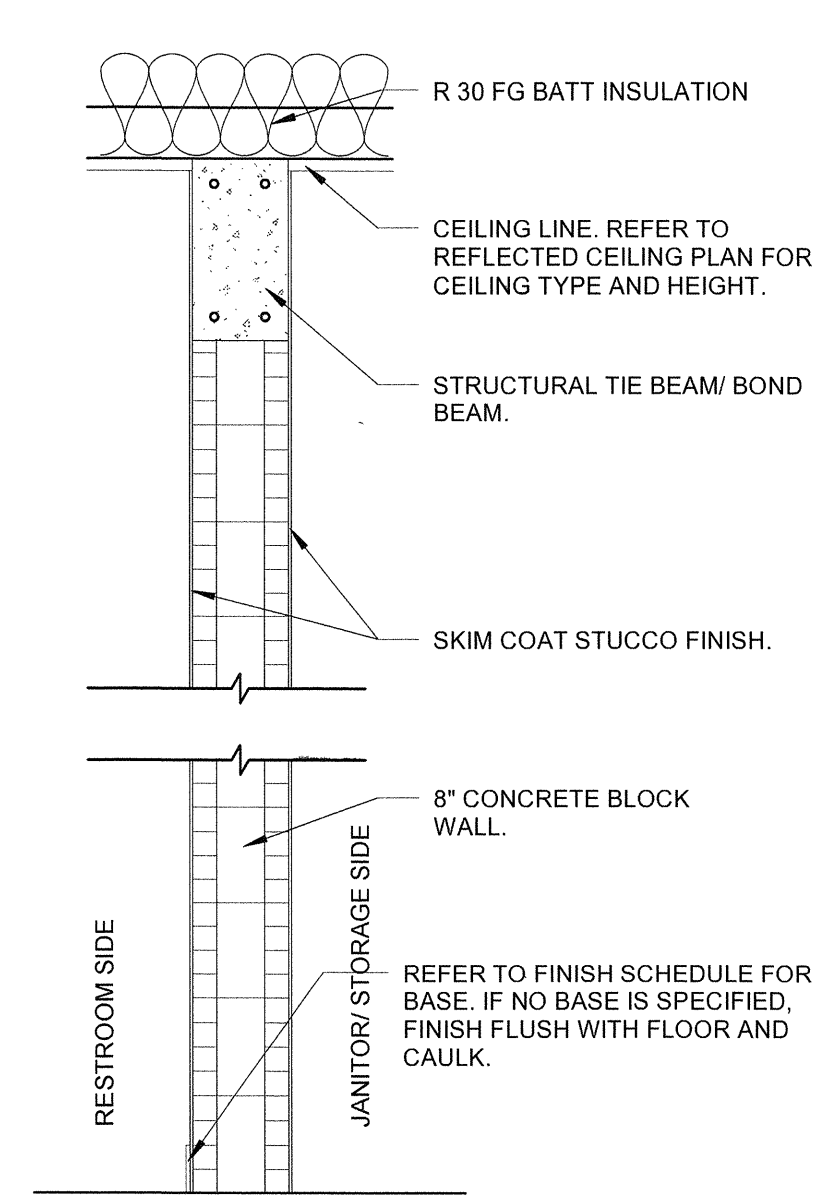
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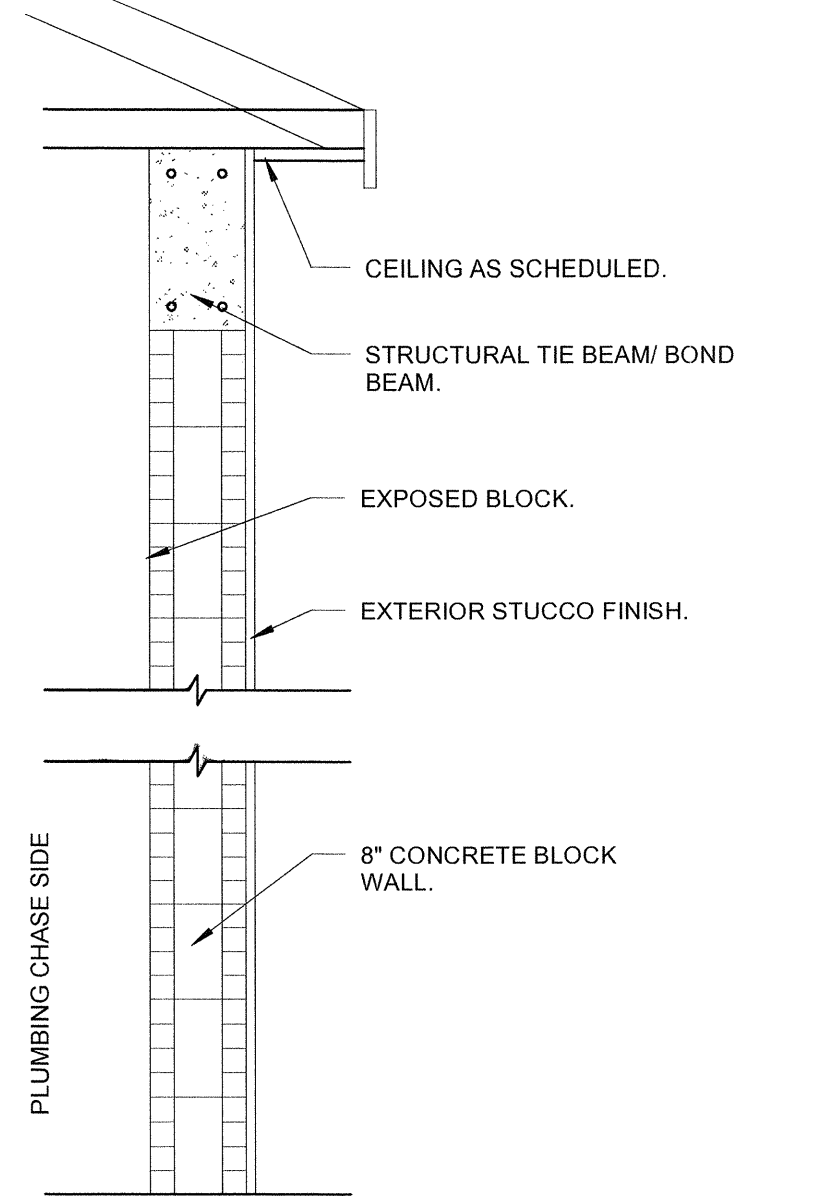
1 EXTERIOR BLOCK W/ SKIM COAT
SCALE: 3/4"=1'-0"



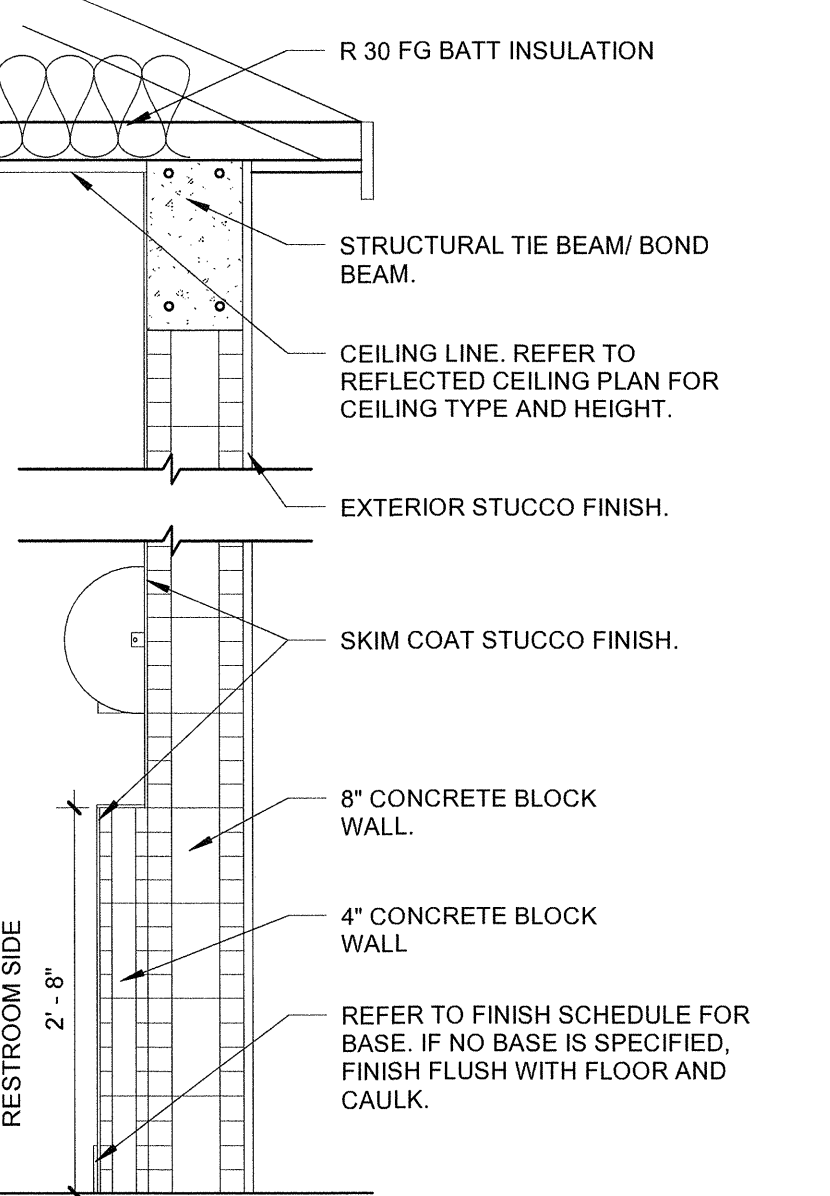
2 INTERIOR BLOCK WALL W/ SKIM COAT
SCALE: 3/4"=1'-0"



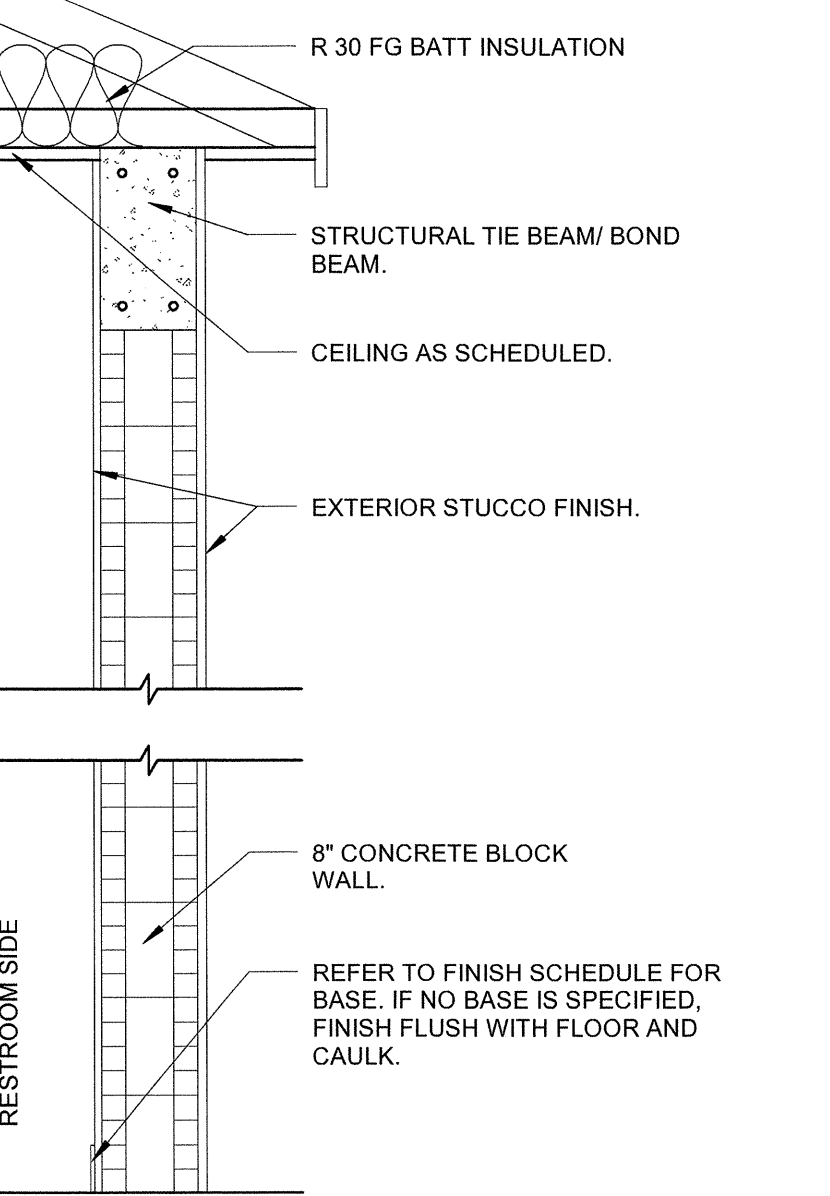
3 INTERIOR BLOCK WALL W/ SKIM COAT
SCALE: 3/4"=1'-0"



4 EXTERIOR BLOCK W/ EXP. BLOCK
SCALE: 3/4"=1'-0"



5 EXTERIOR 4" BLOCK WALL W/ 8" BLOCK WALL
SCALE: 3/4"=1'-0"



6 EXTERIOR BLOCK W/ STUCCO BOTH SIDES
SCALE: 3/4"=1'-0"

NUMBER	LOCATION	TYPE	MATERIAL	SIZE			FINISH	UNDER CUT	RATING	HARDWARE	FRAME MATERIAL	FRAME FINISH	JAMB	HEAD	SILL	REMARKS
				W	H	THICKNESS										
1	STORAGE	FF	GALV MTL	3' - 0"	7' - 0"	1 3/4"	PT	-	-	HW-2	GALV MTL	PT	2/A-7	3/A-7	4/A-7	
2	PLUMBING CHASE	FF	GALV MTL	2' - 0"	7' - 0"	1 3/4"	PT	-	-	HW-1	GALV MTL	PT	2/A-7	3/A-7	4/A-7	WITH 12" X 12" BOTTOM LOUVER
3	MEN'S RESTROOM	FF	GALV MTL	3' - 0"	7' - 0"	1 3/4"	PT	-	-	HW-2	GALV MTL	PT	2/A-7	3/A-7	4/A-7	
4	VESTIBULE	-	ALUM	7' - 4"	8' - 0"		PC	-	-	BY MFR	PC	PC	1/A-7	1/A-7	1/A-7	O.H. COILING DOOR

DOOR SCHEDULE

- ALUM ALUMINUM
- STL STEEL
- UC UNDERCUT
- LV LOUVER
- HG HARDWARE GROUP
- MTL METAL
- PT PAINTED
- SCW-PT SOLID CORE WOOD, PAINTED
- C.W. CLEAR WIRE
- T.C. TEMPERED, CLEAR
- NG NARROW GLASS
- FG FULL GLASS
- IM IMPACT GLASS
- VP VIEW PANEL WITH TYPICAL
- w FULL FLUSH
- FF WOOD PREHUNG
- WD-PH WOOD, PAINTED
- WDP STORE FRONT
- SF STORE-FRONT/SIDE-LITE
- SFLT SIDE-LITE
- HM HOLLOW METAL
- LT SIDE-LITE
- WG WOOD/GLASS
- PC POWDER COATED

DOOR NOTES:

1. DETAILS INDICATE BASIC WALL CONSTRUCTION AND DIMENSIONS. ALSO SEE INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR SPECIAL FINISHES.
2. ALL DOORS AND HARDWARE SHALL COMPLY WITH NFPA 101, SECTION 7.2.1
- 3 DO NOT UNDERCUT DOORS.

HARDWARE NOTES:

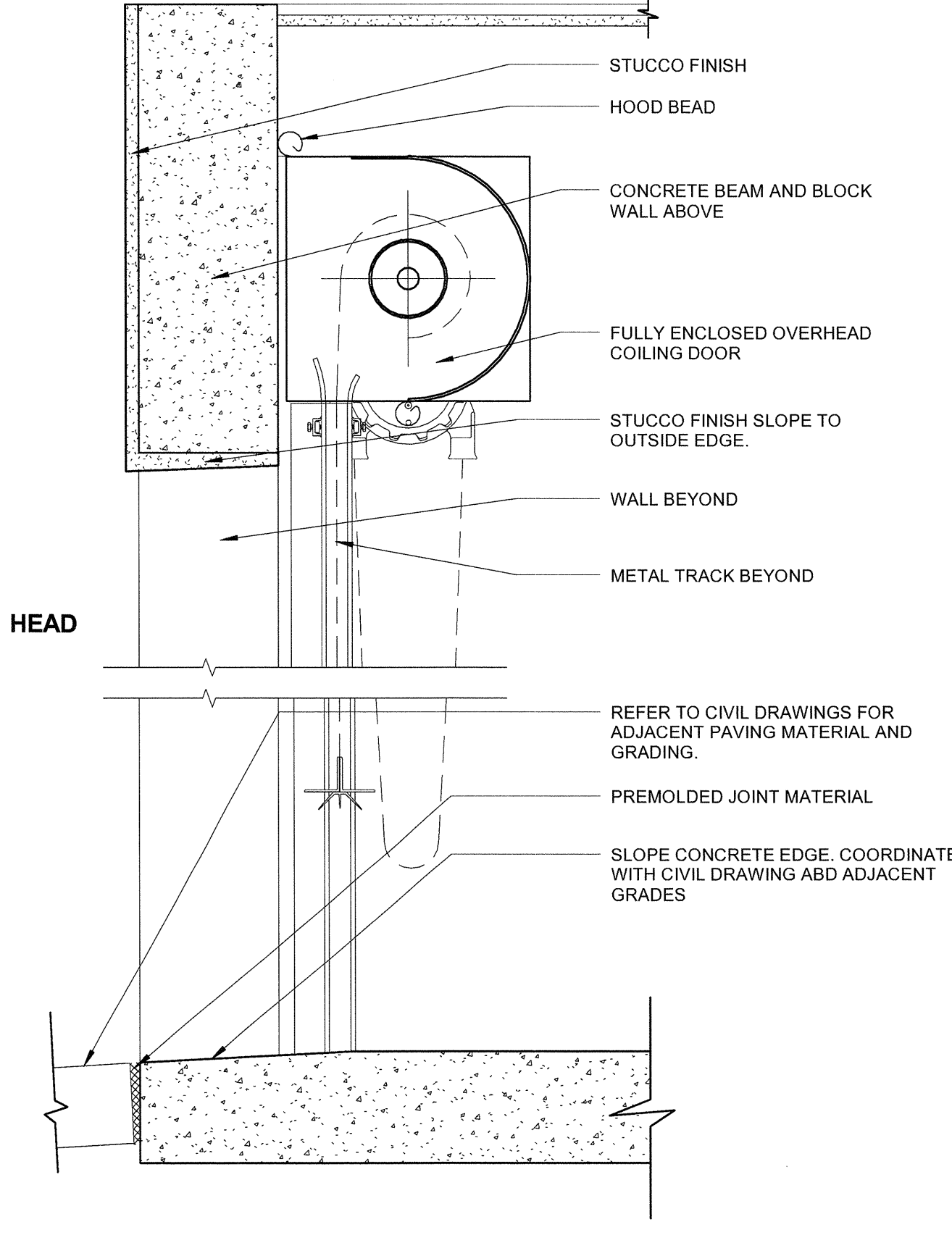
1. CONTRACTOR SHALL COORDINATE ALL HARDWARE REQUIREMENTS WITH THE OWNER PRIOR TO ORDERING.
2. ALL HINGES SHALL BE STAINLESS STEEL FINISH, BALL BEARING HINGES. HAGER ECBB 1100 US 32D
3. ALL DOOR CLOSERS TO BE BY LCN GRADE, ADA CODE COMPLIANT AND EQUIPPED WITH HOLD.
4. ALL DOORS AND FRAMES SHALL HAVE DOOR SILENCERS.
5. LOCKSETS SHALL BE SCHLAGE ND - SERIES W/ STAINLESS STEEL FINISH AND EQUIPPED WITH SIX PIN SFC CYLINDERS. WILSON-ROWAN LOCKSMITH IN WEST PALM BEACH IS THE RECOMMENDED VENDOR FOR THE KEYING OF ALL LOCKS TO MATCH THE TOWN'S KEYING SYSTEM.

HARDWARE SCHEDULE:

HW-1: STORAGE
 1 1/2 PAIR S.S. BALL BEARING HINGES
 1 STORAGE LOCKSET, SCHLAGE ND - SERIES W/ 6 PIN SFC CORES. PROVIDE LEVER HANDLE. FINISH TO BE STAINLESS STEEL.
 3 SILENCERS
 NO CLOSURE

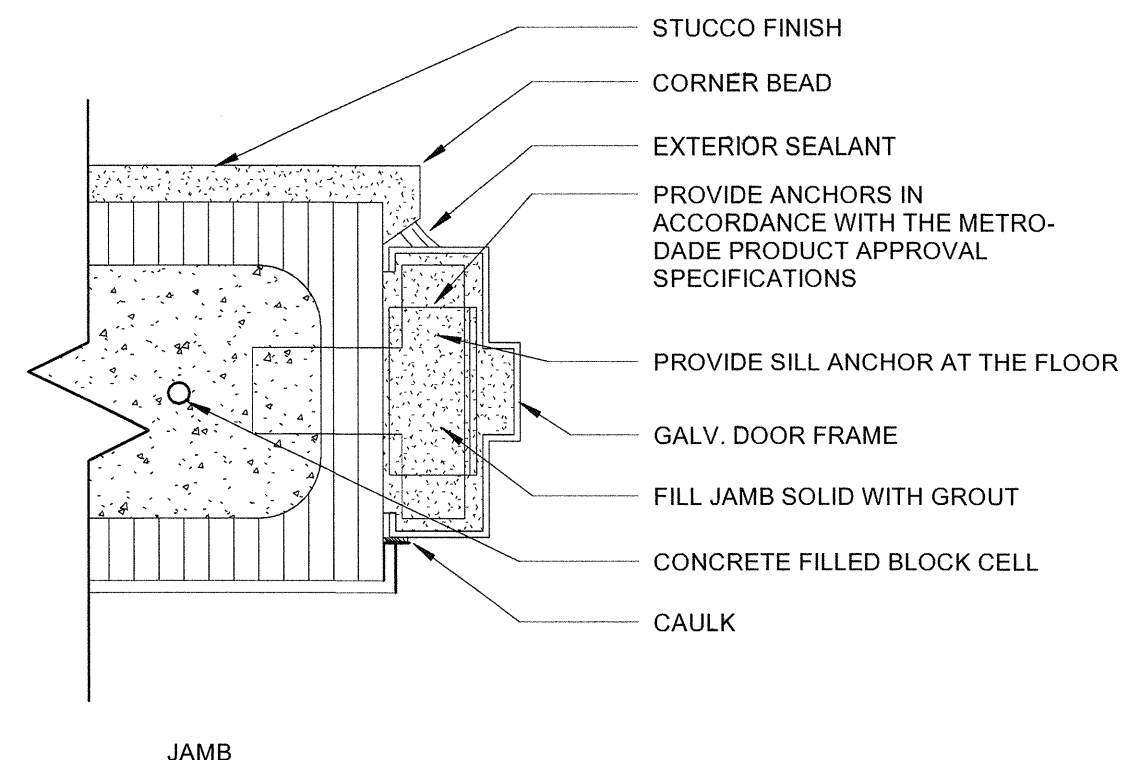
HW-2: RESTROOMS
 1 1/2 PAIR S.S. BALL BEARING HINGES
 1 CLASSROOM SECURITY LOCKSET, SCHLAGE ND - SERIES W/ 6 PIN SFC CORES. PROVIDE LEVER HANDLE. FINISH TO BE STAINLESS STEEL.
 3 SILENCERS
 1 LCN SERIES 4000 CLOSURE W/ HOLD OPEN, POWDER COATED FINISH, METAL COVER, ADA ACCESSIBILITY CYLINDER - MOUNT ON PUSH SIDE

HW-3:
 1 SCHLAGE PADLOCK KEYED TO BUILDING W/ 6 PIN SFC CYLINDER

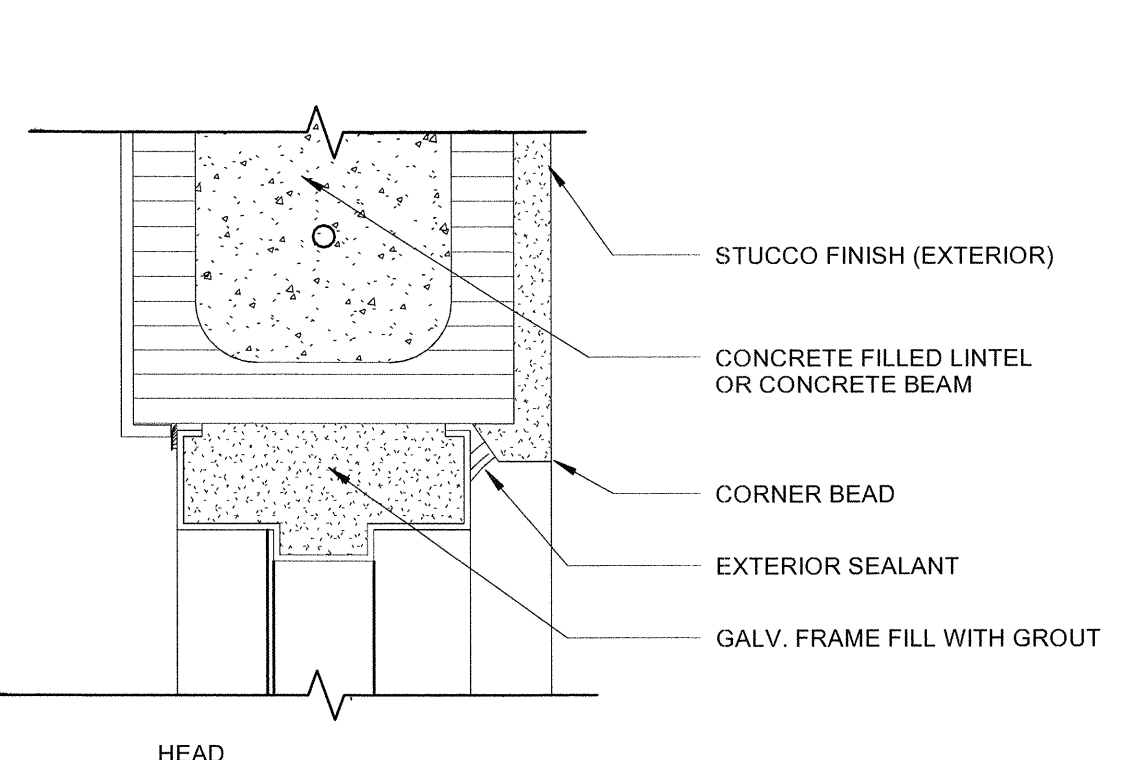


DOOR AND FRAME ELEVATIONS

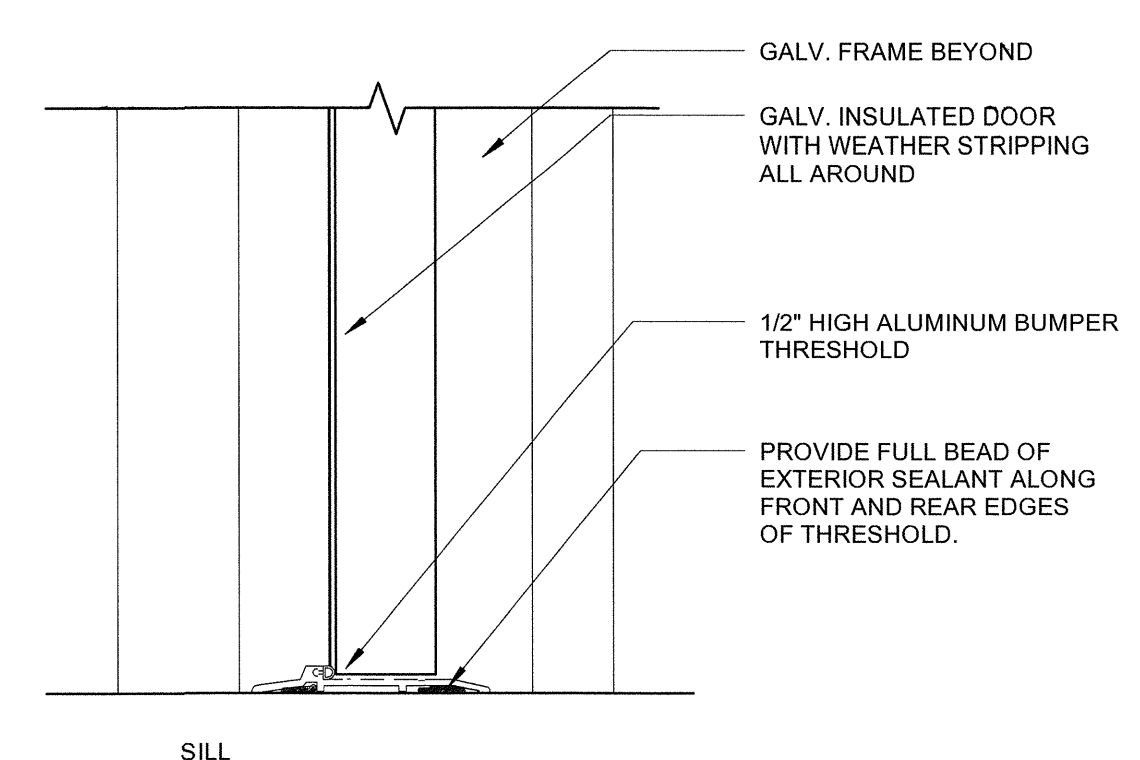
DOOR ABBREVIATIONS



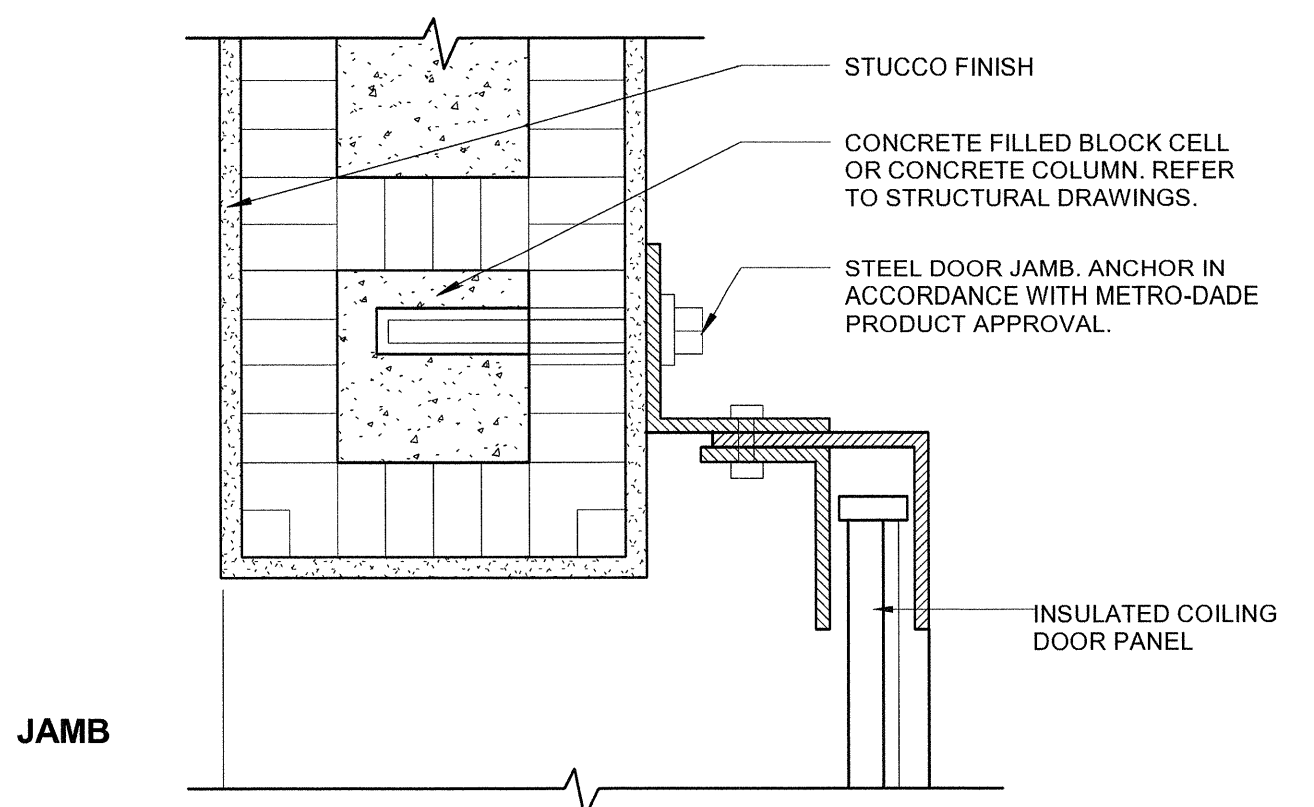
2 EXT. BLOCK WALL - JAMB
SCALE: 3/4"=1'-0"



3 EXT. BLOCK WALL - HEAD
SCALE: 3/4"=1'-0"



4 EXT. BLOCK WALL - SILL
SCALE: 3/4"=1'-0"



1 COIL TYPE GARAGE DOOR DETAIL
SCALE: 1/2"=1'-0"

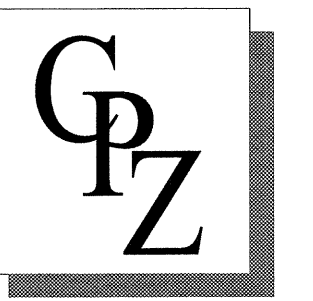
OVERHEAD COILING DOORS:

1. OVERHEAD DOORS SHALL BE MODEL 610 AS MANUFACTURED BY "OVERHEAD DOOR CO." OR ARCHITECT APPROVED EQUAL. DOORS SHALL HAVE MIAMI-DADE COUNTY PRODUCT APPROVAL FOR LARGE MISSILE IMPACT. NOTICE OF ACCEPTANCE #15-1228.03. CONTRACTOR SHALL SUBMIT FULLY DETAILED SHOP DRAWINGS WITH PRODUCT APPROVAL. SLATES TO BE MINIMUM 18 GAUGE.
2. GENERAL CONTRACTOR SHALL COORDINATE THE INSTALLATION REQUIREMENTS AND ANCHORING DETAIL OF THE DOORS WITH THE CONCRETE COLUMNS, PRIOR TO POURING COLUMNS, TO ASSURE THAT THE REINFORCING STEEL IS CLEAR FROM THE AREA THAT IS REQUIRED FOR THE ANCHOR BOLTS OF THE DOOR SUPPORTS.
3. DOORS SHALL BE MANUALLY CHAIN OPERATED, WITH PADLOCKABLE CHAIN KEEPER ON GUIDE. CHAIN HOIST OPERATOR TO HAVE ENDLESS STEEL CHAIN, CHAIN POCKET WHEEL GUARD, AND GEAR REDUCTION UNIT.
4. DOORS AND ALL EXPOSED STEEL SHALL BE GALVANIZED, PHOSPHATE TREATED FOLLOWED WITH A BAKED-ON POLYESTER POWDER COAT FINISH (MINIMUM 2.5 MILS CURED FILM THICKNESS) TO MATCH TRIM COLOR SHOWN ON THE BUILDING ELEVATIONS.
5. PROVIDE GALV. POWDER COATED STEEL HOOD WITH REINFORCED TOP AND BOTTOM EDGES WITH 1/4" THK STEEL INTERMEDIATE SUPPORT TO PREVENT EXCESSIVE SAG. PROVIDE 24 GAUGE OPERATOR AND BRACKET MECHANISM COVER.
6. DOORS SHALL HAVE A FULL ONE YEAR WARRANTY, FULLY EXECUTED AND DATED STARTING ON THE DATE OF SUBSTANTIAL COMPLETION.
7. INSTALL DOORS COMPLETE WITH ALL REQUIRED FASTENERS AND ACCESSORIES. UPON COMPLETION LUBRICATE, TEST AND ADJUST DOORS FOR EASE OF OPERATION, FREE FROM WARP, WIST OR DISTORTION.
8. FINISH TO BE POWDER COATED, COLOR TO BE SELECTED BY OWNER. PROVIDE COAT COMPLETE COVER OVER COILING BAR.

NO.	REVISION	DATE
1	REVISED	07/20/16
2	REVISED	11/06/16

CONSULTANT:

KELSEY PARK RESTROOM FACILITY
 LAKE SHORE DR
 LAKE PARK, FL.
 CPZ ARCHITECTS, INC.
 4316 WEST BROWARD BOULEVARD
 PLANTATION, FLORIDA 33314
 AA#29006885 WWW.CPZARCHITECTS.COM



DRAWING TITLE:
 WALL TYPES & DETAILS
 DRAWN: DL
 CHECKED: EG/CPZ
 DATE: 11/06/16
 SCALE: As indicated
 PROJECT NO. 1533
 SHEET:

STATE OF FLORIDA
 REGISTERED ARCHITECT NO. 10,995
 CHRIS P. ZIMMERMAN, A.I.A.
 STATE OF FLORIDA
 DATE: 11/06/16

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NO.	REVISION	DATE
RD-SET		07/12/2016
RE-ED		11/09/2016

CONSULTANT:

GENERAL NOTES:

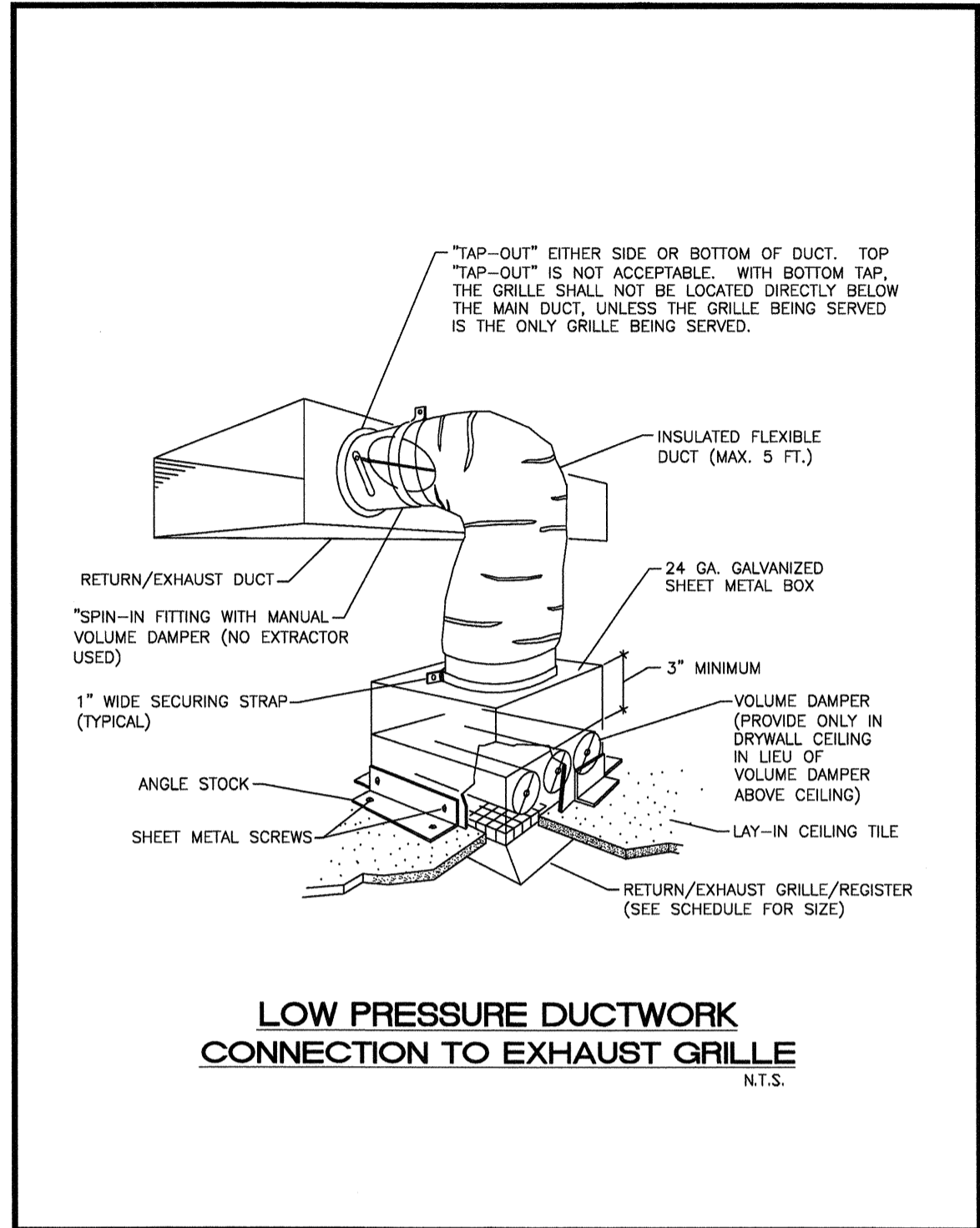
- ALL MECHANICAL SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE NFPA STANDARDS, ANSI STANDARDS, THE LOCAL BUILDING CODE, NOISE & HEIGHT ORDINANCES, PLANS AND SPECIFICATIONS.
- ALL MATERIALS SHALL BE NEW AND ALL WORKMANSHIP AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, PRODUCT APPROVAL RULES AND ORDINANCES. ANY DAMAGED EQUIPMENT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, ACCESS PANELS, CONTROL SYSTEMS, DEVICES, PERMITS AND SERVICES NECESSARY FOR FURNISHING AND INSTALLING A COMPLETE OPERABLE MECHANICAL SYSTEM.
- ALL LOUVERS, GRILLES, PIPING, ETC. SHALL BE PAINTED TO MATCH SURROUNDING COLOR AND TEXTURES AS REQUIRED BY ARCHITECT. VERIFY COLOR AND TEXTURE WITH ARCHITECT. PAINT ALL EXPOSED MECHANICAL EQUIPMENT WITH BENJAMIN MOORE EPOXY ENAMEL 1B2.
- ALL CUTTING, PATCHING, STRUCTURAL STEEL, WEATHER PROOFING, PAINTING, AND WALL OPENINGS SHALL BE BY THE GENERAL CONTRACTOR.
- ALL OPENINGS IN BUILDING STRUCTURE, FOR DUCTWORK, PIPING, ETC. TO BE 1/2" LARGER (ON ALL SIDES) THAN THE OUTSIDE DIMENSIONS. FILL VOIDS WITH FIRE RETARDANT SILICONE FOAM (I.E. CHASE-FOAM CTC FR-855 BY CHASE TECHNOLOGY CORP.).
- PROVIDE FLEXIBLE DUCT CONNECTORS, RATED AS REQUIRED, TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT.
- PROVIDE MAINTENANCE AND OPERATION MANUAL ON ALL MECHANICAL EQUIPMENT OR SYSTEMS. PROVIDE 5 SETS OF SUBMITTALS ON ALL HVAC EQUIPMENT. SUBMITTALS SHALL HAVE A SUMMARY SHEET SHOWING ALL SCHEDULED INFORMATION.
- HVAC CONTRACTOR WILL WARRANT ALL MECHANICAL SYSTEMS, DUCTWORK, THERMOSTATS, AND ALL OTHER EQUIPMENT PARTS AND LABOR UNDER THESE DRAWINGS AND SPECIFICATIONS FOR A PERIOD OF ONE (1) YEAR AFTER G.O. OF BUILDING. ANY REPAIRS REQUIRED TO BE DURING THIS PERIOD WILL BE DONE DURING NON OPERATIONAL PERIODS. HVAC CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES PRIOR TO BIDDING AND PURCHASING ANY EQUIPMENT.
- AIR QUALITY SHOULD BE TESTED BEFORE OCCUPANCY AND SHOULD BE INSTRUMENTED AND MONITORED THEREAFTER, OR AT LEAST AT REGULAR INTERVALS.

MECHANICAL EQUIPMENT NOTES:

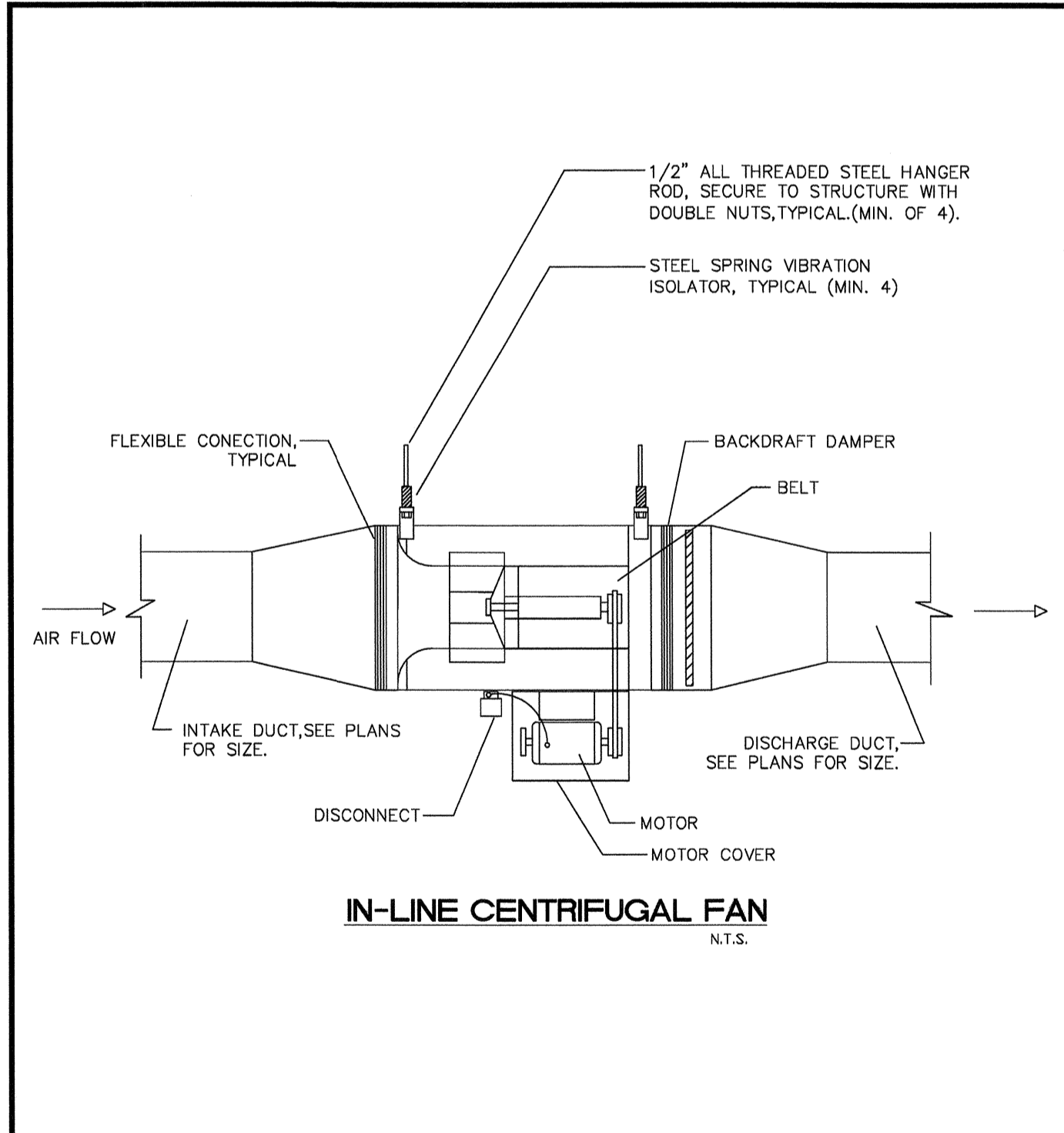
- ALL MECHANICAL EQUIPMENT SHALL BE ARI & U.L. LISTED WHERE APPLICABLE AND RATED FOR THE REQUIRED SERVICE, PRESSURES, TEMPERATURES, AND SHALL BE PROVIDED WITH ALL NECESSARY TRANSFORMERS, SEALS, VALVES, CONNECTIONS, ETC. TO FUNCTION PROPERLY.
- PROVIDE BACKDRAFT DAMPERS ON ALL EXHAUST FANS AND/OR INLINE FANS.
- PROVIDE VIBRATION ISOLATORS ON ALL MECHANICAL EQUIPMENT AS CALLED FOR IN THE SPECIFICATIONS. AS NOT SPECIFIED, AS RECOMMENDED BY MANUFACTURER FOR QUIET OPERATION (WITH 99% ISOLATION EFFICIENCY).
- PROVIDE A MIN. OF 10" CLEARANCE BETWEEN O/A INTAKES AND VIR OR EXHAUST OPENINGS.
- INDEPENDENT CONTRACTOR SHALL TEST AND BALANCE ALL MECHANICAL EQUIPMENT AIR DEVICES, EXTRACTORS, DAMPERS, AHU'S & FAN RATES, ETC. TO PROVIDE THE DESIGN QUANTITIES AS SHOWN ON THE PLANS OR SCHEDULES. PROVIDE T & B REPORT IN ACCORDANCE WITH THE AIR BALANCE COUNCIL STANDARDS, SIGNED AND SEALED BY A REGISTERED FLORIDA ENGINEER. PROVIDE FINAL BALANCING FOR ALL SYSTEMS TO SATISFACTION OF OWNER AND ENGINEER. T & B CONTRACTOR SHALL VISIT JOB SITE DURING CONSTRUCTION TO ENSURE THAT ALL DUCTS, DAMPERS, ETC. ARE INSTALLED FOR PROPER AND QUIET AIR DELIVERY.
- MOUNT ALL ROOFTOP EQUIPMENT FOR WIND LOADS AND MOUNTING HEIGHTS AS REQUIRED BY LOCAL CODES. ALL CURBS SHALL EXTEND 6" MIN. ABOVE FINISHED ROOF.
- ALL PIPING AND DUCTWORK SHALL BE SLEEVED THRU WALLS, BEAMS, SLABS, ETC. AS REQUIRED AND COORDINATED WITH THE STRUCTURAL ENGINEER. REWORK BAR JOIST CROSS BRACING AND PROVIDE NECESSARY TRANSITIONS AS REQUIRED FOR DUCTWORK INSTALLATION.
- ALL INSULATION WILL HAVE FIRE/SMOKE RATING LESS THAN 25/50.
- PROVIDE MOTOR STARTERS AS FOLLOWS (UNLESS OTHERWISE RECOMMENDED BY MOTOR MANUFACTURER):
A. PROVIDE OVERLOAD PROTECTION - 1/3 HP AND ABOVE (ALL PHASES).
B. PROVIDE ACROSS THE LINE VOLTAGE STARTING BELOW 25 HP.
- ALL OUTDOOR EQUIPMENT SHALL COMPLY WITH LOCAL ZONING NOISE ORDINANCES. MIN. REQUIREMENT SHALL NOT EXCEED A NOISE LEVEL OF 65 DB AS MEASURED RADIALLY 30 FT FROM THE EQUIPMENT IN ALL DIRECTIONS.

AIR DISTRIBUTION / DUCTWORK NOTES :

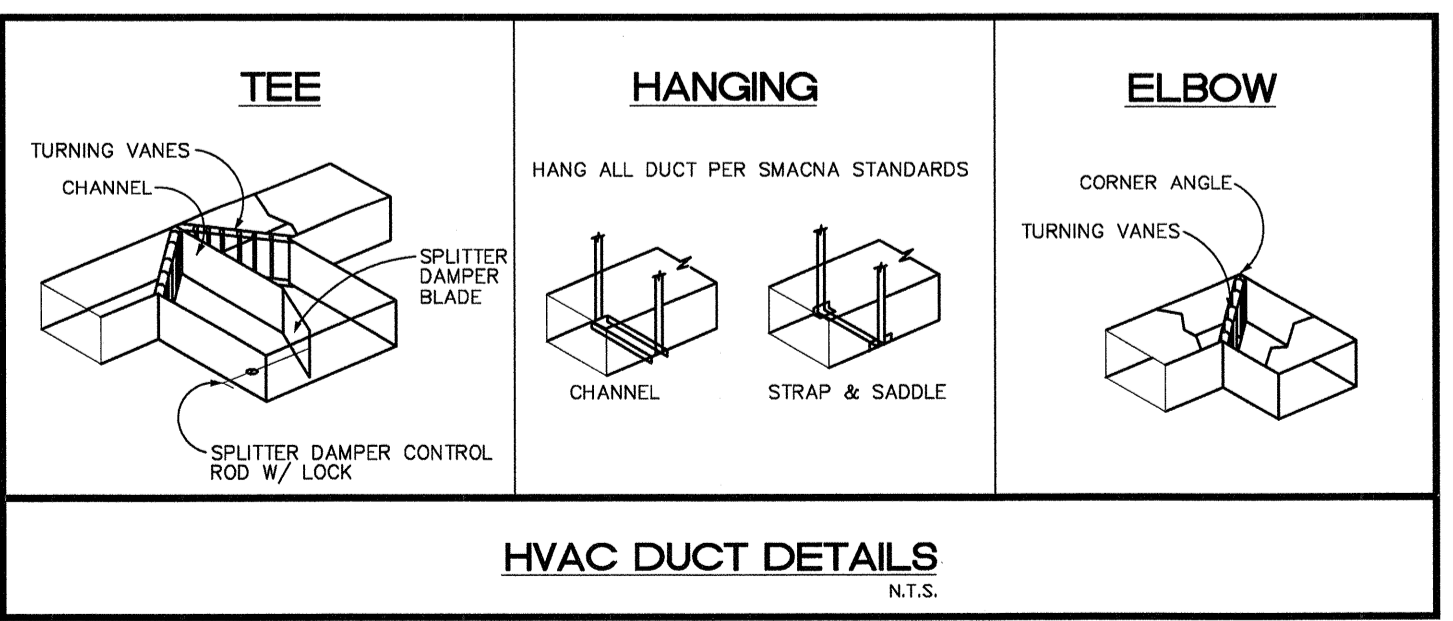
- REFER TO ARCHITECTURAL PLANS FOR CEILING TYPE.
- PROVIDE OFF WHITE FINISH (SUBJECT TO ARCHITECT'S APPROVAL).
- ALL DUCTWORK WHERE ALLOWED BY LOCAL CODES AND CEILING RATING SHALL BE "L" LOW PRESSURE DUCT, SEAL CLASS "C" AND AS FOLLOWS:
A. S/A & R/A - 1-1/2" THICK FIBERGLASS DUCT BOARD WITH VAPOR BARRIER (R-6 MIN.)
B. EXHAUST AIR DUCTWORK - GALVANIZED SHEETMETAL
C. OUTSIDE AIR DUCTWORK - INSULATED GALVANIZED SHEETMETAL
- ALL DUCTWORK AND DIFFUSERS SHALL BE RATED FOR THE USE, PRESSURE AND TEMPERATURE SPECIFIED AND AS REQUIRED BY THE CEILING SYSTEM RATING.
- ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH "SMACNA" STANDARDS AND LOCAL BUILDING CODES.
- ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
- SEAL ALL DUCTS, JOINTS AND SEAMS IN AN APPROVED MANNER AND INSURE AGAINST LEAKAGE.
- PROVIDE ACCESS DOORS AS REQUIRED FOR ALL MECHANICAL EQUIPMENT TO SERVICE AND VISUALLY CHECK ROTATION OF FANS AND MOTORS, POSITION OF DAMPERS, REPLACE FIRE DAMPER LINKS, ADJUST OR REPLACE CONTROLS, ETC.
- PROVIDE VANED ELBOWS IN ALL CASES, SPLITTER DAMPERS WHERE INDICATED ON DRAWINGS AND VOLUME CONTROL DAMPERS IN ALL BRANCH DUCTS OR DIFFUSER CONNECTIONS.



LOW PRESSURE DUCTWORK CONNECTION TO EXHAUST GRILLE
N.T.S.



IN-LINE CENTRIFUGAL FAN
N.T.S.



HVAC DUCT DETAILS
N.T.S.

EXHAUST FAN SCHEDULE

DESIG.	SERVES	CFM	EXT. S.P.	FAN DATA			ELECTRICAL MOTOR DATA			WEIGHT (LBS)	MANUF./MODEL	NOTES
				TYPE	RPM	DRIVE	H.P.	RPM	VOLT/PH/Hz			
EF-KP-1	TOILET ROOMS	1300	0.5	CENT. IN-LINE	1426	DIRECT	1/2	1725	120/1/60	HOA	67	GREENHECK/SQ-120-VG ALL PRODUCTS SPECIFIED ARE BASIS OF DESIGN OR APPROVED EQUALS WILL BE REVIEWED.

- NOTES:**
- BACK DRAFT DAMPER.
 - PROVIDE WITH INTEGRAL STARTER & DISCONNECT SWITCH.
 - INTERLOCK FAN WITH MOTORIZED ROLL UP DOOR.

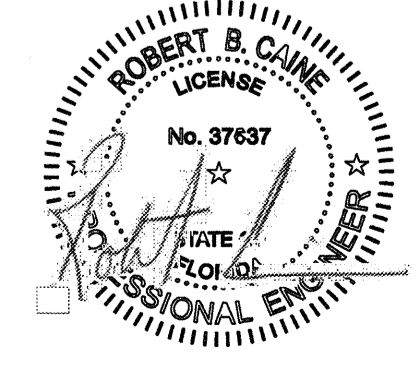
AIR DEVICE SCHEDULE

DESIG.	SIZE	OBD	FINISH	THROW	NECK SIZE	MANUFACTURER/MODEL NO.	REMARKS/NOTES
E1	12"x12"	YES	WHITE	N/A	Ø	TITUS/50F	CEILING EXHAUST AIR GRILLE ②③④

- NOTES:**
- | | | |
|------------------|---|---|
| ① 6"Ø 0-100 CFM | ② CONTRACTOR TO COORDINATE FRAME STYLE W/ ARCH. PLANS | ④ RUN OUTS SHALL BE THE SAME SIZE AS NECK SIZE OF AIR DEVICE U.N.O. |
| 8"Ø 101-225 CFM | | |
| 10"Ø 226-400 CFM | | |
| 12"Ø 401-600 CFM | ③ PROVIDE PFS FRAME FOR MOUNTING OF LAY-IN GRILLE FOR GYP BOARD CEILINGS. | |
| 14"Ø 601-900 CFM | | |

DWG. NO.	DRAWING DESCRIPTION
M-0	DETAILS, SCHEDULES & GEN. NOTES
M-1	BUILDING PLAN

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY



KELSEY PARK RESTROOM FACILITY
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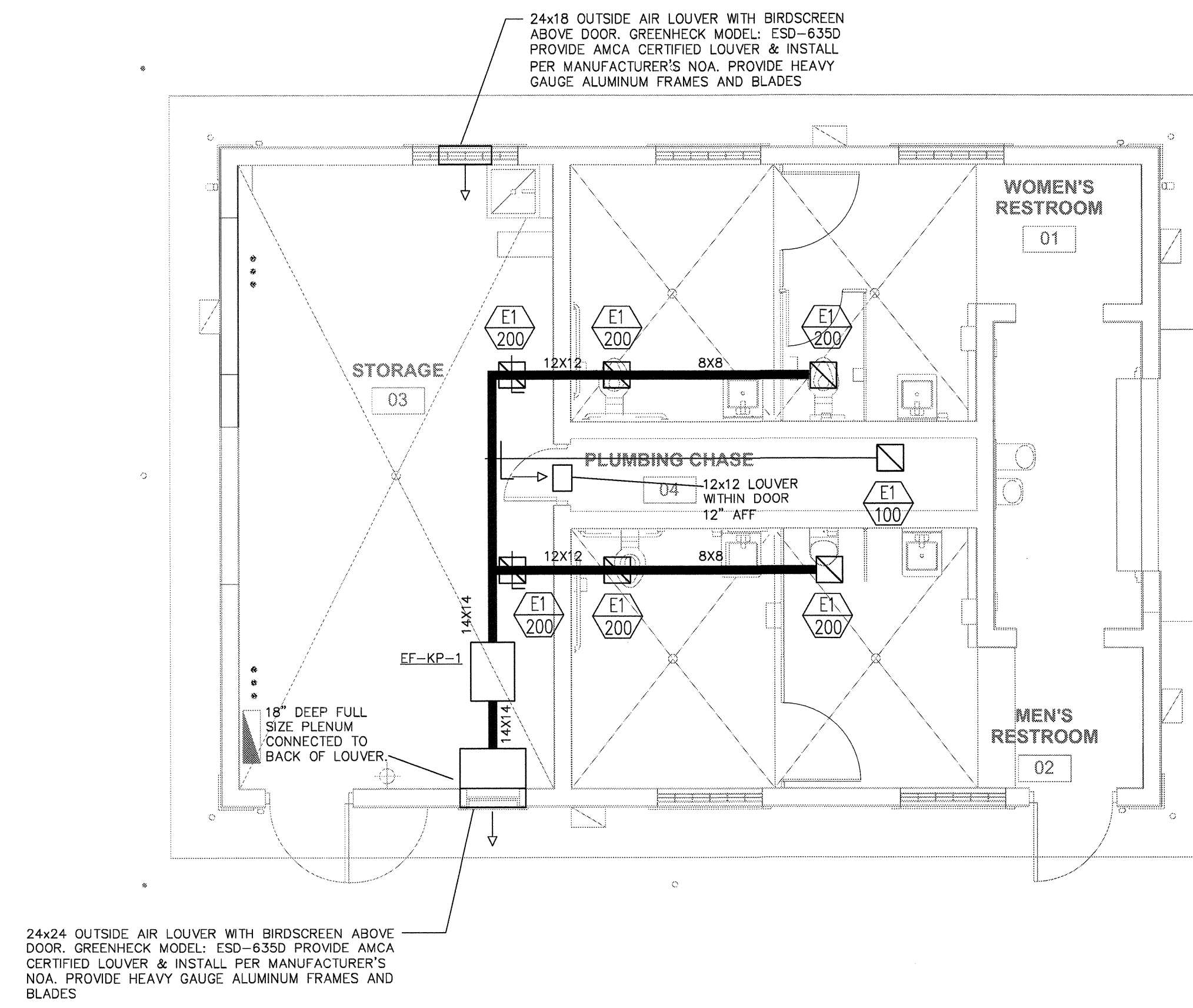
DRAWING TITLE:
MECH. DETAILS, SCHEDULES & GEN. NOTES

DRAWN: _____
 CHECKED: _____
 DATE: 4/11/2016
 SCALE: _____
 PROJECT NO. 1533
 SHEET: _____

M-0

NO.	REVISION	DATE
RE-SET		7/21/2016
RE-ED		11/08/2016

CONSULTANT:



1 BUILDING PLAN — MECHANICAL
M-1 SCALE: 1/4" = 1'-0"

KELSEY PARK RESTROOM FACILITY

LAKE SHORE DR
LAKE PARK, FL

CPZ ARCHITECTS, INC.

4316 WEST BROWARD BOULEVARD
PLANTATION, FLORIDA 33317 (954) 374-0789
AA #26000665 WWW.CPZARCHITECTS.COM

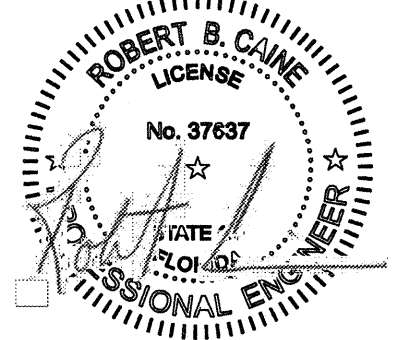


DRAWING TITLE:
BUILDING PLAN - MECHANICAL

DRAWN: _____
CHECKED: _____
DATE: 4/11/2016
SCALE: _____
PROJECT NO. 1533
SHEET:

M-1

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY



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ELECTRICAL DRAWING NOTES

- ALL WORK PERFORMED SHALL BE DONE BY A LICENSED ELECTRICAL CONTRACTOR AND IN A FIRST CLASS WORKMANLIKE MANNER. SAID CONTRACTOR SHALL MEET ALL REQUIREMENTS SET FORTH BY ANY LOCAL ORDINANCE AND/OR GOVERNING AUTHORITIES.
- ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (2014 5TH EDITION), NATIONAL ELECTRIC CODE (2011), NFPA 72 (2010), FFPC (2010), AND ANY AND ALL OTHER ORDINANCES HAVING JURISDICTION.
- IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK SHOWN AND/OR NOTED ON THE DRAWINGS AND SPECIFICATIONS.
- ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BID AND VERIFY ALL CONDITIONS, LOCATIONS, DIMENSIONS AND COUNTS, AS SHOWN AND/OR NOTED ON THE DRAWINGS. THIS SHALL INCLUDE ANY AND ALL FABRICATIONS REQUIRED PRIOR TO INSTALLATION.
- IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR FOR THE ADVANCED ORDERING OF LONG LEAD ITEMS SO AS NOT TO INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS INDICATED OR SPECIFIED OTHERWISE.
- CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR TO ORIGINAL CONDITIONS ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT AND FURNISHINGS CAUSED DURING PERFORMANCE OF WORK.
- ELECTRICAL CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT UNLESS NOTED OTHERWISE.
- ALL ELECTRICAL EQUIPMENT, DEVICES, WIRE, ETC. SHALL BE LISTED FOR THE INTENDED USE WITH UNDERWRITERS LABORATORIES, INC. (UL) WHERE STANDARDS HAVE BEEN ESTABLISHED BY UL. AS A MINIMUM, ALL EQUIPMENT SHALL MEET APPLICABLE STANDARDS FOR THE TYPE OF EQUIPMENT AND INTENDED USE OF THE FOLLOWING:
 A.AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI).
 B.ILLUMINATING ENGINEERS SOCIETY (IES).
 C.AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM).
 D.NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).
 NOTE:
 THESE STANDARDS ARE SUBORDINATE TO CODES AND STANDARDS SET BY UL.
- IT IS NOT THE INTENT OF THESE PLANS AND/OR SPECIFICATIONS TO SHOW EVERY DETAIL OF CONSTRUCTION. THE ELECTRICAL CONTRACTOR SHALL BE EXPECTED TO PROVIDE ALL ITEMS AND EQUIPMENT NECESSARY FOR A COMPLETE AND FULLY FUNCTIONAL ELECTRICAL SYSTEM.
- ALL CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT ROUTING SHALL BE DETERMINED IN THE FIELD, UNLESS OTHERWISE NOTED. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL THE PROPER NUMBER OF CONDUCTORS IN ALL RACEWAYS AS REQUIRED TO ACCOMPLISH THE PROPER FUNCTIONING OF THE DEVICE OR EQUIPMENT AS SHOWN.
- THE ELECTRICAL CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING.
- ARCHITECTURAL AND/OR ENGINEERING EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR SHALL BE PAID FOR BY THAT CONTRACTOR.
- COORDINATE ALL ELECTRICAL SITE WORK WITH GENERAL CONTRACTOR PRIOR TO INSTALLATION.
- ALL CONDUCTORS SHALL BE IN CONDUITS. ALL CONDUITS SHALL BE INTERMEDIATE (MC) OR RIGID GALVANIZED STEEL (RGS) EXCEPT THAT: (a) POLYVINYL CHLORIDE (PVC) CONDUITS MAY BE USED IN CONCRETE SLABS AND UNDERGROUND PROVIDED ELBOWS AND RISERS ARE RGS; (b) ELECTRICAL METALLIC TUBING (EMT) MAY BE USED IN OR ON WALLS OR CEILING WHERE NOT SUBJECT TO MECHANICAL DAMAGE, DAMP CONDITIONS OR CORROSIVE CONDITIONS; (c) LIQUID-TIGHT FLEXIBLE CONDUIT WHERE REQUIRED; (d) FLEXIBLE METALLIC CONDUIT WHERE REQUIRED IN DRY LOCATIONS; (e) THE USE OF AC OR MC CABLES SHALL BE PROHIBITED. ALL CONDUITS IN HAZARDOUS AREAS (PER NEC) SHALL MEET THE REQUIREMENTS OF NEC CHAPTER 5.
- FOR UNDERGROUND ELECTRICAL CONDUITS, PROVIDE PULL BOXES, SUCH THAT NO SINGLE CONDUIT RUN HAS BENDS IN EXCESS OF 360. PULL BOXES SHALL BE SUITABLE AND APPROVED FOR THE INTENDED USE. WHERE CONDUITS PASS UNDERNEATH PAVED AREAS THEY SHALL BE RGS. WHERE UNDERGROUND CONDUITS ARE NOT EXPOSED TO MECHANICAL DAMAGE OR ARE NOT UNDER PAVED AREAS, THEY MAY BE SCHEDULE 40 PVC, BUT ALL CONDUIT RISERS SHALL BE RGS. RGS CONDUITS SHALL EXTEND A MINIMUM OF 18" BELOW GRADE.
- APPLY BITUMASTIC COATING TO ALL METALLIC CONDUITS IN SLABS OR UNDERGROUND.
- ALL CONDUCTORS SHALL BE COPPER U.O.N., TYPE THHN OR THWN INSULATION, RATED 75°C WET/DRY EXCEPT WHERE OTHERWISE REQUIRED BY U.L. OR CODES UNLESS OTHERWISE NOTED. MINIMUM WIRE SIZE SHALL BE #12 AWG EXCLUDING CONTROL WIRING.
- WIRE WAYS SHALL BE SIZED AS REQUIRED, PER NEC, UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL EQUIPMENT SHALL BE RAIN TIGHT WHERE EXPOSED TO THE WEATHER. ALL FLEX CONDUITS CONNECTED TO SUCH EQUIPMENT SHALL BE LIQUID-TIGHT.
- CIRCUIT BREAKERS SHALL BE BOLT-ON U.O.I., INVERSE TIME-TYPE (THERMAL-MAGNETIC), TWO AND THREE-POLE. CIRCUIT BREAKERS SHALL HAVE COMMON TRIP. ALL PANELBOARDS SHALL HAVE COPPER BUS.
- WHERE CORE DRILLING OF FLOOR/WALLS IS REQUIRED, CONTRACTOR SHALL SEAL OPENINGS WATERTIGHT AFTER UTILITIES HAVE BEEN INSTALLED. LOCATION OF CORED HOLES SHALL BE COORDINATED WITH LOCATION OF EQUIPMENT IN A MANNER TO BE CLEAN AND FUNCTIONAL. THE CONTRACTOR SHALL INSTALL ONLY ONE CONDUIT PER HOLE AND SEAL THE OPENING AROUND THE CONDUIT AS SPECIFIED.
- PROVIDE FIRE RETARDANT U.L. APPROVED SEALANT ON ALL PENETRATIONS OF FIRE RATED PARTITIONS, WALLS AND STRUCTURAL SLABS. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY, PRIOR TO SUBMITTING BID, LOCATIONS OF ALL SUCH FIRE RATED PARTITIONS, WALLS, AND STRUCTURAL SLABS.
- BALLASTS SHALL HAVE MIN. POWER FACTOR OF 0.90. BALLASTS FOR METAL HALIDE AND HIGH PRESSURE SODIUM FIXTURES SHALL BE CONSTANT WATTAGE TYPE WITH 5% LAMP WATTS FOR 10% NOMINAL LINE VOLTAGE VARIATION.
- THE EQUIPMENT GROUNDING TERMINAL BARS OF THE NORMAL AND EMERGENCY ELECTRICAL SYSTEM PANELBOARDS SERVING THE SAME BUILDING SHALL BE BONDED TOGETHER WITH AN INSULATED, CONTINUOUS, COPPER CONDUCTOR NOT SMALLER THAN NUMBER 6.
- PROVIDE LAMPS WITH FIXTURES, SEE LUMINAIRE SCHEDULE FOR LAMP TYPE.
- ALL CONNECTIONS TO GROUND RODS & BUILDING STEEL SHALL BE MADE WITH UL APPROVED WELDED CONNECTIONS, UNLESS OTHERWISE NOTED.
- PROVIDE A FUSE HOLDER AND FUSE IN THE PRIMARY SIDE OF EACH UNGROUNDED CONDUCTOR FOR EACH BALLAST (GUSSMAN HEB AND FNO OR EQUAL) AT THE HAND HOLE OF EACH EXTERIOR POLE MOUNTED LIGHTING FIXTURE OR J-BOX FOR WALL OR GROUND MOUNTED EXTERIOR FIXTURES.
- PROVIDE TEMPORARY ELECTRICAL SERVICE FOR USE BY ALL TRADES DURING CONSTRUCTION AND REMOVE SAME AT COMPLETION OF PROJECT.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH A COMPLETE SET OF AS-BUILT DRAWINGS, SHOWING ALL CHANGES AND DEVIATIONS TO THE ARCHITECT/ENGINEER PRIOR TO COMPLETION OF THE PROJECT.
- PREPARE AND AFFIX A TYPED DIRECTORY TO THE INSIDE COVER OF EACH PANELBOARD INDICATING LOADS SERVED BY EACH CIRCUIT.

ELECTRICAL SYMBOLS LEGEND

NOT ALL SYMBOLS SHOWN ARE FOR THIS PROJECT

- 1X4 RECESSED FIXTURE
- 1X4 RECESSED EMERGENCY FIXTURE
- WALL SCONCE
- RECESSED DOWNLIGHT
- EMERGENCY BATTERY WALL MOUNTED LIGHT FIXTURE
- CEILING OR WALL MOUNTED EXIT SIGNS, CHEVRONS & SHADED AREA DETERMINES THE DIRECTION
- CONTROL SWITCH
DM = DIMMER
3 = 3-WAY
LV = LOW VOLTAGE
- WALL MOUNTED OCCUPANCY SENSOR/SWITCH
- CEILING MOUNTED OCCUPANCY SENSOR

ELECTRICAL SYMBOLS LEGEND: POWER

- MOTOR
- MOTOR WITH DISCONNECT
- DISCONNECT
- WALL MOUNTED CAPPED OUTLET BOX OR JUNCTION BOX
- DUPLEX RECEPTACLE
- QUADRUPLEX RECEPTACLE
- PANELBOARD

ELECTRICAL SYMBOLS LEGEND: SYSTEMS

- TELEPHONE/DATA OUTLET
PROVIDE & INSTALL 3/4" EMPTY CONDUIT
W/PULLSTRING
- CATV OUTLET

ELECTRICAL SYMBOLS LEGEND: OTHER

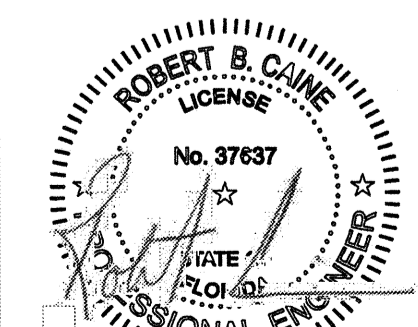
- LABEL OR PANEL-CIRCUIT
- LABEL OR KEYED NOTE
- EXISTING TO REMAIN LINETYPE
- EXISTING TO BE REMOVED (DEMO) LINETYPE
- EXISTING TO BE RELOCATED LINETYPE
- NEW LINETYPE

ELECTRICAL SYMBOLS LEGEND: ABBREVIATIONS

- A ABOVE COUNTER
- AG ABOVE COUNTER & GFI
- A.F.F. ABOVE FINISHED FLOOR
- B.F.C. BELOW FINISHED CEILING
- B.F.G. BELOW FINISHED GRADE
- CL CENTER LINE
- ECB ENCLOSED CIRCUIT BREAKER
- EM/E EMERGENCY
- ER EXISTING DEVICE TO REMAIN
- ERL EXISTING DEVICE RELOCATED
- G GROUND FAULT INTERRUPTER
- IG ISOLATED GROUND
- M.H. MOUNTING HEIGHT
- N NEW DEVICE
- NL NIGHT LIGHT
- T.C. TERMINAL CABINET
- T.S. TIME SWITCH
- U.O.N. UNLESS OTHERWISE NOTED
- WP. WEATHER PROOF
- XFMR. TRANSFORMER

DWG. NO.	DRAWING DESCRIPTION
E-0	LEGEND & GEN. NOTES
E-1.1	SITE PLAN
E-1	BUILDING PLAN
E-2	SCHEDULES

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY



NO.	REVISION	DATE
816-617		10/1/2016
816-617		11/02/2016

CONSULTANT:

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DRAWING TITLE:

ELECTRICAL
LEGEND &
GEN. NOTES

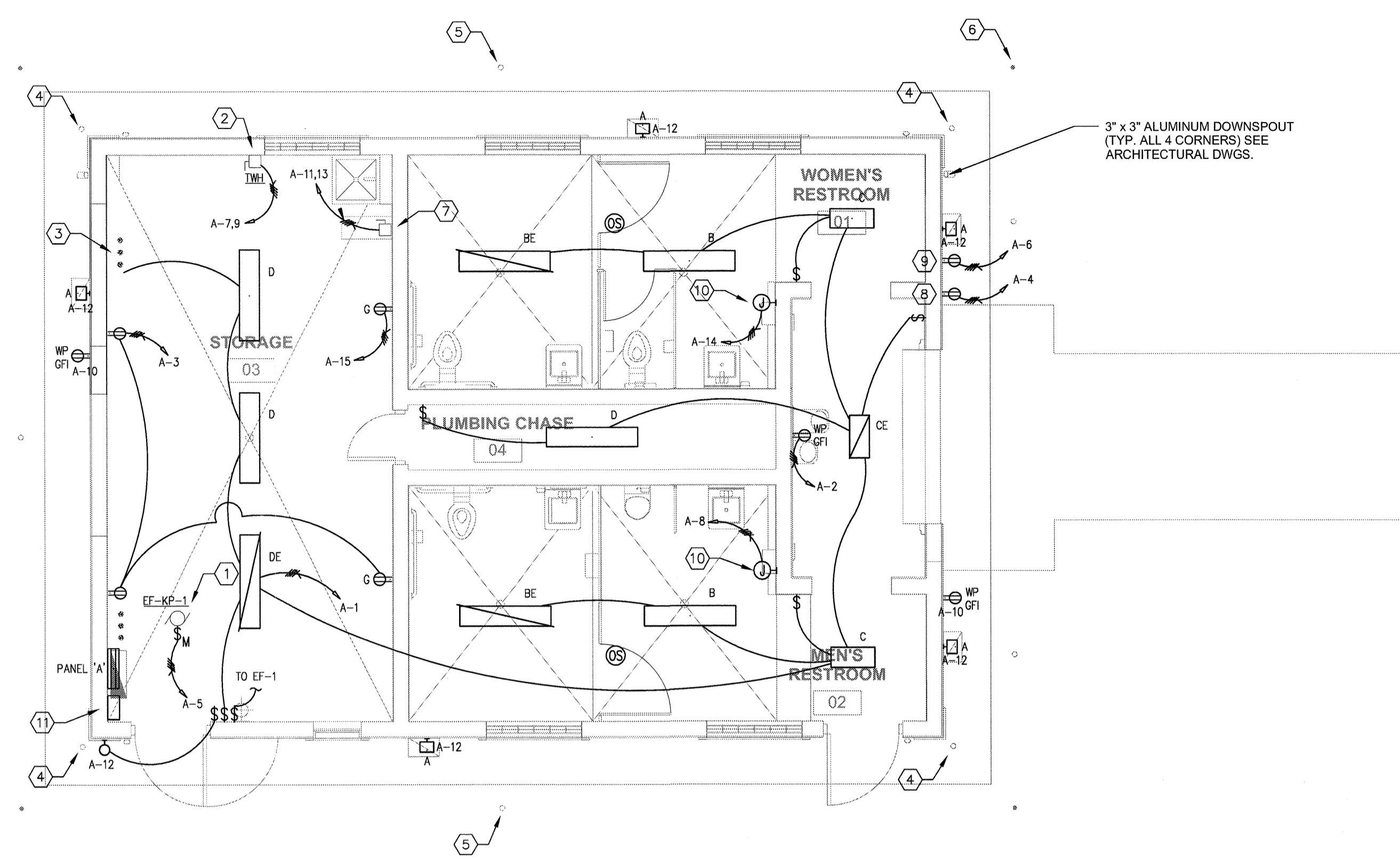
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SCALE:
PROJECT NO. 1533
SHEET:

E-0

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NO.	REVISION	DATE
BD-SET		7/21/2016
RE-SET		11/08/2016

CONSULTANT:

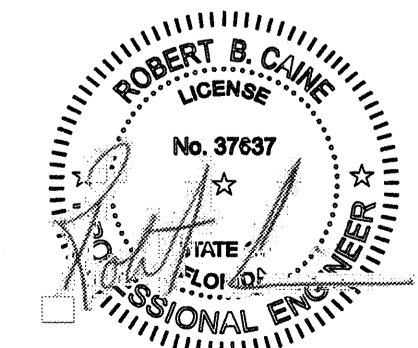


1 KELSEY PARK BUILDING PLAN - ELECTRICAL
E-1 SCALE: 1/4" = 1'-0"

- ELECTRICAL GENERAL NOTES:**
- CONNECT EMERGENCY LIGHTS AND EXIT SIGNS AHEAD OF LOCAL SWITCH AS REQUIRED.
 - CONNECT ALL EXTERIOR LIGHT FIXTURES (TYPE 'A') THRU TIME CLOCK AS REQUIRED.

- ELECTRICAL KEYED NOTES:**
- CONNECT EXHAUST FAN AS REQUIRED. COORDINATE W/ MECHANICAL.
 - CONNECT ELECTRIC WATER HEATER AS REQUIRED. COORDINATE W/ PLUMBING.
 - PROVIDE 3-1 1/4" C. STUBBED UNDERGROUND TO THIS LOCATION FOR FUTURE CONCESSION ELECTRICAL CONNECTIONS.
 - STUB 1-1" C. TO THIS LOCATION FOR FUTURE SECURITY CAMERA CONNECTION. VERIFY EXACT TERMINATION POINTS W/ CITY OF LAKE PARK PRIOR TO BEGINNING WORK.
 - STUB 1-1 1/4" C. TO 3' AWAY FROM BUILDING EXTERIOR WALL FOR FUTURE MISCELLANEOUS USE. VERIFY EXACT TERMINATION POINTS W/ CITY OF LAKE PARK PRIOR TO BEGINNING WORK.
 - STUB 1-1" C. TO THIS LOCATION FOR FUTURE IT CONNECTIONS. VERIFY EXACT TERMINATION POINTS W/ CITY OF LAKE PARK PRIOR TO BEGINNING WORK.
 - DISCONNECT FOR FUTURE ICE MACHINE. CONNECT AS REQUIRED.
 - INSTALL NEMA L5-20 GFCI RECEPTACLE RECESSED IN WALL AS REQUIRED. PROVIDE WEATHERPROOF COVER. VERIFY FINAL LOCATION W/ CITY PRIOR TO BEGINNING WORK.
 - INSTALL NEMA L5-30 GFCI RECEPTACLE RECESSED IN WALL AS REQUIRED. PROVIDE WEATHERPROOF COVER. VERIFY FINAL LOCATION W/ CITY PRIOR TO BEGINNING WORK.
 - JUNCTION BOX FOR HAND DRYER. CONNECT AS REQUIRED. VERIFY EXACT LOCATION AND REQUIREMENTS W/ CITY PRIOR TO BEGINNING WORK.
 - PROVIDE AND INSTALL NEW ASTRONOMICAL TIME CLOCK FOR EXTERIOR LIGHTING CONTROL.

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KELSEY PARK RESTROOM FACILITY
 LAKE SHORE DR
 LAKE PARK, FL.



DRAWING TITLE:
BUILDING PLAN - ELECTRICAL

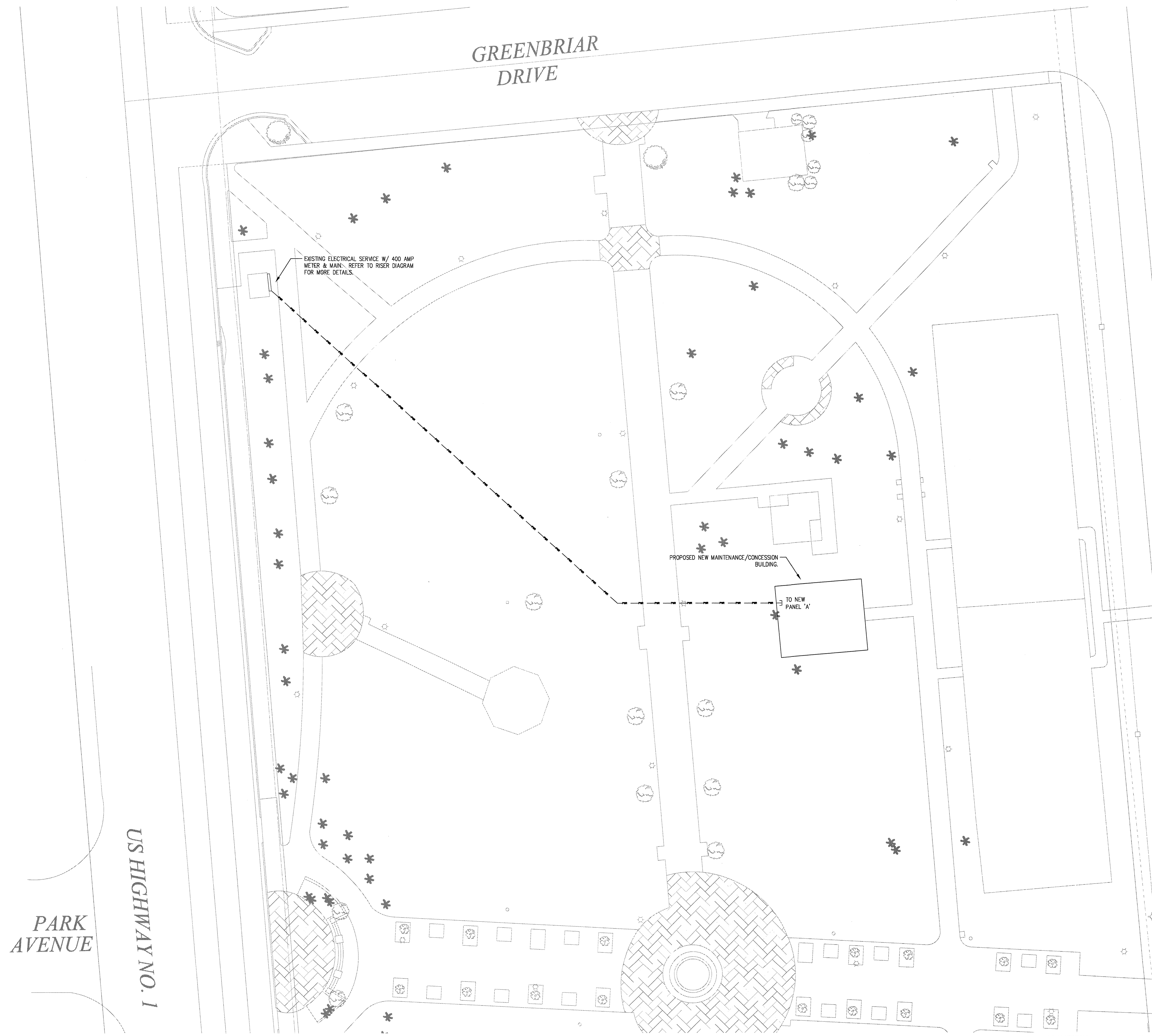
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80-881	RE-10	11/11/2016
RE-10		11/09/2016

CONSULTANT:



PARK AVENUE

US HIGHWAY NO. 1

GREENBRIAR DRIVE

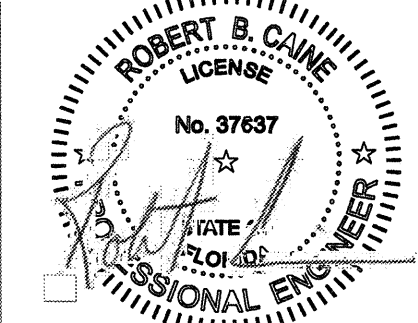
EXISTING ELECTRICAL SERVICE W/ 400 AMP METER & MAIN. REFER TO RISER DIAGRAM FOR MORE DETAILS.

PROPOSED NEW MAINTENANCE/CONCESSION BUILDING.

TO NEW PANEL 'A'

1 PARTIAL SITE PLAN - ELECTRICAL
SCALE: 1/20" = 1'-0"

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SITE PLAN - ELECTRICAL

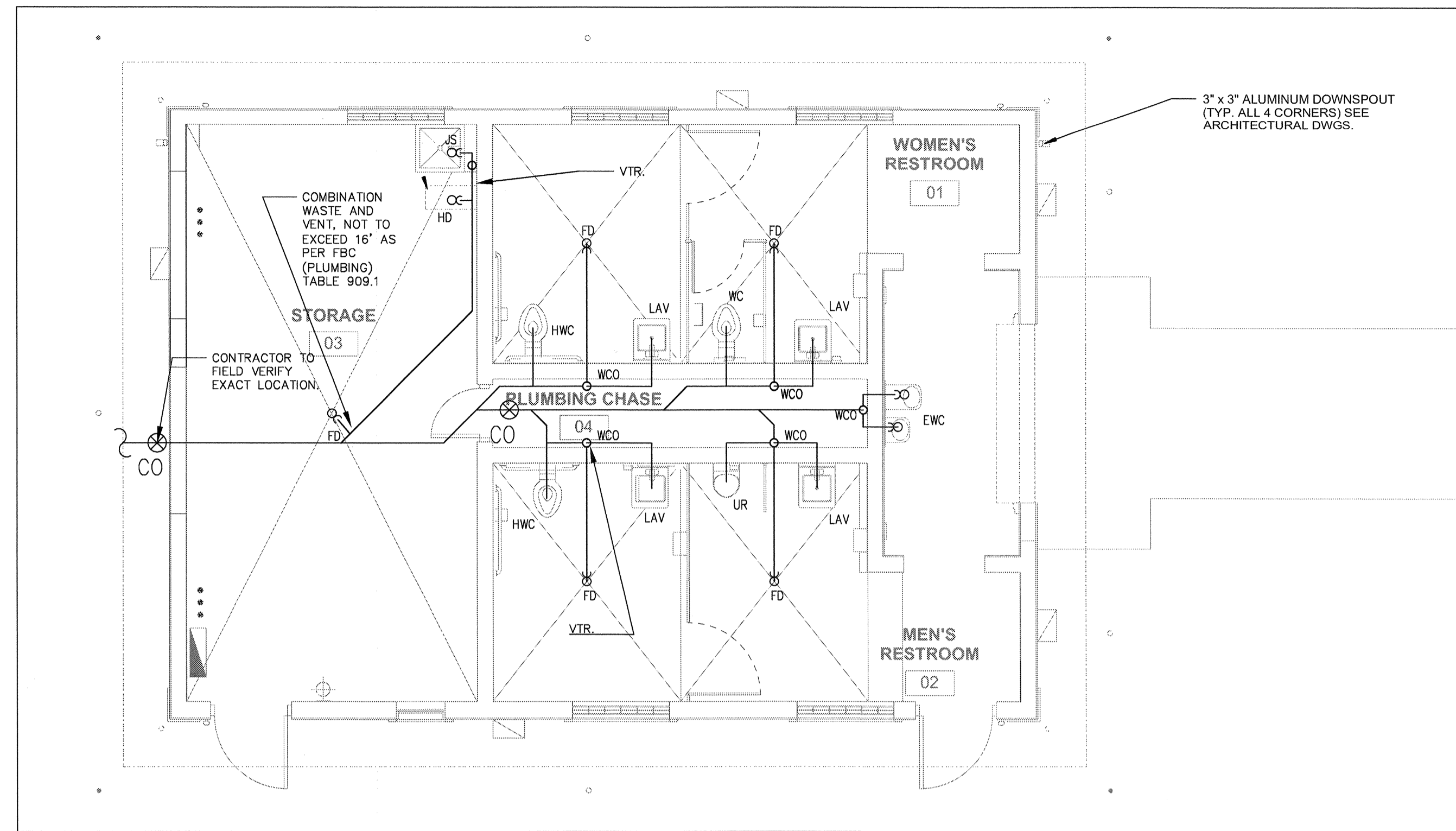
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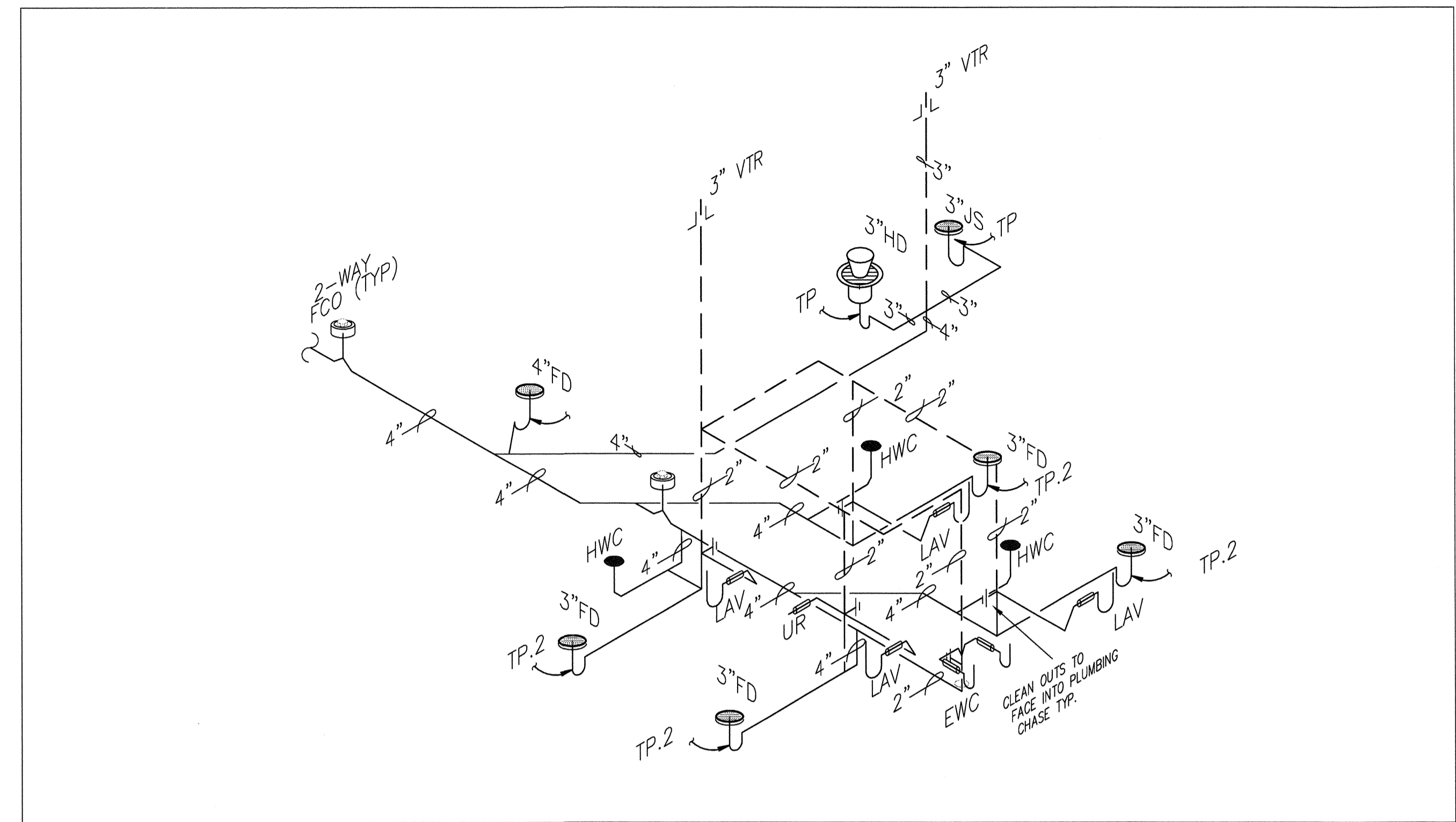
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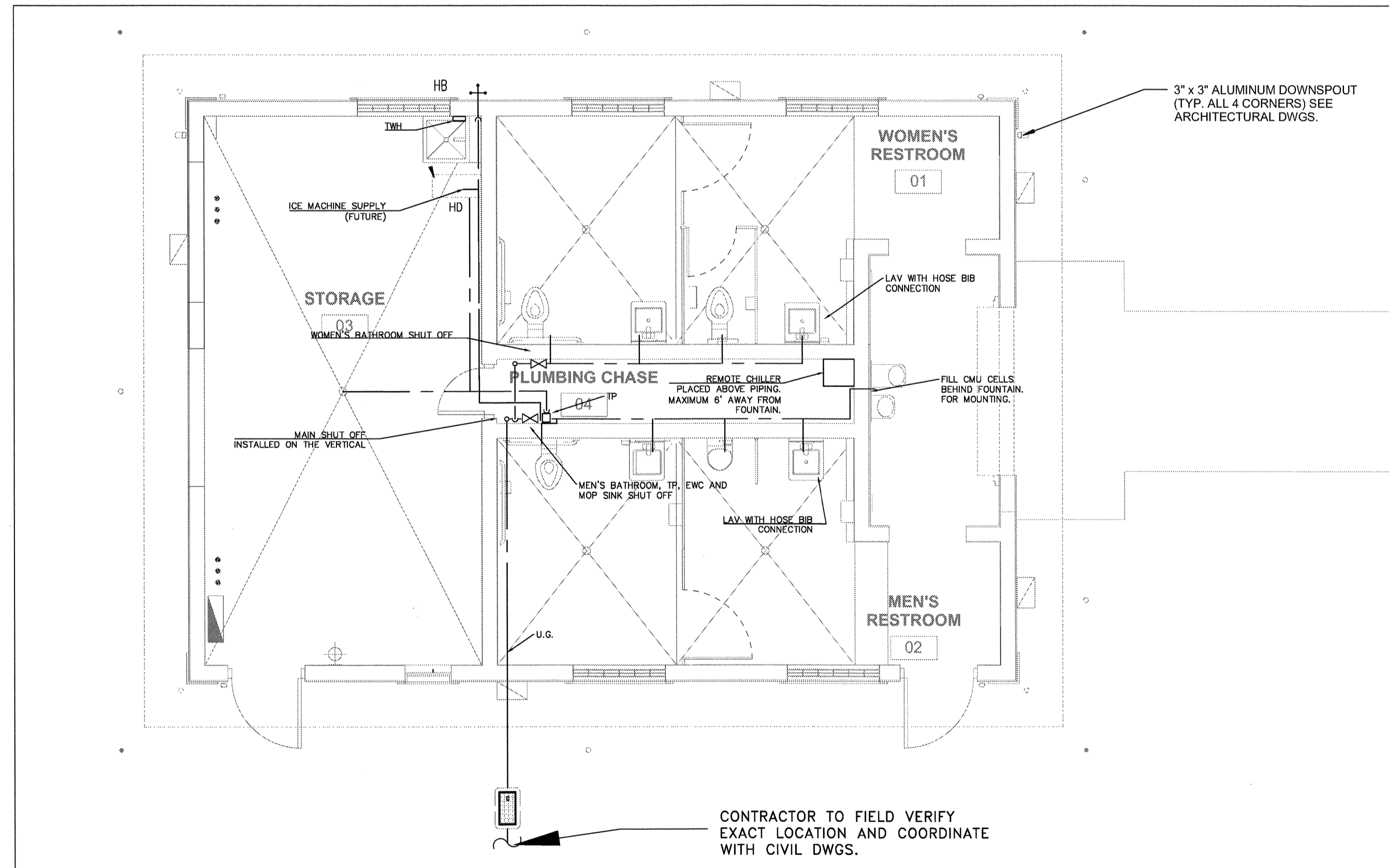
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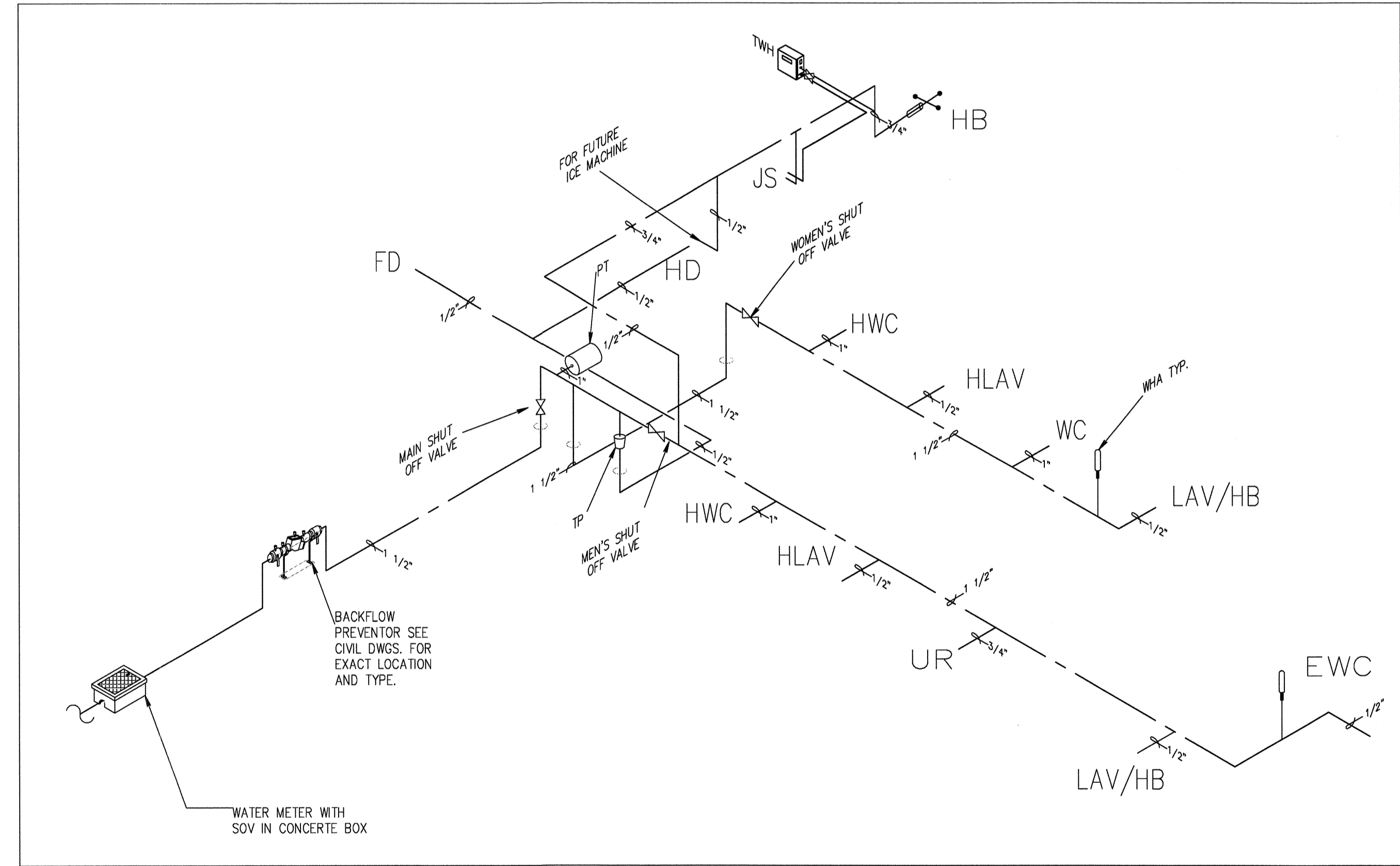
BUILDING PLAN - KELSEY PARK PLUMBING SANITARY
SCALE: 1/4" = 1'-0"



BUILDING PLAN - KELSEY PARK SANITARY ISOMETRIC
SCALE: N.T.S.

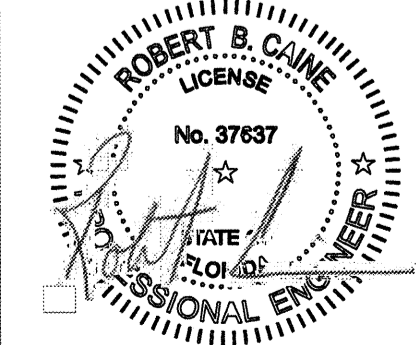


BUILDING PLAN - KELSEY PARK PLUMBING WATER
SCALE: 1/4" = 1'-0"



BUILDING PLAN - KELSEY PARK WATER ISOMETRIC
SCALE: N.T.S.

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DRAWING TITLE:
BUILDING PLAN - PLUMBING

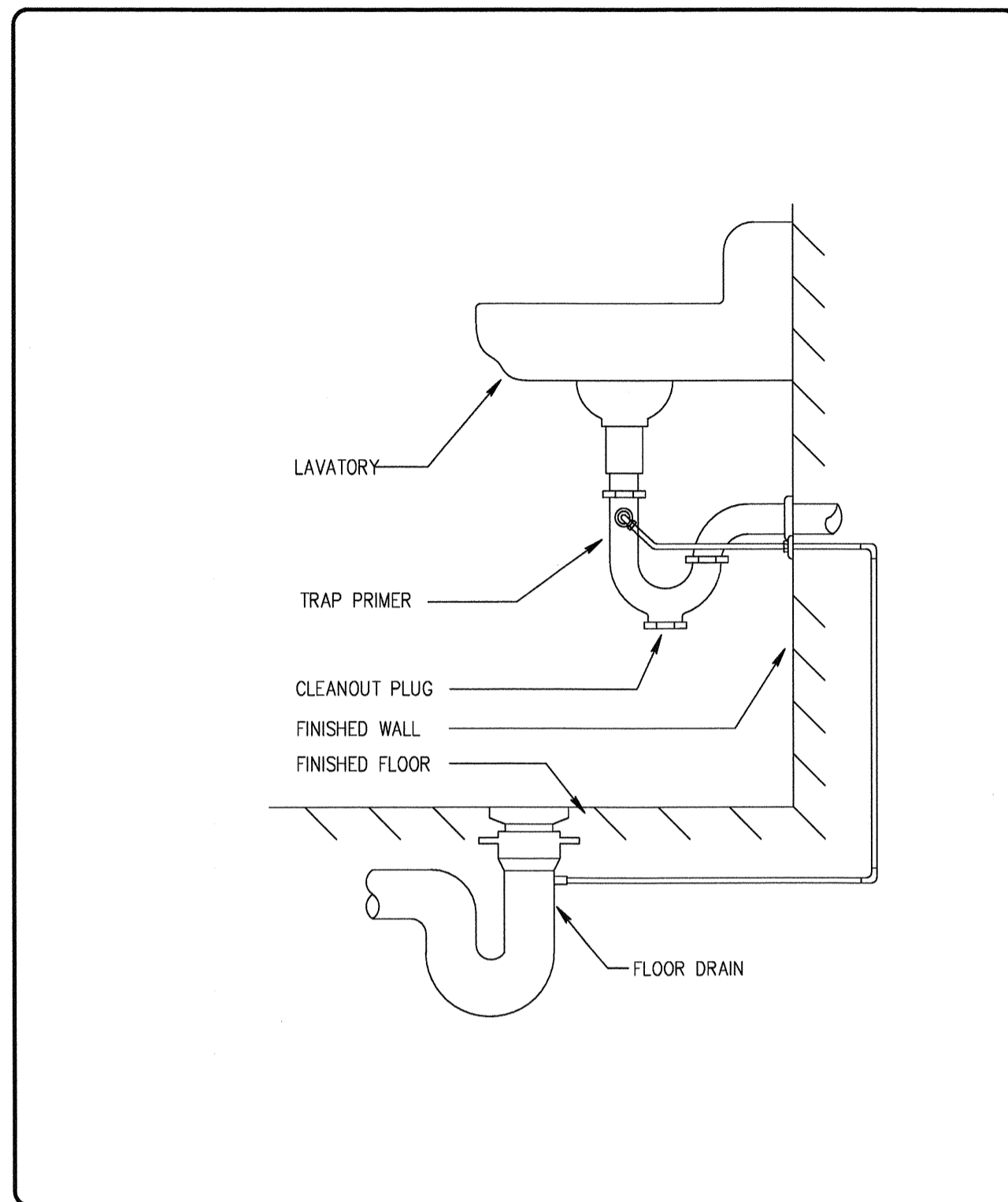
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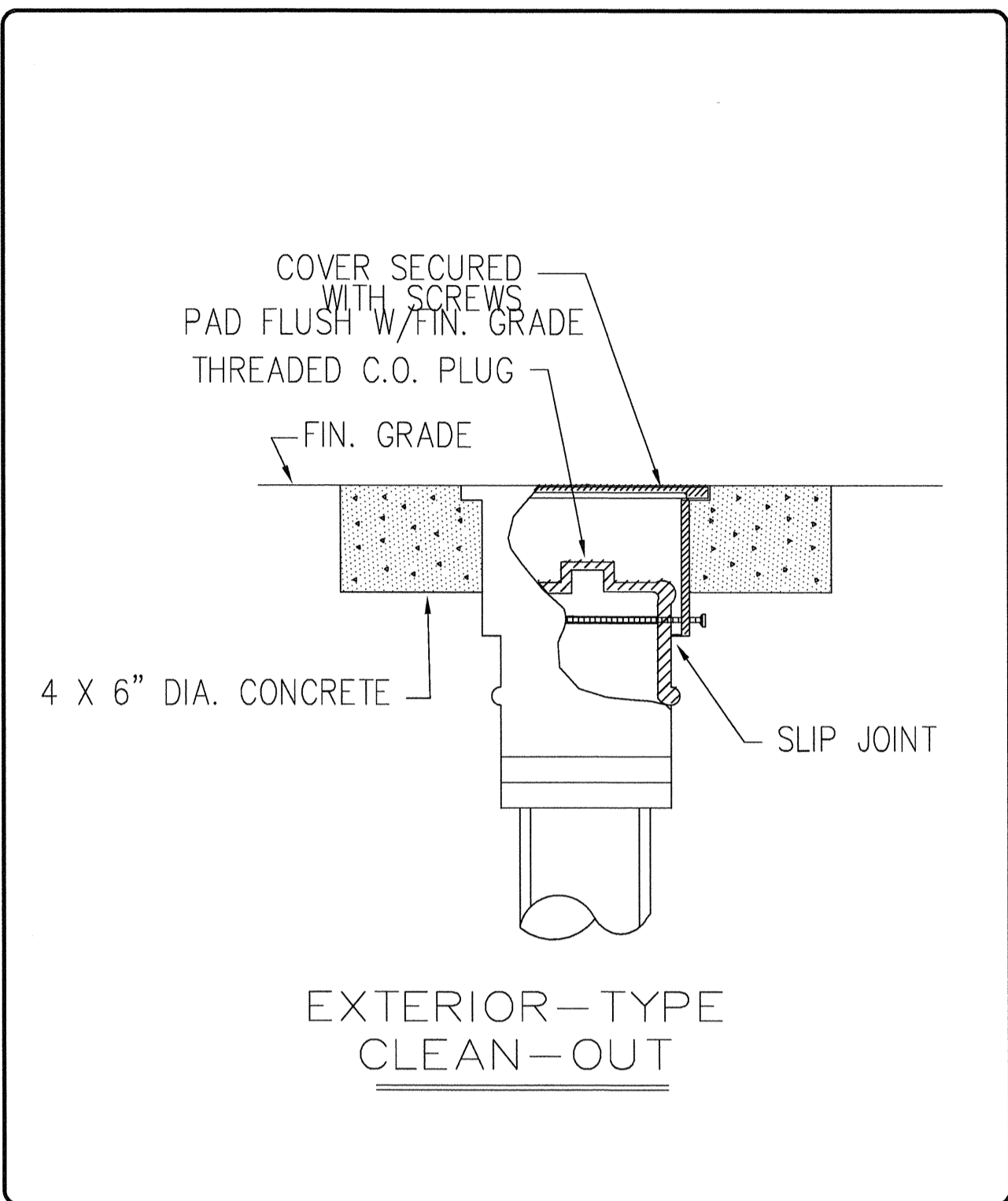
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REV'D		11/02/2016

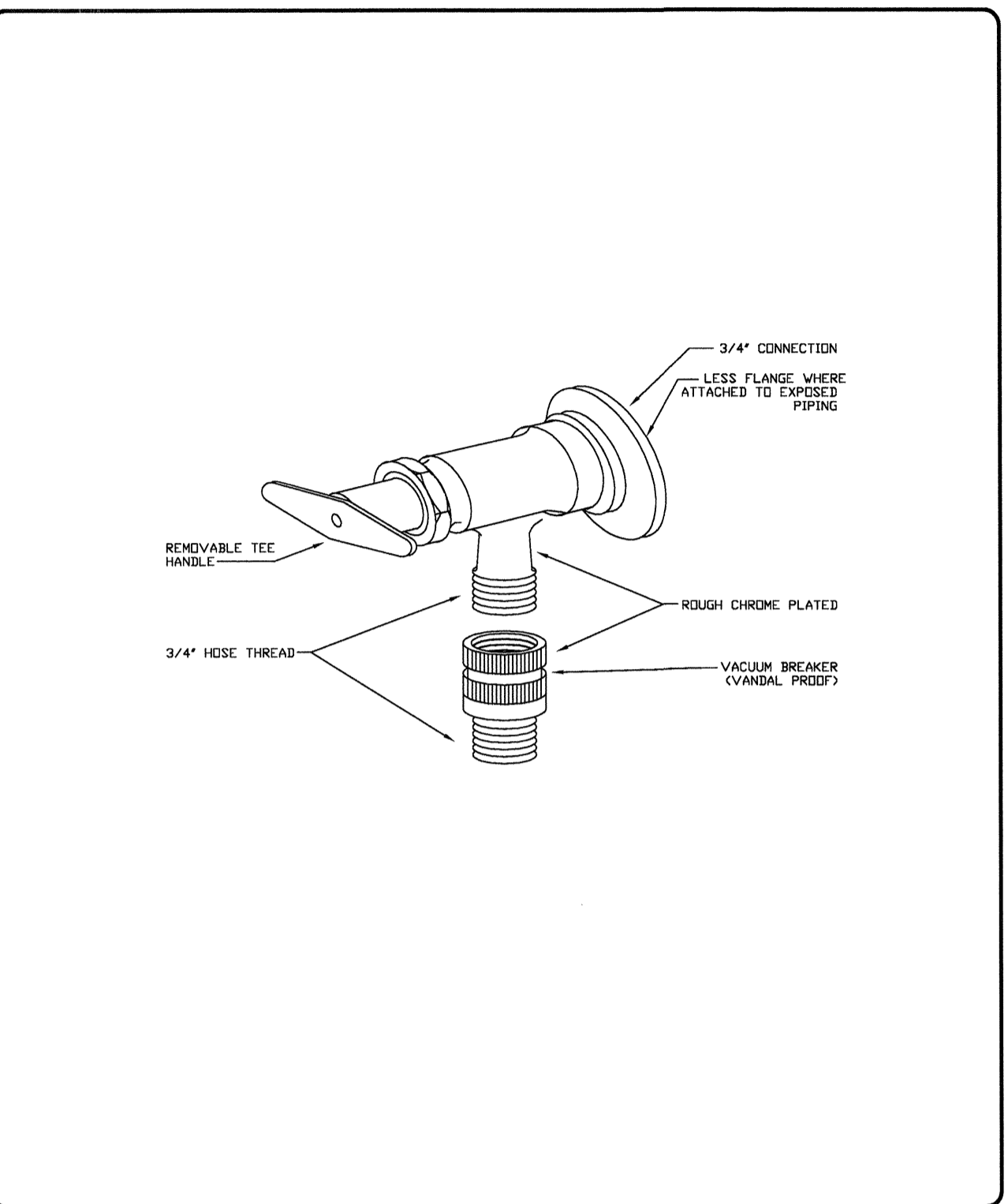
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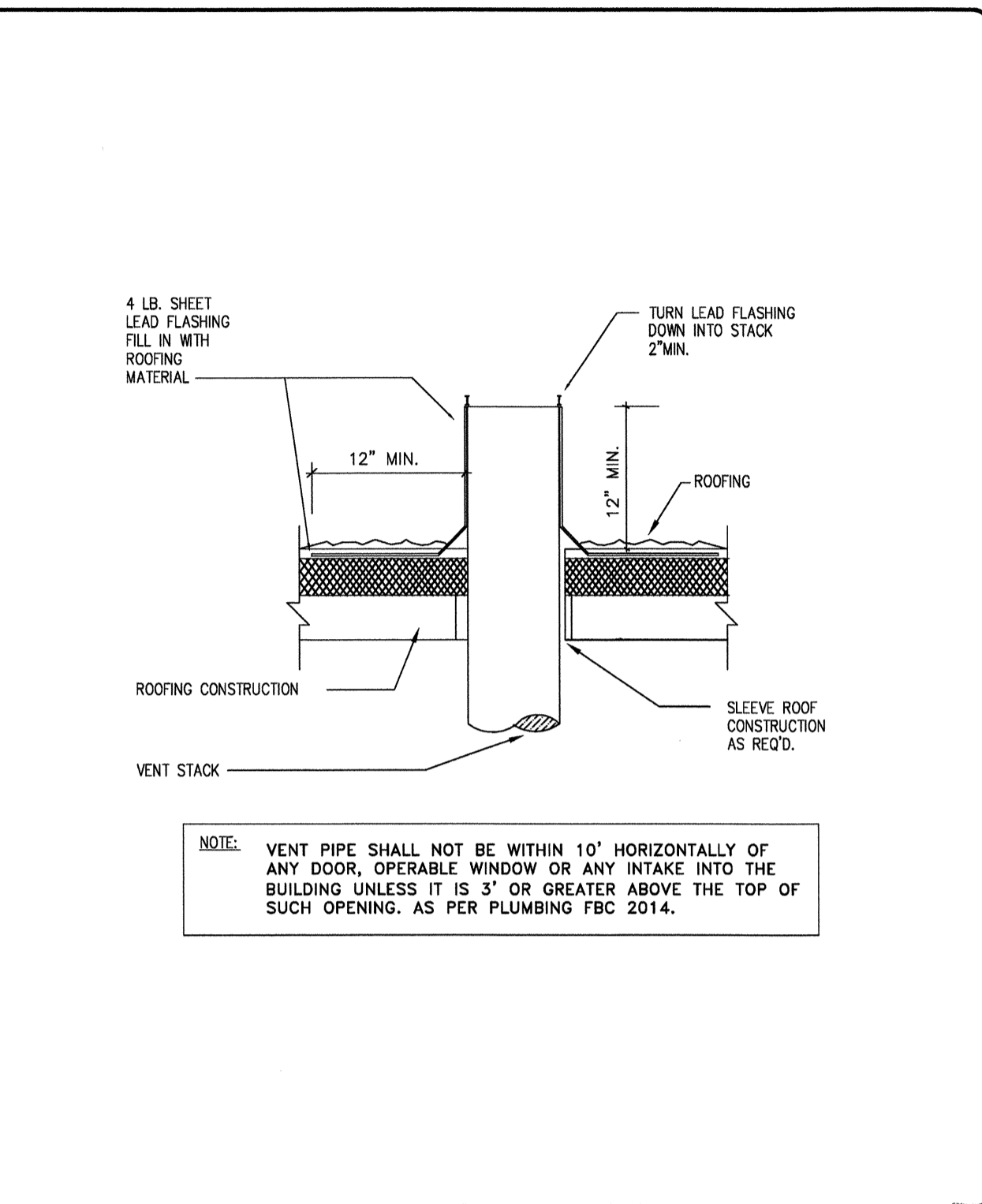
TRAP PRIMER DETAIL (WATER SAVER)



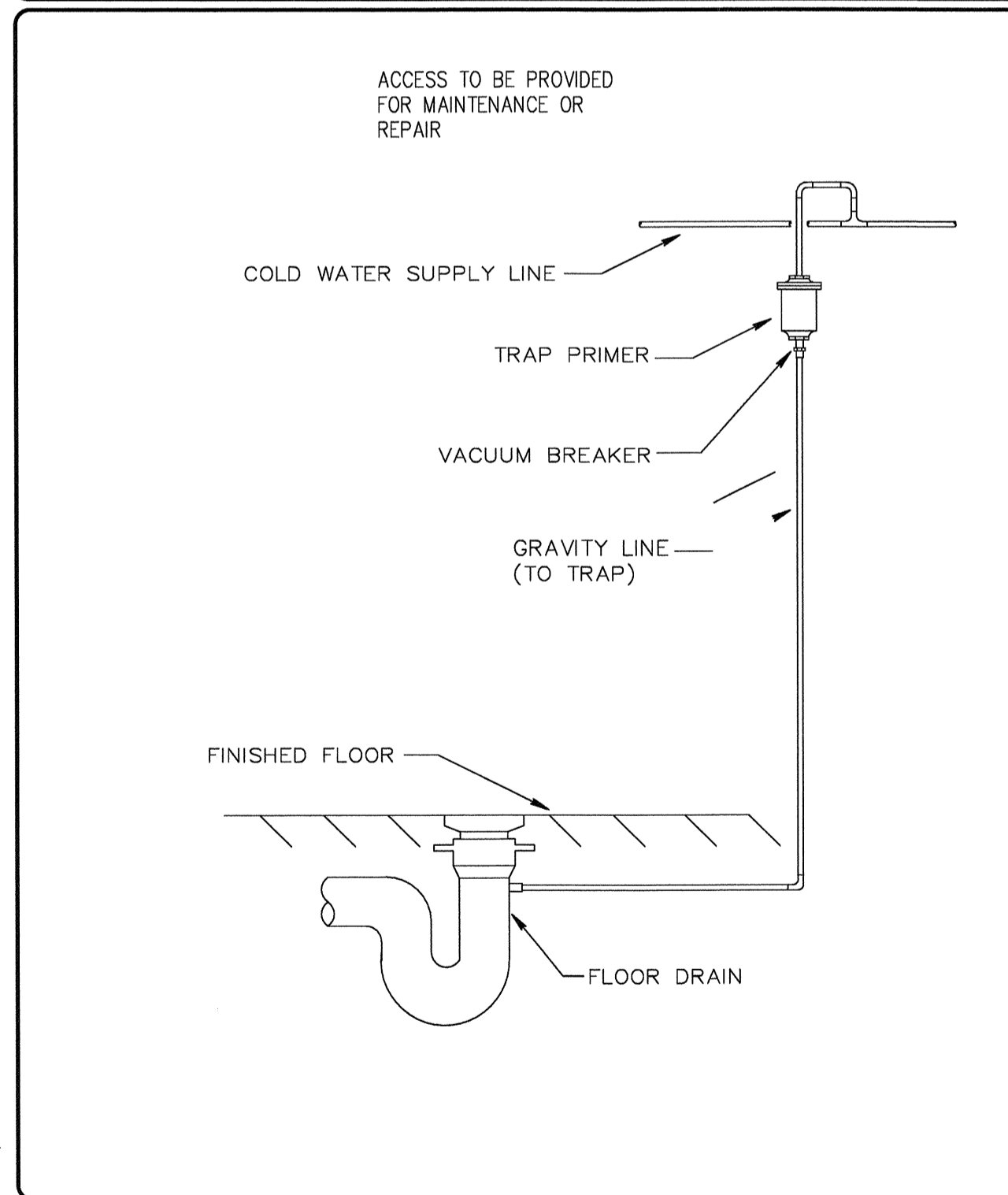
TYPICAL CLEANOUT DETAIL
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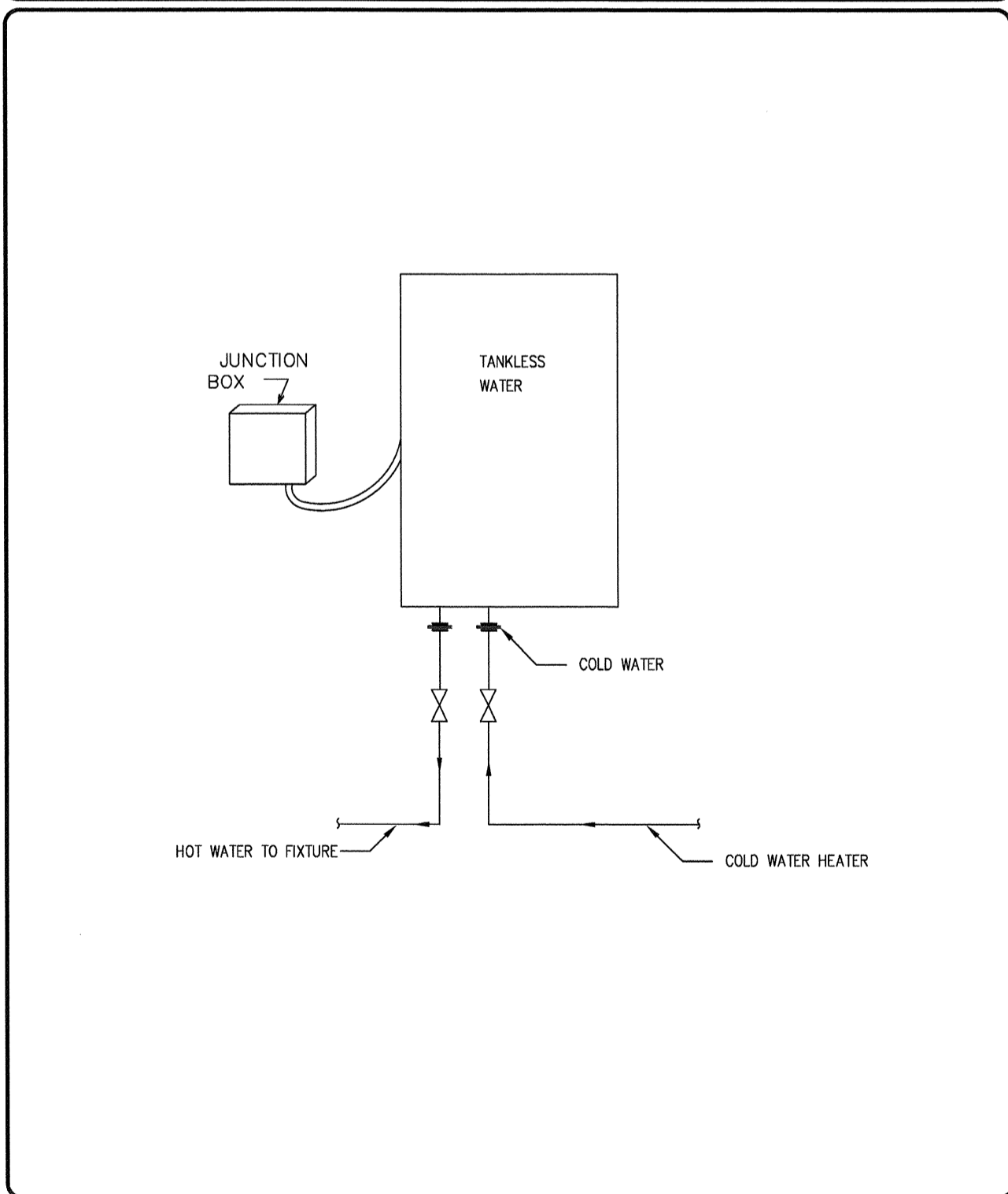
HOSE BIBB DETAIL
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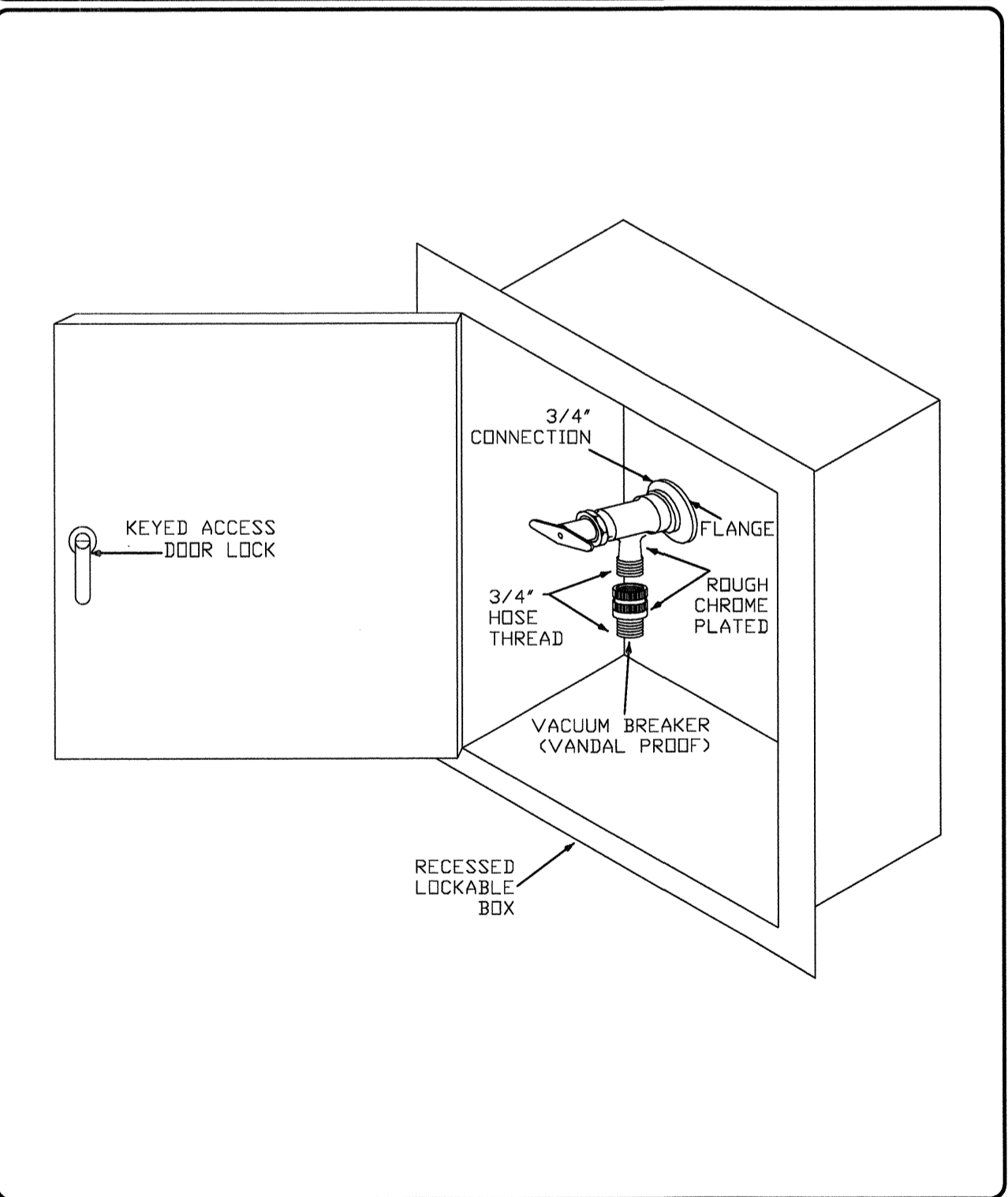
VENT THRU ROOF DETAIL
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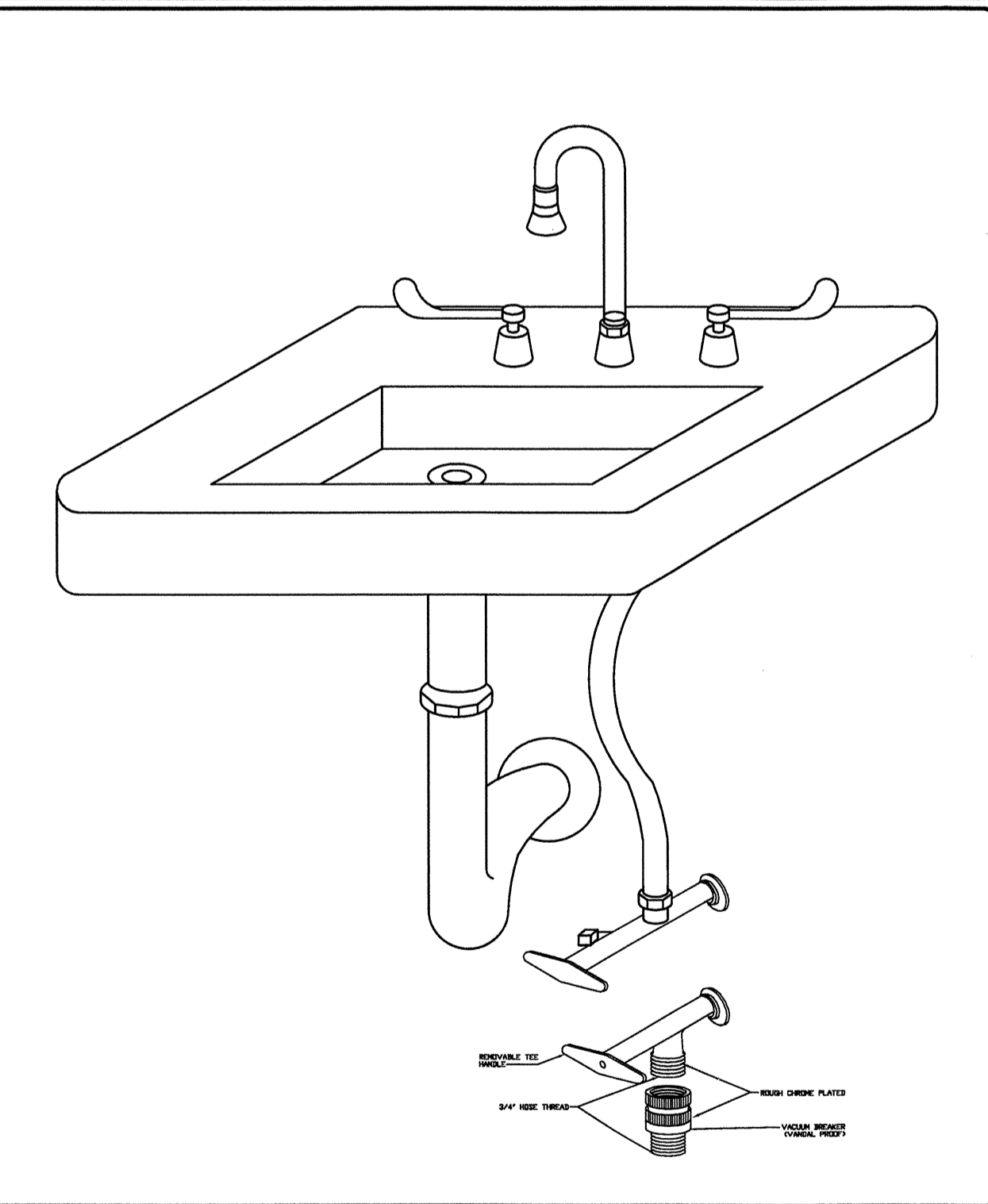
TRAP PRIMER DETAIL (PRESSURE-DIFFERENTIAL)



TANKLESS WATER HEATER
N.T.S.

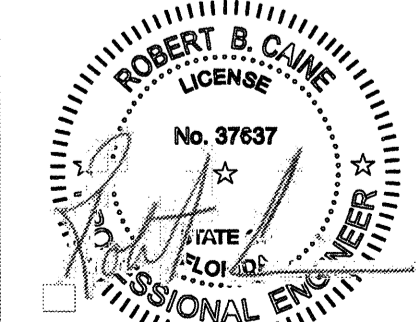


LOCKING RECESSED BOX HOSE BIBB DETAIL
N.T.S.



UNDER THE SINK HOSE BIBB DETAIL
N.T.S.

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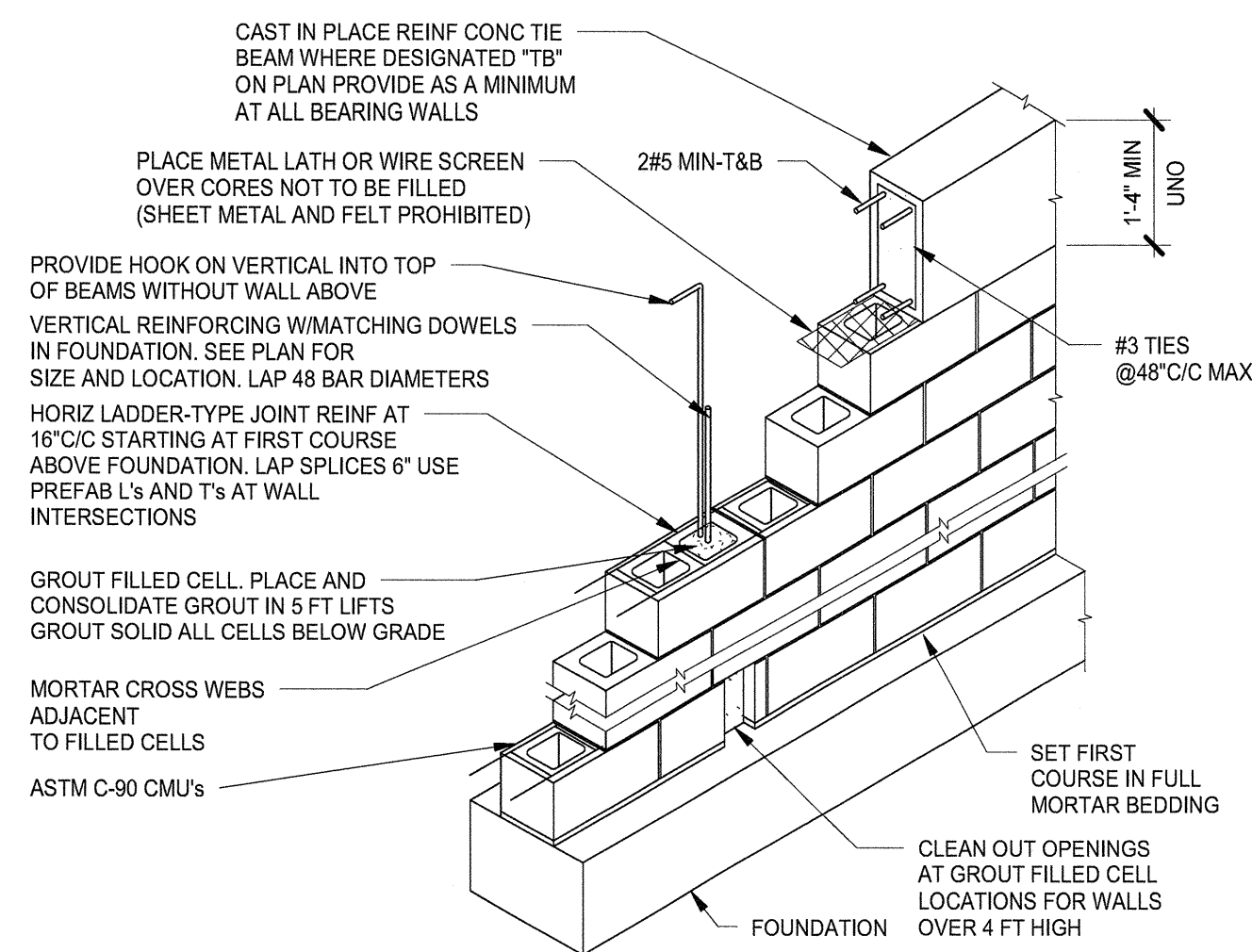
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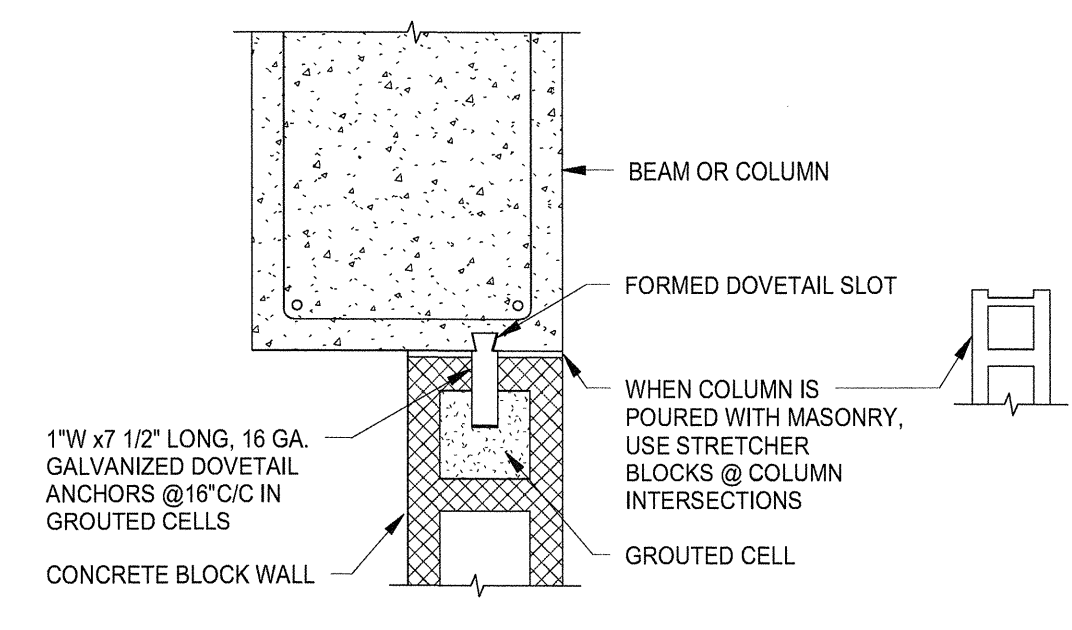
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PLUMBING-DETAILS

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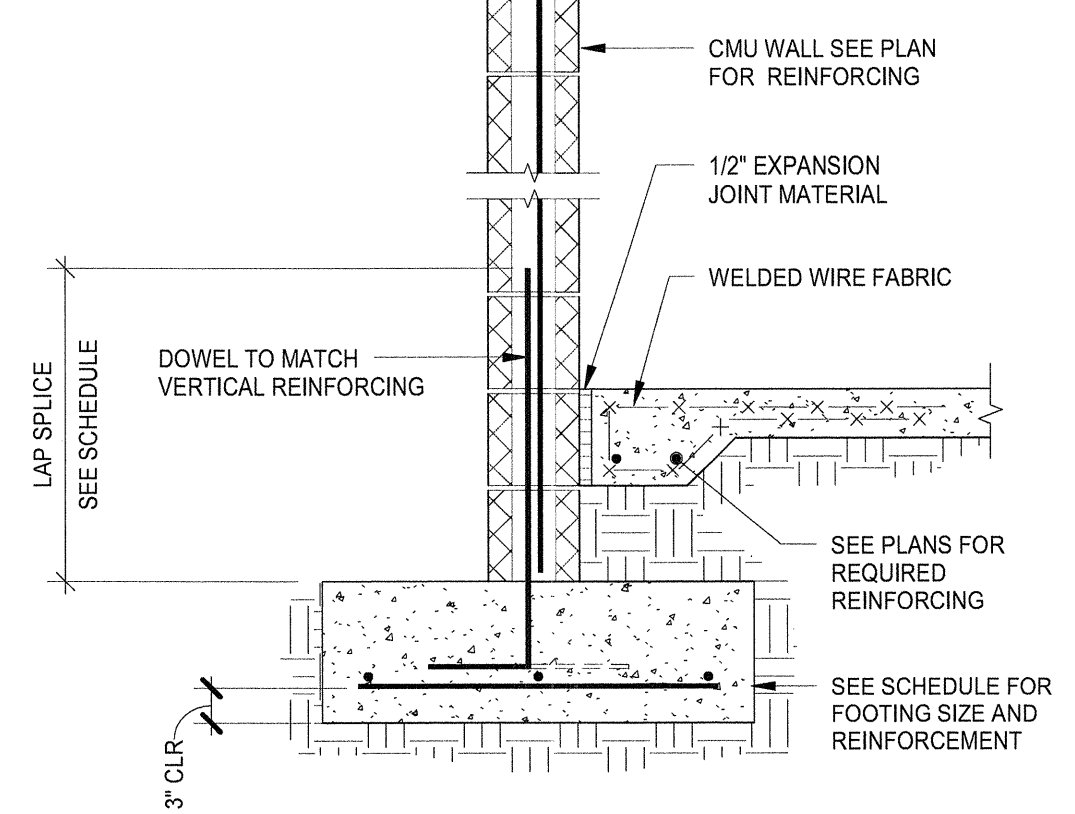
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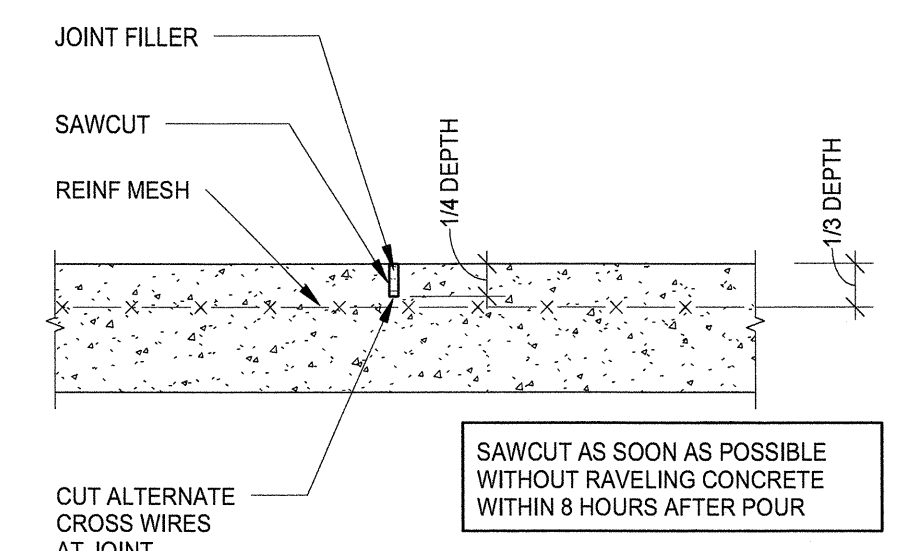
1 TYP. MASONRY WALL CONSTRUCTION DETAIL FOR RUNNING BOND LAYOUT
S 1.2 1/2" = 1'-0"



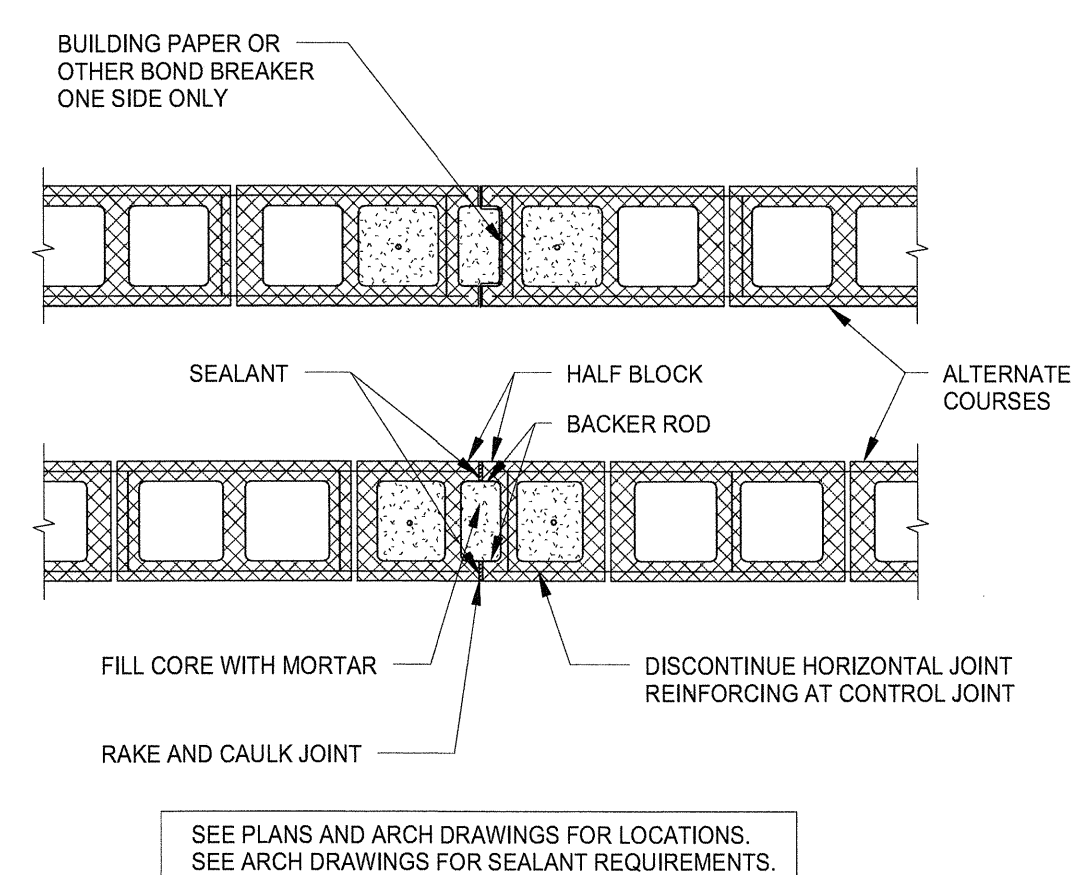
2 TYP. DOVETAIL ANCHOR DETAIL
S 1.2 3/4" = 1'-0"



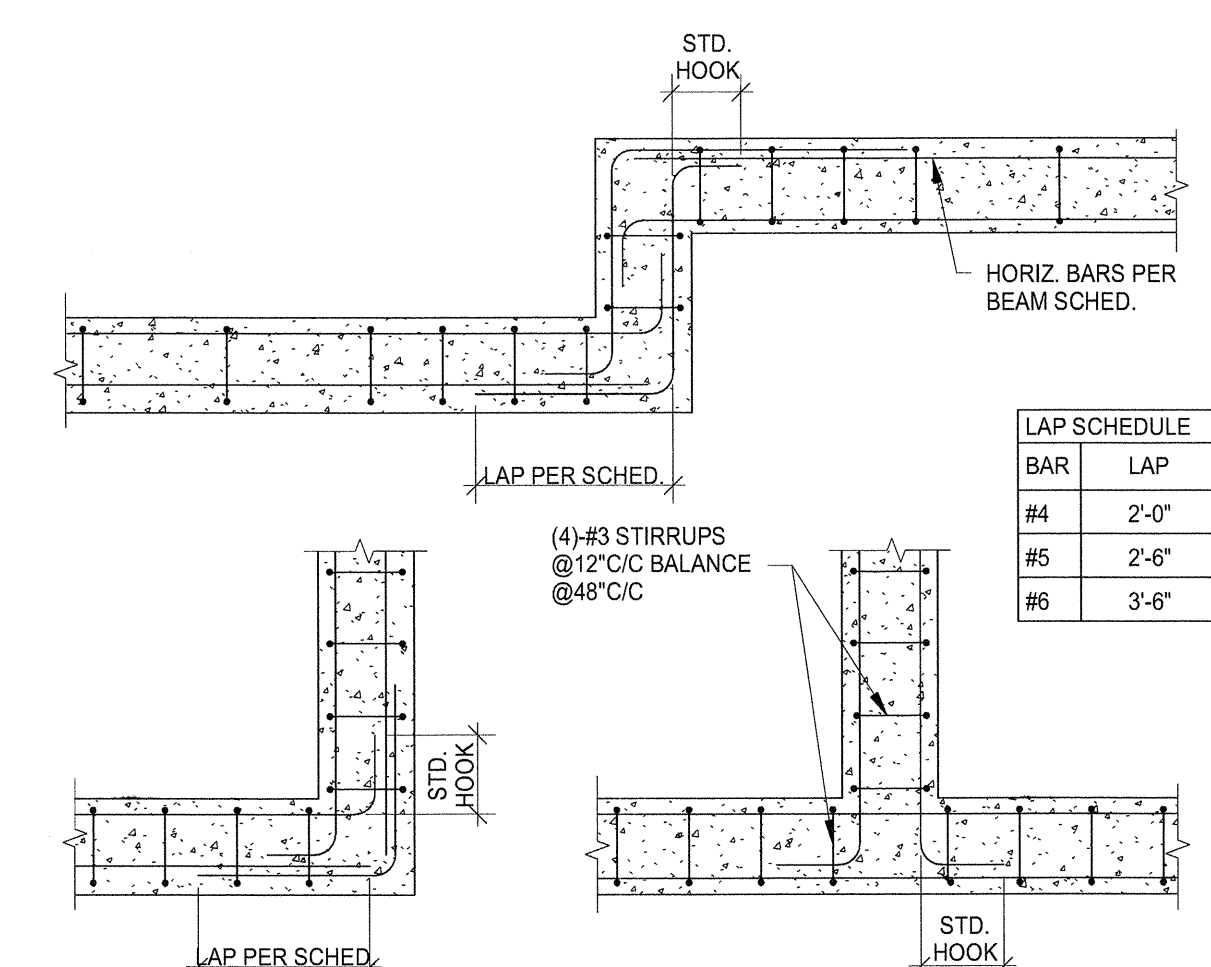
3 TYP. EXTERIOR WALL FOOTING SECTION
S 1.2 3/4" = 1'-0"



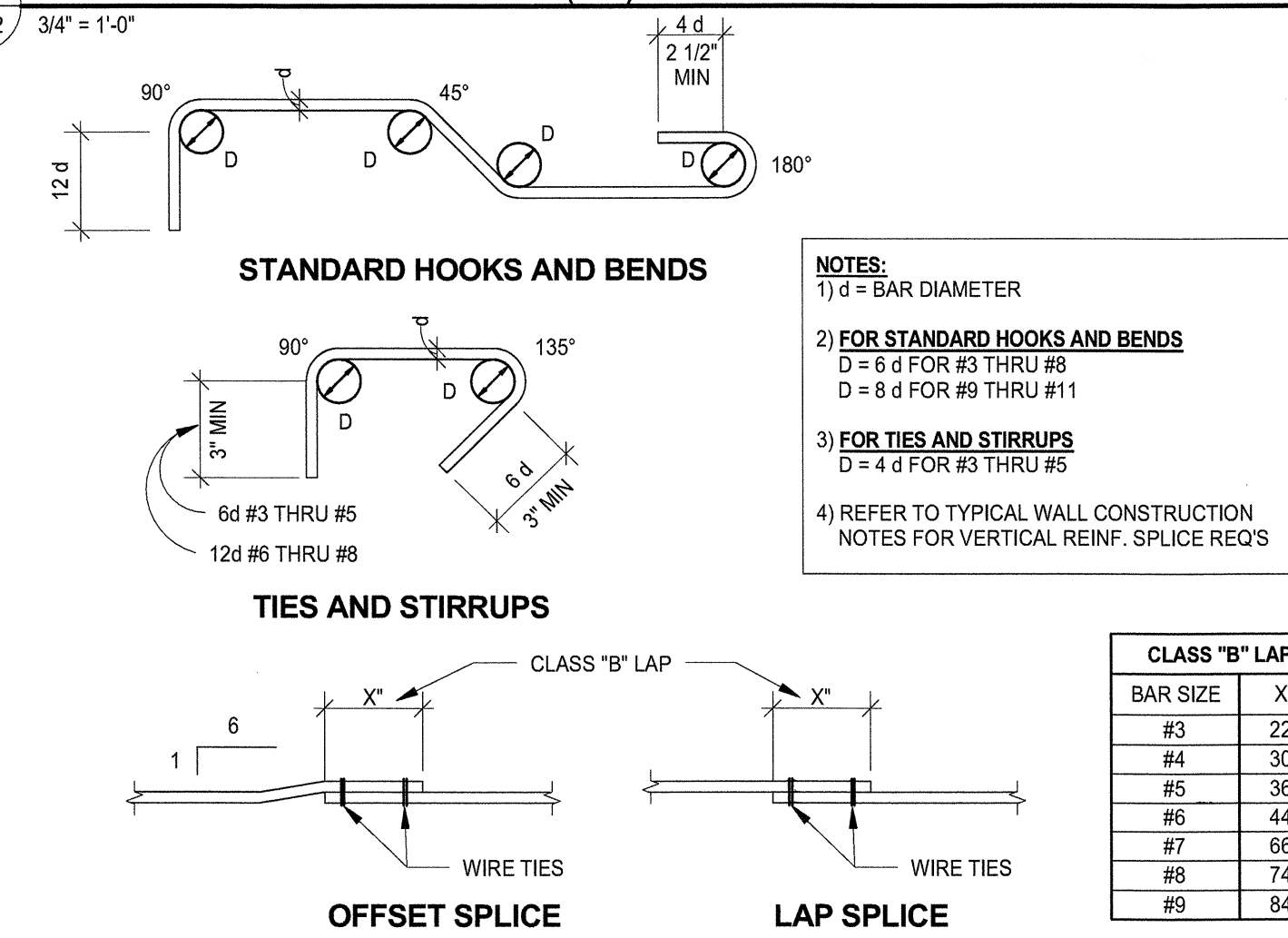
4 TYP. CONTRACTION JOINT (CJ) DETAIL
S 1.2 3/4" = 1'-0"



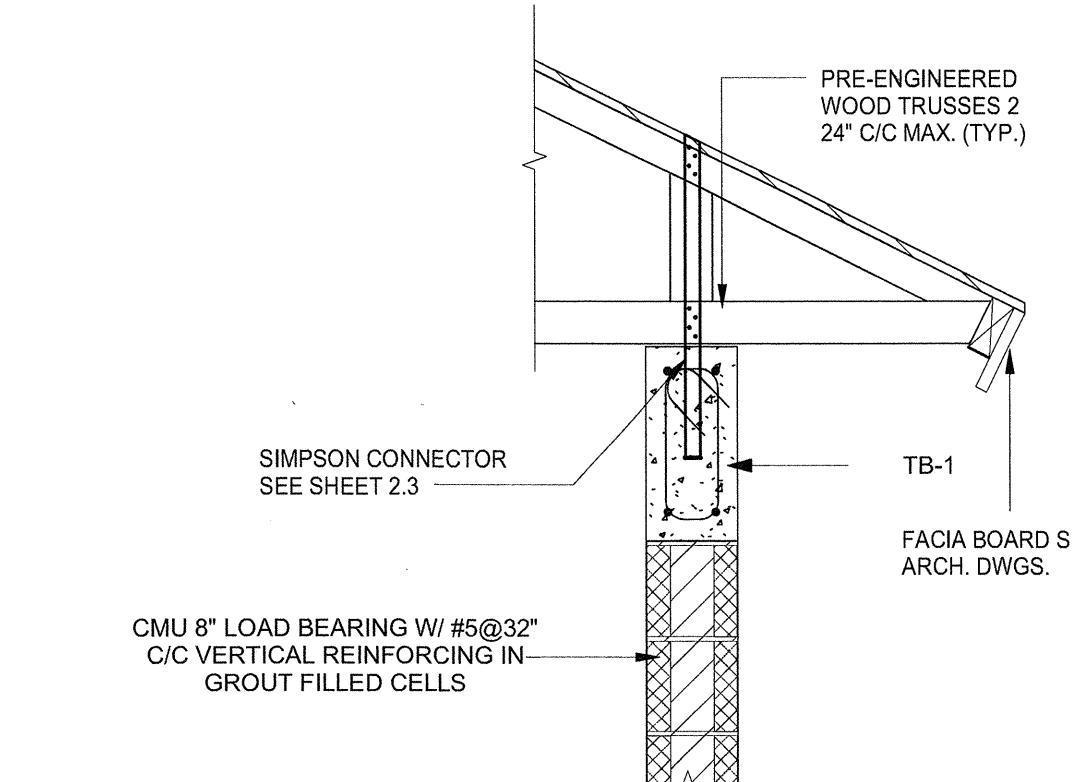
5 TYP. MASONRY CONTROL JOINT
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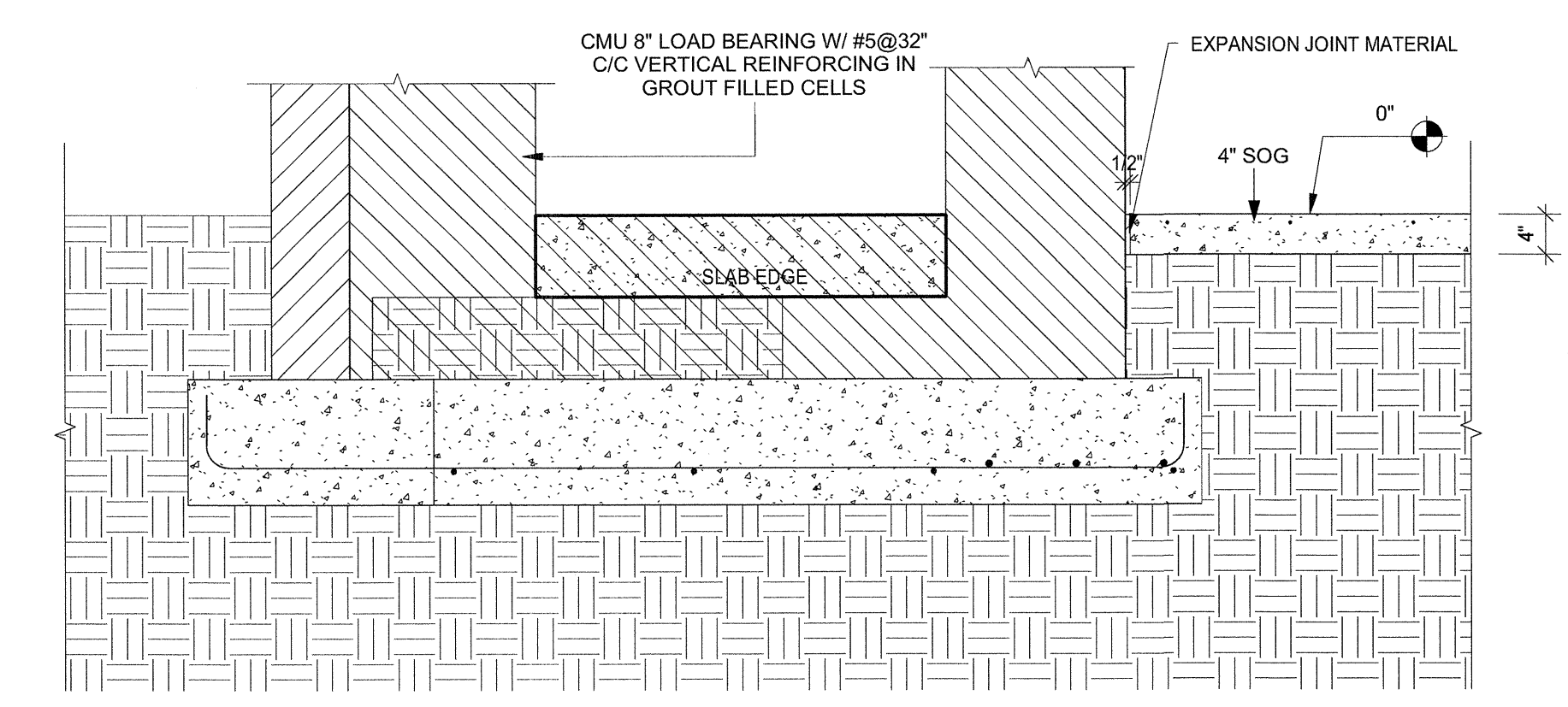
6 TYP. TIE BEAM CORNER DETAILS
S 1.2 3/4" = 1'-0"



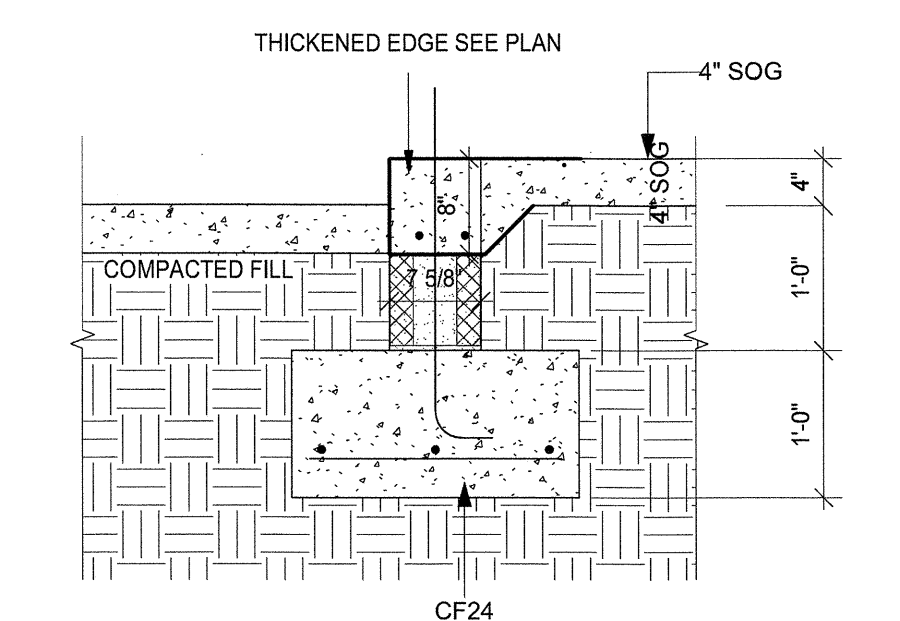
7 TYP. CONCRETE REINFORCING DETAIL
S 1.2 3/4" = 1'-0"



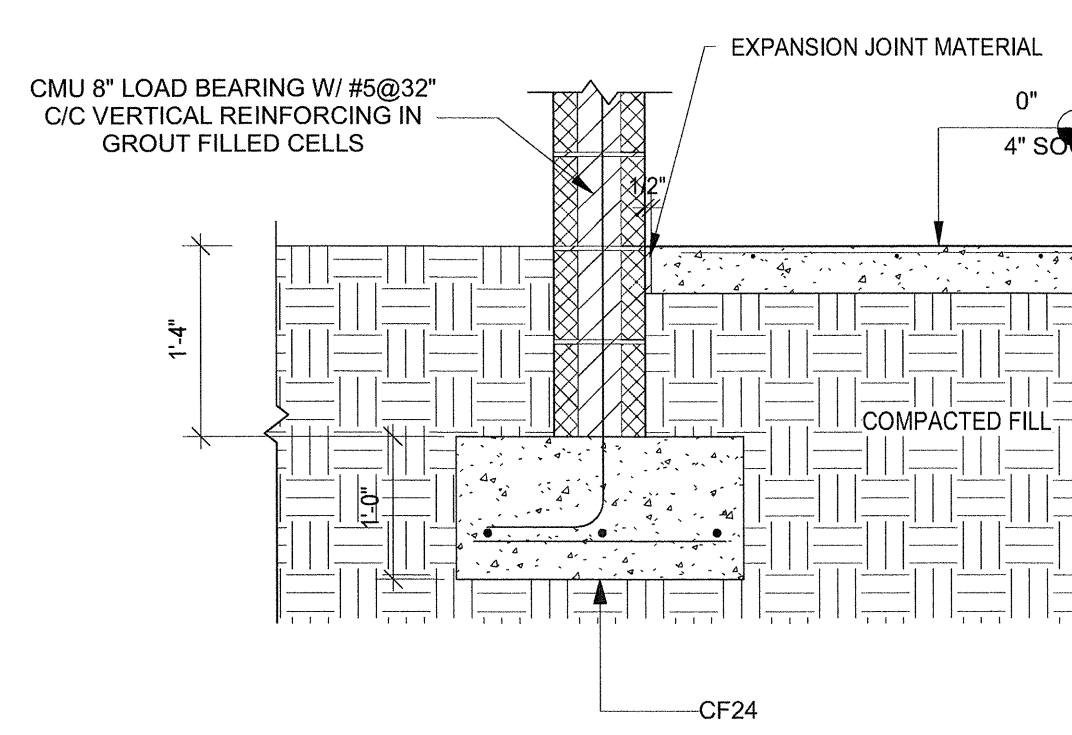
8 8/S 2.1
S 1.2 3/4" = 1'-0"



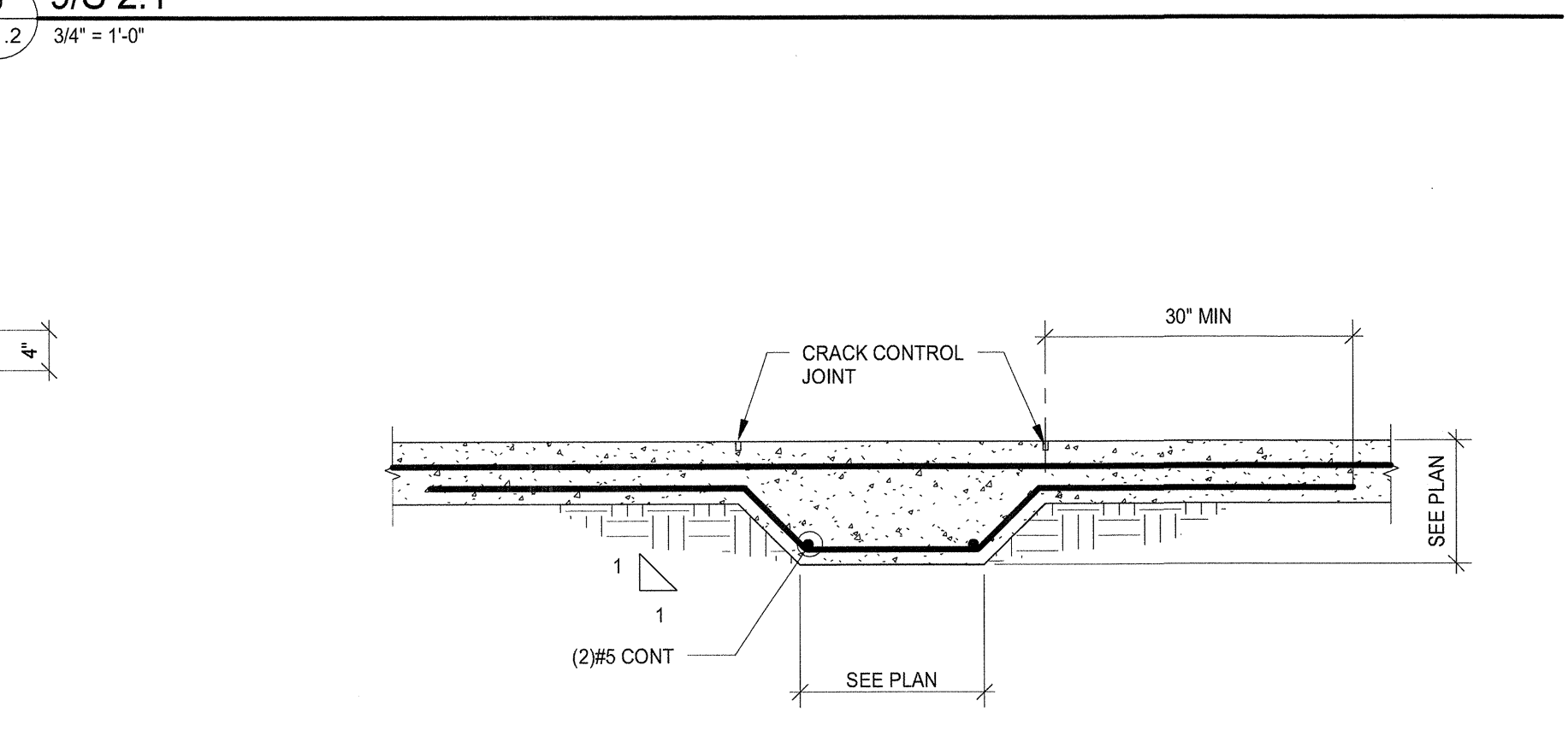
9 9/S 2.1
S 1.2 3/4" = 1'-0"



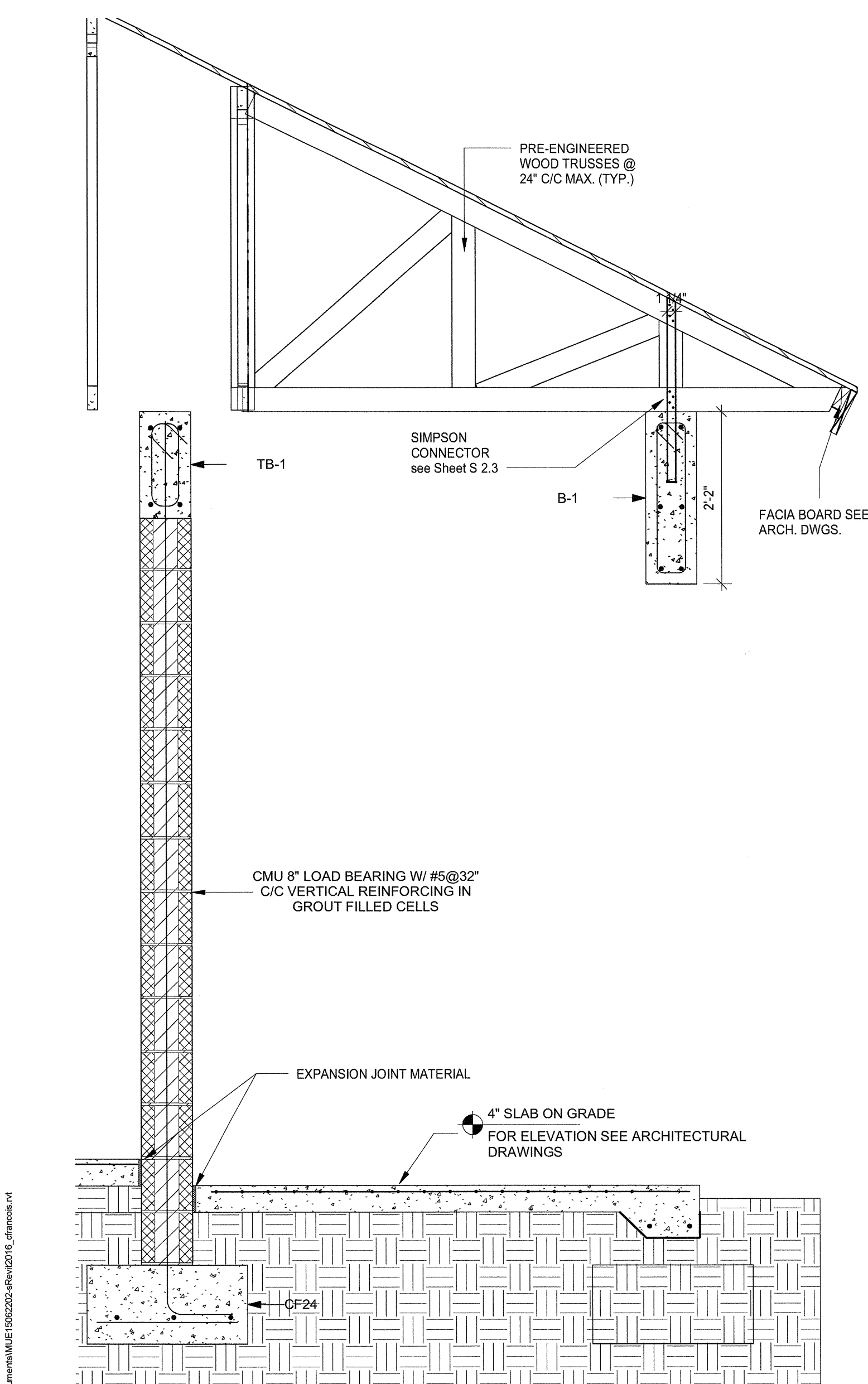
10 10/S 2.1
S 1.2 3/4" = 1'-0"



12 12/S 2.1
S 1.2 3/4" = 1'-0"



13 TYP. SECTION THRU THICKENED SLAB
S 1.2 3/4" = 1'-0"



11 11/S 2.1
S 1.2 3/4" = 1'-0"

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MUEngineers, Inc.
Certificates of Authorization No. 29348
CONSULTING STRUCTURAL ENGINEERS
3440 N.E. 12TH AVENUE
OAKLAND PARK, FL 33334
PH: 954-324-4730
FAX: 954-653-4170

MARCUS O. UNTERWEGER
FL P.E. # 63960
NOVEMBER 11, 2016

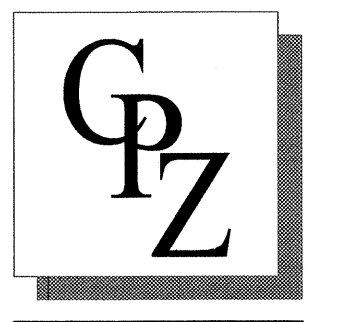
NOTE: MUE15062202
THESE DRAWINGS, ALONG WITH THE ARCHITECTURAL DRAWINGS, AND PROJECT MANUAL CONSTITUTE A SINGULAR CONTRACT DOCUMENT AND MUST BE USED TOGETHER IN THEIR ENTIRETY IN THE CONSTRUCTION OF THIS PROJECT.

NO.	REVISION	DATE
BID SET		07/03/2016

CONSULTANT:

Kelsey Park - Restroom Facility
Lake Shore Dr., Lake Park, FL

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DRAWING TITLE:

Sections and Details

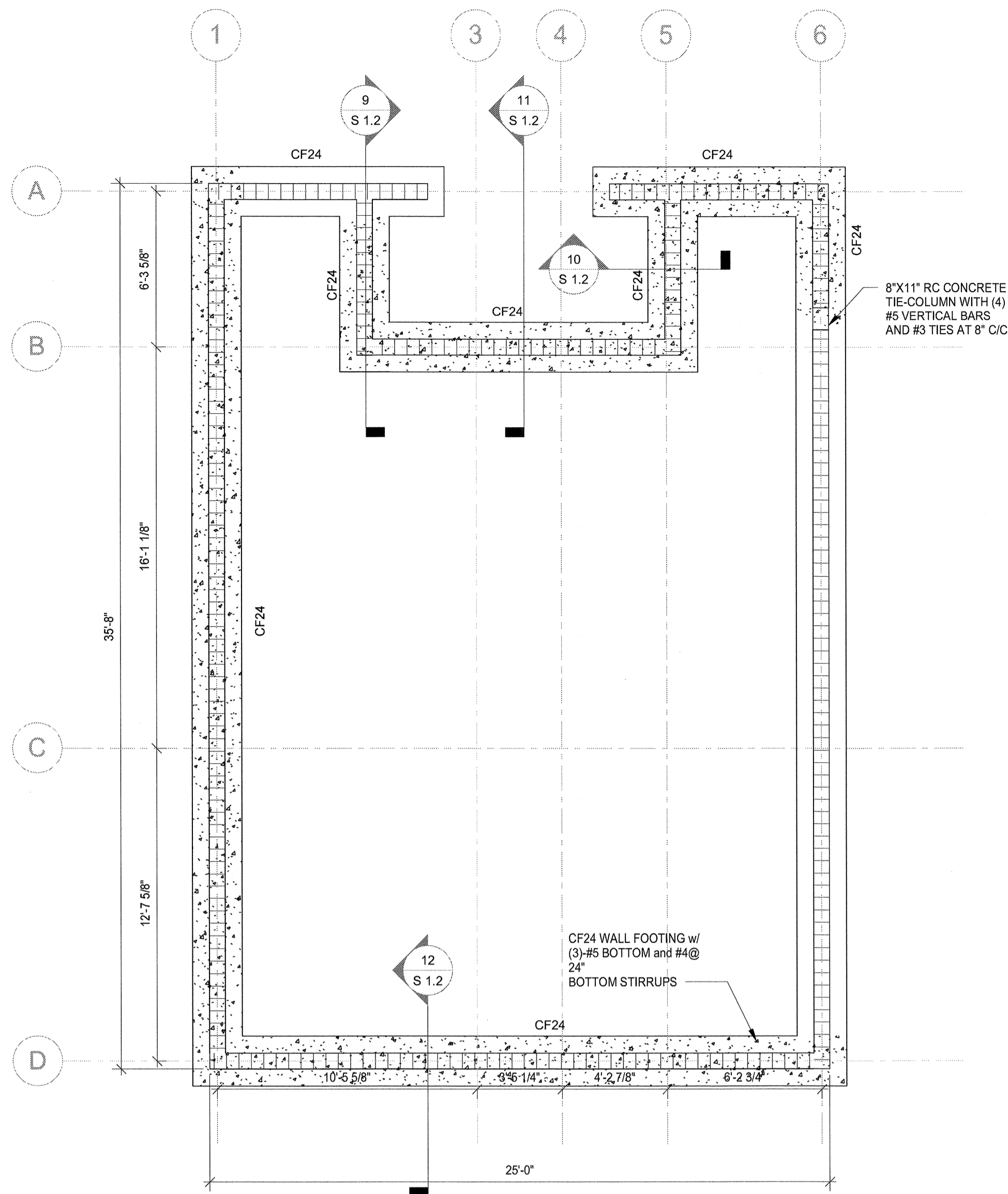
DRAWN: MUE
CHECKED: MJU
DATE: 07/31/2016
SCALE: As indicated

PROJECT NO.
MUE15062202
SHEET:

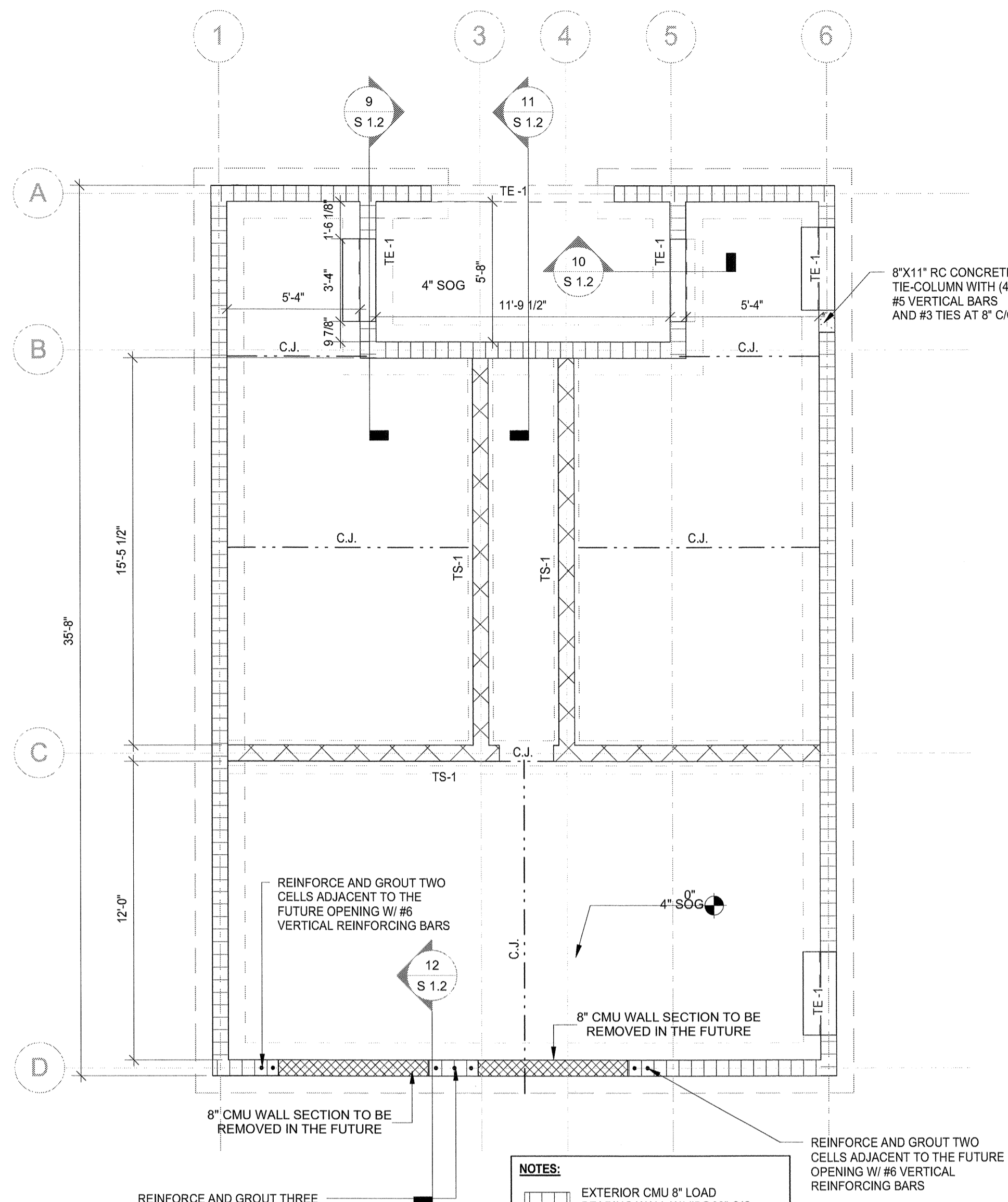
S 1.2

NO.	REVISION	DATE
	110	07/21/2016

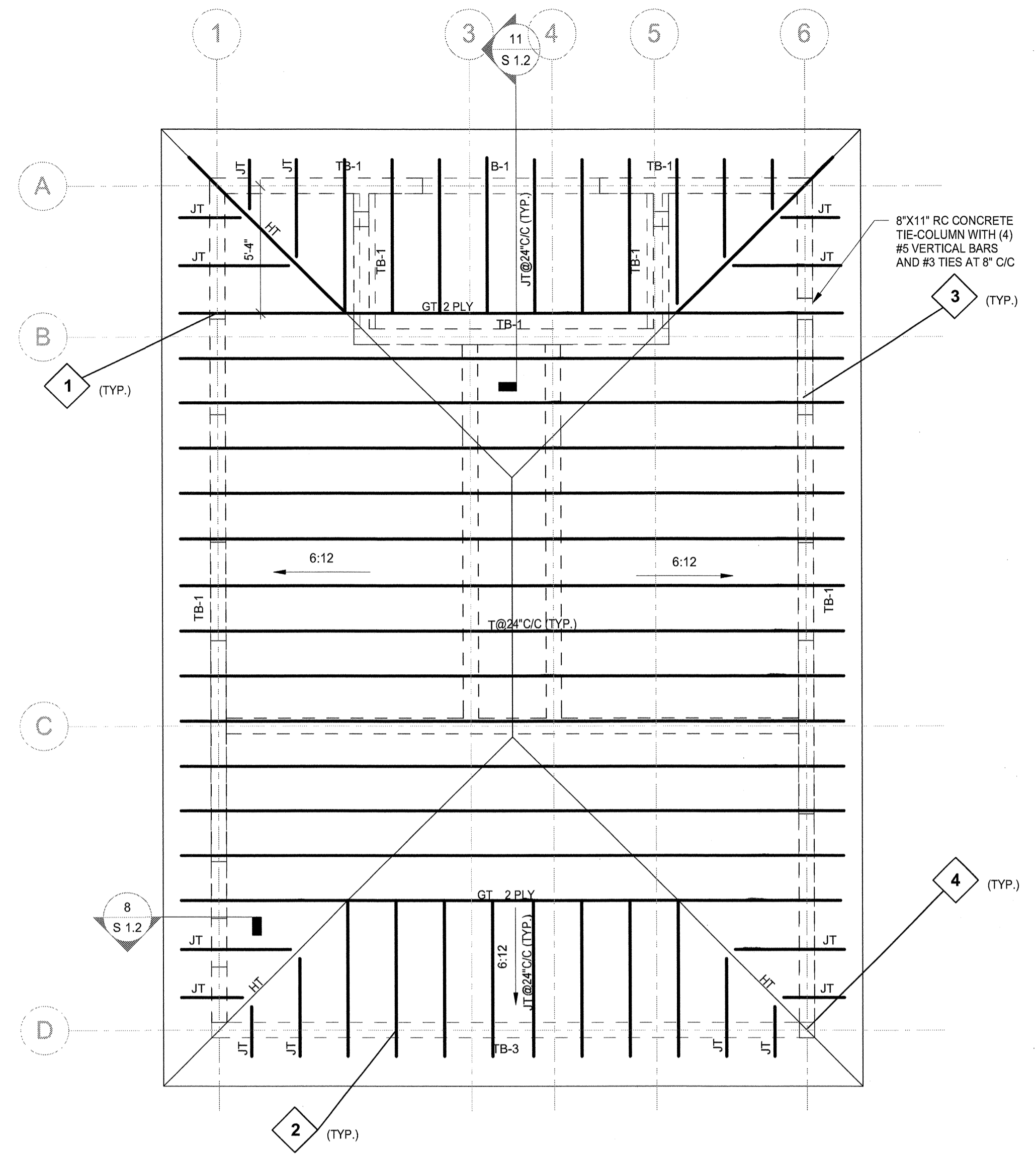
CONSULTANT:



1 L0-FOUNDATION LEVEL
S 2.1 1/4" = 1'-0"



2 L1-GROUND LEVEL
S 2.1 1/4" = 1'-0"



3 L1.2 ROOF LEVEL
S 2.1 1/4" = 1'-0"

FOUNDATION/GROUND FLOOR PLAN NOTES:

- FOR DIMENSIONS NOT SHOWN SEE FOUNDATION PLAN AND ARCHITECTURAL DRAWINGS.
- VERIFY ALL DIMENSIONS, ELEVATIONS AND SLAB FINISHES WITH ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION.
- COORDINATE ALL SLAB DEPRESSION SIZES AND LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- CENTERLINES OF COLUMNS AND WALLS SHALL COINCIDE WITH THE FOUNDATION CENTERLINES UNLESS SHOWN OTHERWISE.
- ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS REFER TO DATUM AT +0'-0" WHICH CORRESPONDS TO FEET N.A.V.D.
- ELEVATION TOP OF FOOTINGS SHALL BE (-1'-4") BELOW FINISHED FINAL GRADE UNLESS OTHERWISE SHOWN THUS.
- ALL WALL FOOTINGS SHALL BE TYPE CF24 UNLESS NOTED OTHERWISE.
- SLAB ON GRADE SHALL BE A MINIMUM 4" THICK CONCRETE SLAB ON 15 MIL VAPOR BARRIER REINFORCED WITH ONE LAYER OF 6XS - W1.4 X W1.4 WELDED WIRE FABRIC AT 1/3-DEPTH UNLESS OTHERWISE NOTED. WIRE FABRIC SHALL BE PROVIDED IN SHEETS AND PLACE ON SAND CHAIRS. REFERENCE ARCHITECTURAL DRAWINGS FOR SLOPES AND DRAINS.
- PROVIDE A TE-1 THICKENED REINFORCED CONCRETE EDGE AT ALL FREE SLAB ON GRADE SLAB EDGES. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS/LIMITS.

- SLAB CURING IS REQUIRED. SEE STRUCTURAL NOTES.
- TE-1 - INDICATES AN 12" WIDE X 8" DEEP CONTINUOUS CONCRETE THICKENED SLAB EDGE REINFORCED WITH (2) #5 HORIZONTAL REINFORCING BAR.
- TS-1 INDICATES 12" WIDE X 8" DEEP THICKENED SLAB REINFORCED WITH (2) #5 CONTINUOUS HORIZONTAL REINFORCING BARS.
- 8" INTERIOR CMU WALL REINFORCED WITH #4 VERTICAL REINFORCING BARS AT 48" C/C IN GROUT FILLED CELLS.
- 8" EXTERIOR LOAD BEARING CMU WALL REINFORCED WITH #5 VERTICAL REINFORCING BARS AT 32" C/C IN GROUT FILLED CELLS.
- AT CMU WALLS, PROVIDE ONE ADDITIONAL VERTICAL REINFORCING BAR IN A GROUT FILLED CELL AT ALL WALL INTERSECTIONS, AT ENDS OF WALLS AND AT EDGES OF ALL WALL OPENINGS EXCEEDING TWO FEET IN WIDTH. SEE STRUCTURAL NOTES ON SHEET S 1.1 FOR ADDITIONAL REQUIREMENTS.

- NOTES:**
- EXTERIOR 8" CMU LOAD BEARING WALL W/ #5@32" C/C VERTICAL REINFORCING IN GROUT FILLED CELLS
 - INTERIOR CMU 8" INFILL / NON-LOAD BEARING WALL W/ #5@32" C/C VERTICAL REINFORCING IN GROUT FILLED CELLS

WOOD ROOF NOTES:

- PROVIDE BLOCKING AND PLYWOOD ATTACHMENT WITH 10D NAILS @ 4" C/C AT CONTINUOUS PANEL EDGES; @ 6" C/C AT ALL OTHER PLYWOOD PANEL EDGES; @ 8" C/C IN PANEL FIELD AS SHOWN IN ROOF PLAN.
- ROOF FRAMING SHALL CONSIST OF PRE-ENGINEERED WOOD TRUSSES SPACED 2'-0" C/C MAXIMUM SPACING.
- SEE STRUCTURAL NOTES FOR PRE-ENGINEERED WOOD TRUSS REQUIREMENTS.
- T - INDICATES PRE-ENGINEERED WOOD TRUSS.
- GT - INDICATES PRE-ENGINEERED GIRDER TRUSSES. SEE PLAN FOR MINIMUM PILES REQUIRED.
- HT - INDICATES PRE-ENGINEERED HIP TRUSS
- JT - INDICATES PRE-ENGINEERED JACK TRUSS
- ANCHOR ALL WOOD ROOF RAFTERS AND PRE-ENGINEERED ROOF TRUSSES WITH SIMPSON STRONG TIE ANCHORS OR APPROVED EQUAL AT EACH BEARING, U.N.O.
- TYPICAL RAFTER OR TRUSS TIE DOWN SHALL BE AT EACH BEARING POINT, U.N.O.
- ROOF SHEATHING 5/8 PLYWOOD APA RATED 32/16 GLUED AND NAILED.
- TRUSS DESIGNER SHALL SPECIFY ALL TRUSS-TO-TRUSS CONNECTIONS AND ALL GIRDER TRUSS-TO-WALL CONNECTIONS.
- SUBMITTAL SHALL INCLUDE CONNECTIONS TO PRIMARY TRUSSES AS WELL AS BRACING REQUIREMENTS FOR TOP CHORDS OF PRIMARY TRUSSES UNDER VALLEY SETS.

SPECIFIED BRAND NAMES ARE FOR DESCRIPTIVE PURPOSES ONLY. EQUAL EQUIPMENT OR MATERIAL WILL BE ACCEPTED. SEE CONTRACT MANUAL FOR MINIMUM REQUIREMENTS FOR ESTABLISHING EQUALITY

MUEngineers, Inc.
Certificate of Authorization No. 29348
CONSULTING STRUCTURAL ENGINEERS

MARCUS O. UNTERWEGER
FL P.E. # 63860
NOVEMBER 11, 2016

3440 N.E. 12TH AVENUE
OAKLAND PARK, FL 33334
PH: 954-324-4730
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NOTE: MUE15062202
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Kelsey Park - Restroom Facility

Lake Shore Dr, Lake Park, FL

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DRAWING TITLE:

Plan Views

DRAWN: MUE
CHECKED: MU
DATE: 07/31/2016
SCALE: As indicated
PROJECT NO. MUE15062202
SHEET:

S 2.1

- ADA compliant accessibility cylinder, institutional grade, 30 year warranty
 - Hold open steel arm, all-weather fluid, powder coated metal cover
- ITEM: Door Latch Set Reference Kelsey Park sheet A-7, Lake Shore sheet A-5
- ADA compliant, ANSI Grade 1, Exceed ANSI A156.2 lock lever torque requirement
 - Stainless steel face plate, zinc plated chassis and latch bolt
 - 6 pin, Small Format Interchangeable Core (SFIC), 10 year warranty
- ITEM: Exhaust Fan Kelsey Park sheet M-0
- Direct drive, in-line exhaust, Approvals: NFPA, UL
 - Permanent lubricated sealed ball bearing, variable RPM electronically commutated motor
 - 18 gauge galvanized steel housing
 - Aluminum centrifugal wheel
 - 1,300 CFM @ 0.5 static pressure (1/2 HP/1426 RPM)
- ITEM: Exhaust Fan Lake Shore Park sheet M-0
- Direct drive, in-line exhaust, Approvals: NFPA, UL
 - Permanent lubricated sealed ball bearing, variable RPM electronically commutated motor
 - 18 gauge galvanized steel housing
 - Aluminum centrifugal wheel
 - 1,000 CFM @ 0.5 static pressure (1/4 HP)
- ITEM: Ceiling Grille Reference Kelsey Park sheet M-0, Lake Shore sheet M-0
- Aluminum border, 1/2" X 1/2" X 1/2" aluminum high free area egg crate core
 - Meet NFPA, ANSI/ASHRAE standards
 - Compatible with ceiling and light fixtures
- ITEM: Wall Pack LED Emergency Light Reference Kelsey Park sheet E-2
- 30 Watt 5000K 2240 Lumen LED, surface mount, 5 year warranty
 - Tempered glass lens, die cast aluminum housing, one-piece silicone gasket
 - bronze powder coat
- ITEM: Flood Light Reference Lake Shore Park sheet E-1
- 30 Watt LED, 2900 Lumen, 3000K, die cast aluminum powder coated (bronze) housing
 - Adjustable knuckle, UL wet location approved, seven year warranty.
- ITEM: Wall Pack Emergency Light Reference Lake Shore Park sheet E-1
- LED, 12Watt, 2 direction, 3.6 V sealed nickel cadmium battery back-up, brown out circuit, overload/short circuit protection
 - Surface mount, high impact injection molded thermoplastic housing
 - UL, NFPA 101, damp location approved, 5 year warranty
- ITEM: 4' LED Vapor Proof/Vandal Resistant Ceiling Light Reference Kelsey Park sheet E-2, Lake Shore sheet E-1
- 75 Watt 3500K LED, 120 volt, Architectural marine grade aluminum housing, powder coated white, ribbed white polycarbonate lens, LED night light feature, emergency battery, surface mounted, EPDM gasketed for wet application
- ITEM: 2' LED Vapor Proof/Vandal Resistant Ceiling Light Reference Kelsey Park sheet E-2
- 37.5 Watt 3500K LED, 120 volt, Architectural marine grade aluminum housing, powder

- coated white, ribbed white polycarbonate lens, LED night light feature, emergency battery, surface mounted, EPDM gasketed for wet application, tamper proof screw fasteners
- ITEM: 4' LED Vapor Proof Ceiling Light Reference Kelsey Park sheet E-2
- 81 Watt 3500K LED, 8000 Lumens, 120 volt, Institutional self-extinguishing reinforced polyester plastic housing
 - High impact internal prismatic lens, seamless gasket, UL wet locations, 5 year warranty
- ITEM: Occupancy Sensor w/Switch Pack Reference Kelsey Park sheet E-2, Lake Shore Sh. E-1
- Ultrasonic motions sensing light control, 120 volt, ceiling mount, daylight sensor, ultrasonic sensor adjust, time delay-10 minute default, LED indicator
 - 120 volt, 20 amp switch pack
- ITEM: Mop Sink Reference Kelsey Park sheet P-1
- 24" x 24" x 12" square, one-piece cast terrazzo with 20 gauge stainless steel cap
 - Brass drain body cast into sink
- ITEM: Mop Sink Faucet Reference Kelsey Park sheet P-1
- Wall mount solid cast brass housing, vandal proof lever metal handles, ADA compliant
 - Two valve, ceramic disc cartridge
 - 6" spout with bucket hook and stop, support bracket
 - 1/2" NPT supply connection, vacuum breaker
- ITEM: Mop Sink Faucet Reference Lake Shore sheet E-1
- Wall mount solid cast brass housing, 7" spout with bucket hook
 - Two valve, ceramic disc, 1/2" NPT supply connection, vacuum breaker
- ITEM: Floor Drain Reference Kelsey Park sheet P-1
- Cast iron epoxy coated, trap primer, sediment bucket
 - ADA compliant flush drain strainer, vandal resistant
- ITEM: Clean Out Reference Kelsey Park sheet P-1
- Epoxy coated cast iron, heavy duty 5" round gasketed nickel bronze top
 - Removable gas tight gasketed brass cleanout plug, vandal proof
- ITEM: Trap Primer Reference Kelsey Park sheet P-1
- Brass body, all lead free parts, built-in vacuum breaker, multi branch, ASSE approved, local code compliant
- ITEM: Trap Primer Reference Kelsey Park sheet P-1
- Satin chrome plated cast bronze P-trap w/ground joint connection, 1/2" primer tube
 - Threaded wall tube w/ escutcheon
- ITEM: Tankless Water Heater Reference Kelsey Park sheet, Lake Shore Sh. P-1, E-1
- Only on Demand commercial electric tankless hot water heater, 40+/- AMP. Temp range 100-140 degree F
 - Temp. rise 38 degrees F @ 1.5 GPM
- ITEM: Water Hammer Arrestor Reference Kelsey Park sheet P-1, Lake Shore P-1
- Commercial lead free copper housing with polypropylene piston

- EPDM O-ring seal, brass NPT connection, 150 psi working pressure
- ITEM: Pressure Tank Reference Kelsey Park sheet P-1, Lake Shore Sheet P-1
- Steel tank, 10.3 gallon volume, heavy duty diaphragm, polypropylene liner
 - Welded air valve, precharged

ITEM: Simpson Connector Reference Kelsey Park sheet S2.2

- See Plan Sheet S2.2, NOTES FOR TRUSS TIEDOWN SCHEDULE:

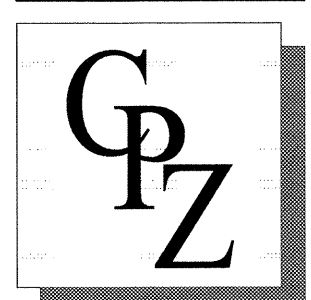
All anchors specified are Simpson Strong-tie (unless otherwise noted). "No substitutions" shall be made without prior written approval from the engineer of record. Any substitution requests shall be accompanied by manufacturer's specifications and cut sheets. For additional information and installation requirements see manufacturer's specifications.

NO.	REVISION	DATE
BID SET		07/01/16
RE-BID		11/06/16

CONSULTANT:

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KELSEY PARK RESTROOM FACILITY
 LAKE SHORE DR
 LAKE PARK, FL



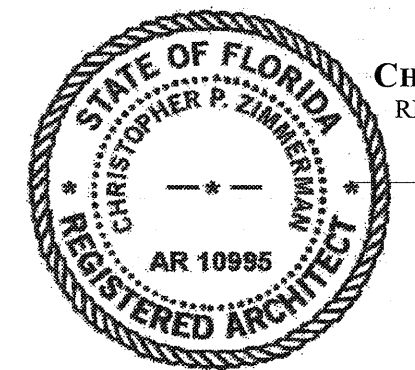
DRAWING TITLE:

TECHNICAL SPECIFICATIONS

DRAWN: DL
 CHECKED: CPZ
 DATE: 11/06/16
 SCALE: 1/2" = 1'-0"
 PROJECT NO. 1533
 SHEET:

TS-2

NOTE: TECHNICAL SPECIFICATIONS AUTHORED AND PROVIDED BY THE TOWN OF LAKE PARK



CHRIS P. ZIMMERMAN, A.I.A.
 REGISTERED ARCHITECT NO. 10,995
 STATE OF FLORIDA

DATE: 11/06/16